

APOPKA CITY COUNCIL AGENDA
September 05, 2018 1:30 PM
APOPKA CITY HALL COUNCIL CHAMBERS

CALL TO ORDER
INVOCATION
PLEDGE

APPROVAL OF MINUTES:

1. City Council regular meeting August 15, 2018.

AGENDA REVIEW

EMPLOYEE RECOGNITION:

- ❖ Five Year Service Award – Elsa Martinez – Public Services/Solid Waste Specialist
- ❖ Five Year Service Award – Dana Ramsden – Public Services/Fleet Management Equipment Mechanic
- ❖ Ten Year Service Award – Steven J. Landry – Police/Support Services
- ❖ Ten Year Service Award – John C. Reardon, II – Police/Support Services
- ❖ Ten Year Service Award – Frankie J. Henry – Public Services/Sanitation
- ❖ Fifteen Year Service Award – Robert S. Dickey – Fire/Suppression
- ❖ Twenty Year Service Award – Bryan C. Hall – Police/Field Services
- ❖ Thirty Year Service Award – Scott Bruehl – Fire/Suppression

PRESENTATIONS:

1. 2018 Healthy Community Champion by the Florida Department of Health. Nasseam McPherson-James, Assistant Director
2. KaBoom! Playground Design Selection for Alonzo Williams Park. Dr. Shakenya Jackson
3. UCF Business Incubation Program. Jim Hitt

PUBLIC COMMENT PERIOD:

The Public Comment Period is for City-related issues that may or may not be on today's Agenda. If you are here for a matter that requires a public hearing, please wait for that item to come up on the agenda. If you wish to address the Council, you must fill out an Intent to Speak form and provide it to the City Clerk prior to the start of the meeting. If you wish to speak during the Public Comment Period, please fill out a green-colored Intent-to-Speak form. If you wish to speak on a matter that requires a public hearing, please fill out a white-colored Intent-to-Speak form. Speaker forms may be completed up to 48 hours in advance of the Council meeting. Each speaker will have four minutes to give remarks, regardless of the number of items addressed. Please refer to Resolution No. 2016-16 for further information regarding our Public Participation Policy & Procedures for addressing the City Council.

CONSENT (Action Item)

1. Approve the disposal of surplus equipment/property.
2. Authorize an agreement with Property Registration Champions to provide registration services for vacant properties.
3. Notification of application for a Federal Funding Grant to purchase portable radar speed signs for the Police Department.
4. Authorize the Police Department to execute a traffic enforcement agreement with the Wekiva Preserve HOA.
5. Authorize the renewal of a franchise agreement with Advanced Disposal Services Solid Waste Southeast, Inc.
6. Authorize the renewal of a franchise agreement with Republic Services of Florida GP, Inc.
7. Authorize the renewal of a franchise agreement with USA Services of Florida, Inc.
8. Authorize the renewal of a franchise agreement with Waste Management Inc. of Florida.
9. Approve extensions of general contractor agreements with AccuTech Construction Inc., CGC Kilfoyle, Inc. and Core Construction Services of Florida, LLC.

BUSINESS (Action Item)

1. Approve a cost-share agreement with St. Johns River Water Management District for Camp Thunderbird. Edward Bass
2. Preliminary Development Plan – Carriage Hill Phase II Subdivision
Project: JTD Land at Rogers Road, LLC
Location: 1455 West Lester Road
Jean Sanchez

- 3. Final Development Plan – Autozone Store Jean Sanchez
Project: Calmil Investment Group LP (95% Interest) Kenneth Lee Jureit Trust (5% Interest)
Location: 1120 West Orange Blossom Trail
- 4. Final Development Plan/Plat – Bridlewood Subdivision (Fka Equestrian Center Subdivision) Jean Sanchez
Project: Laura R. Murphy
Location: 359 West Lester Road
- 5. Final Development Plan – IHOP Restaurant Jean Sanchez
Project: Calmil Investment Group LP (95% Interest) Kenneth Lee Jureit Trust (5% Interest)
Location: 1120 West Orange Blossom Trail

PUBLIC HEARINGS/ORDINANCES/RESOLUTION (Action Item)

- 1. Ordinance No. 2671 – First Reading - PUD Master Plan Amendment – Avian Pointe David Moon
Project: Apopka Clear Lake Investments, LLC
Location: East side of SR 429, north of Lust Road
- 2. Ordinance No. 2672 – First Reading - “Medtech Campus Overlay District” James Hitt
Project: City of Apopka – Kelly Park Interchange Form-Based Code Amendment
- 3. Ordinance No. 2674 – First Reading – 2018 Annexation Cycle 4 – Parcel Pamela Richmond
Project: City of Apopka
Location: East side of North Hiawassee Road, south of US 441
- 4. Ordinance No. 2675 – First Reading – 2018 Annexation Cycle 4 – Road Right-of-Ways Pamela Richmond
Project: Orange County
Locations: North Hiawassee Road, Lust Road, East Votaw Road, North Christiana Avenue, South Christiana Avenue, Vick Road, West Martin Street, E Nancy Lee Lane, and W Nancy Lee Lane
- 5. Adopt Resolution 2018-14 a Roll-off Agreement with JJ’s Waste & Recycling LLC. Jay Davoll
- 6. Resolution 2018-15 - FY17/18 Budget Amendment. Jamie Roberson
- 7. Resolution 2018-16 - Approve and execute Amendment #2 for the State Revolving Fund Loan for the City’s Water Reclamation Facilities. Jamie Roberson

CITY COUNCIL REPORTS

MAYOR’S REPORT

- 1. Apopka Community Center Renaming.
- 2. Childhood Cancer Awareness month proclamation September 12, 2018.

ADJOURNMENT

MEETINGS AND UPCOMING EVENTS

DATE	TIME	EVENT
September 5, 2018	5:15pm –	Budget Hearing
September 6, 2018	5:30pm – 9:00pm	Food Truck Round Up
September 10, 2018	6:30pm –	CONA Meeting – UCF Apopka Business Incubator
September 11, 2018	8:30am –	09/11 Memorial Ceremony – City Hall Front Steps
September 11, 2018	5:30pm – 7:30pm	Planning Commission Meeting
September 12, 2018	3:00pm –	Childhood Cancer Awareness month proclamation.
September 15, 2018	7:30am – 10:00am	Apopka First Responders & Community 5K Race
September 15, 2018	11:00am – 12:00pm	Cookies & Milk with a Cop – NW Orange/Apopka Library
September 18, 2018	6:00pm –	Code Enforcement Hearing
September 19, 2018	7:00pm –	Budget Hearing & City Council Meeting
September 24, 2018	10:00am –	Lake Apopka Natural Gas District Board Meeting: Winter Garden

October 3, 2018	1:30pm –	City Council Meeting
October 4, 2018	5:30pm – 9:00pm	Food Truck Round Up
October 8, 2018	6:30pm –	CONA Meeting – UCF Apopka Business Incubator
October 9, 2018	5:30pm – 7:30pm	Planning Commission Meeting
October 17, 2018	7:00pm –	City Council Meeting
October 22, 2018	10:00am –	Lake Apopka Natural Gas District Board Meeting: Winter Garden

Individuals with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk at least two (2) working days in advance of the meeting date and time at (407) 703-1704. F.S. 286.0105 If a person decides to appeal any decision or recommendation made by Council with respect to any matter considered at this meeting, he will need record of the proceedings, and that for such purposes he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

Any opening invocation that is offered before the official start of the Council meeting shall be the voluntary offering of a private person, to and for the benefit of the Council. The views or beliefs expressed by the invocation speaker have not been previously reviewed or approved by the City Council or the city staff, and the City is not allowed by law to endorse the religious or non-religious beliefs or views of such speaker. Persons in attendance at the City Council meeting are invited to stand during the opening ceremony. However, such invitation shall not be construed as a demand, order, or any other type of command. No person in attendance at the meeting shall be required to participate in any opening invocation that is offered or to participate in the Pledge of Allegiance. You may remain seated within the City Council Chambers or exit the City Council Chambers and return upon completion of the opening invocation and/or Pledge of Allegiance if you do not wish to participate in or witness the opening invocation and/or the recitation of the Pledge of Allegiance.

CITY OF APOPKA

Minutes of the regular City Council meeting held on August 15, 2018, at 7:00 p.m., in the City of Apopka Council Chambers.

PRESENT: Mayor Bryan Nelson
Commissioner Doug Bankson
Commissioner Kyle Becker
Commissioner Alice Nolan
Commissioner Alexander Smith
City Attorney Cliff Shepard
City Administrator Edward Bass

PRESS PRESENT: John Peery - The Apopka Chief
Reggie Connell, The Apopka Voice
Channel 6 News
Channel 9 News

INVOCATION: - Mayor Nelson called on Pastor Steven Coleman, Faithworks Church of Apopka, who gave the invocation.

PLEDGE OF ALLEGIANCE: Jaquan Williams said May 8, 1945, marked Victory in Europe and was known as V-E Day, but this was only partial peace as war continued in the Pacific. On August 6, 1945, the first atomic bomb was dropped on Hiroshima. Three days later another bomb was dropped on Nagasaki and Soviet troops invaded Manchuria. The Japanese government accepted defeat on August 14, 1945. President Truman announced Japan's surrender which prompted celebration throughout the United States for two days and August 15, 1945, became known as Victory over Japan day, also known as V-J Day. He then led in the Pledge of Allegiance.

APPROVAL OF MINUTES:

1. City Council regular meeting August 1, 2018.

Mayor Nelson made notation of a correction that had been made to the minutes under Business, Item 4, where he had suggested a traffic light at Park Avenue and Michael Gladden or Park Avenue and 13th Street.

MOTION by Commissioner Bankson, and seconded by Commissioner Nolan, to approve the minutes of August 1, 2018 as corrected. Motion carried unanimously with Mayor Nelson, and Commissioners Bankson, Becker, Smith and Nolan voting aye.

AGENDA REVIEW – City Administrator Bass advised there were no changes.

PUBLIC COMMENT; STAFF RECOGNITION AND ACKNOWLEDGEMENT

Presentations:

1. Presentation on Records Destruction

Linda Goff, City Clerk said Mayor Nelson challenged all departments by setting July as Records Management Month. All departments were very responsive and we had approximately 1,400 cubic feet of records that had met the retention schedule and ready for destruction. The Police Department had the largest number of records with over 400 boxes. The Police Department also had the oldest record of a 1953 book of arrest records.

Public Comment: There was no public comment

CONSENT

1. Accept and update signatories with First Green Bank.
2. Award a contract for the construction of the Kit Land Nelson Park Fitness Trails.
3. Authorize the renewal of a roll-off container franchise agreement with Mid Florida Materials for an additional two year term.
4. Approval of alcohol sales at the Labor Day weekend event at the Northwest Recreation Complex on September 2, 2018.
5. Approve a fee structure for room rental fees at the Apopka Community Center & Fran Carlton Center.

MOTION by Commissioner Nolan, and seconded by Commissioner Smith, to approve five items on the Consent Agenda. Motion carried unanimously with Mayor Nelson and Commissioners Bankson, Becker, Smith and Nolan voting aye.

BUSINESS

1. Buffer Variance Appeal – Hidden Lake Reserve Subdivision

Project: TGINF, LLC

Location: 501 Old Dixie Highway

David Moon provided a lead-in and gave the history of the variance appeal of a decision by the Planning Commission, at its meeting on June 12, 2018, decision to deny a variance request of the applicant to waive a 6-foot high wall within the wetland and upland buffer along the eastern property line of the 92-unit Hidden Lake Town Home Project. He reviewed the location of the site on a map and pointed out the eastern property line where the request was to allow a vinyl fence. He pointed out there was an existing brick wall along Clayton Estates and trees planted along that buffer within the Clayton Estates project. The applicant is proposing on the eastern side a vinyl fence up to the 25-foot buffer from the north and front he south. He reiterated the Planning Commission recommended a brick wall up to the 25-foot upland buffer on each side. He advised that based on the appeal, City Council must affirm, reverse, or remand the variance. If affirming or reversing the contested decision, City Council's decision is final and there is no further action for the applicant to pursue from the City.

Commissioner Becker asked for confirmation on the west side of the property if it was correct that currently the LDC does not require a wall or fence. He also asked if the trees were in accordance with the City's arbor plan.

Mr. Moon advised when residential development is proposed adjacent to nonresidential there isn't a clear requirement that a buffer is required. He said the applicant may be paying an arbor mitigation fee. One option would be to plant additional trees on the west and south property lines. He said they are proposing two-story townhomes and without trees, even with a 6-foot wall, the second floor would be looking out at the school yard. He advised that as part of the procedures the City Council may impose additional requirements which in their judgement are required as a result of unique circumstances with respect to the site and the zoning district. He affirmed that staff has had no discussions regarding this matter with the Orange County School Board planning staff. He affirmed that Council's action on this case only applies to the eastern boundary. The next case is the preliminary development plan for the entire project and buffering can be further addressed at that time.

Commissioner Becker said the reality is that the Bradshaw Road extension is not likely to be improved anytime soon. He said the masonry wall is extending around to the points indicated and where the applicant is proposing the alternate style of fence where the significant grading is to occur. He stated in the spirit of the LDC, they are doing right by the people they are directly abutting.

Alan Goldberg, Manager of Old Dixie 15, LLC, said there was a lot of discussion by staff, although this portion is held to the variance request denial and their appeal of the denial. He stated North Bradshaw Road is a 25-foot right-of-way which is heavily treed and will probably never be developed. He said the discussion that this is a roadway and needs to be buffered does not make sense to them which is why they appealed the decision from the Planning Commission. He stated they would be discussing amenities and buffers during the Preliminary Development Plan. He advised they have met with staff to discuss the variance and agree on a final decision. Their proposed plan along the North Bradshaw boundary is basically vinyl fence along that boundary line. In exchange, they agree to put in a masonry wall along the entire western boundary.

Mayor Nelson opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

MOTION by Commissioner Becker, and seconded by Commissioner Bankson, to approve the appeal. Motion carried unanimously with Mayor Nelson, and Commissioners Bankson, Becker, Smith and Nolan voting aye.

Mr. Moon requested clarification on what Council's interpretation is of where the masonry wall is going and the vinyl starting.

Commissioner Becker said it is the understanding that from the north and south there will be either a masonry or brick wall up to a certain point and the remainder will be vinyl.

2. Preliminary Development Plan – Hidden Lake Reserve Subdivision
Project: TGINF, LLC
Location: 501 Old Dixie Highway

Jean Sanchez, Planner, reviewed the request for the Preliminary Development Plan for Hidden Lake Reserve. She said Council just heard the variance appeal and this is a carryover from the last hearing on July 18, 2018.

Alan Goldberg said after the last Council meeting and discussion with staff, it was obvious to them the Council wanted to see a stronger wall up against the school rather than a vinyl fence. He said being proposed in this plan is allowing the applicant to have vinyl fence along the Bradshaw Road extension property line, continue the buffer with wall along Old Dixie Highway, and a 6-foot masonry wall along the entire western boundary of the property. He stated the last Council meeting also included discussion of amenities and how the Code read as to what is required. He said the question was whether they would be required to have a swimming pool as part of the amenities. He affirmed they are proposing an enhanced tot lot with the mail kiosk in the same area, they will have an asphalt path around the lake which is the focal point, an observation deck at the lake, and if possible they will have a dog park. He requested Council to approve that they not be required to have a pool.

In response to Commissioner Smith's inquiring about the fence, Mr. Goldberg advised the fence will stop at the wetland line as they cannot do any construction in the wetland area.

Commissioner Becker said now that the appeal is complete, they are looking at this particular design. He stated at some distance of the property that immediately looks at Bradshaw at the intersection, he would like to see the masonry wall wrap at that area.

Commissioner Bankson said he would like to see the masonry wall wrap around more for aesthetics in the visible area.

Commissioner Nolan agreed saying she would like to have it brought to the end of the townhome lot to which Mr. Goldberg said they were agreeable to do that.

Discussion was held regarding the path and ADA compliance.

Bobby Wanas, Engineer for the project, said the observation area and trail around the lake would be a flat area. He explained the trail will be on top of the maintenance berm. He advised there was a small one foot grade change over 10-feet of distance. The slope of the topography from the recreational area down to this area will be a stair step down and would not meet the ADA accessibility due to the conditions of the land.

Mr. Moon advised they were not at the Final Development Plan and all of the final grading is not known at this point. He stated they would also have to go through the St. Johns Water Management District and meet their requirements. He stated in staff discussion, they could not find any requirement to make the trail ADA accessible.

Mr. Goldberg made a commitment of when going through the final engineering they will very seriously look into this option.

Mayor Nelson opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

MOTION by Commissioner Becker, and seconded by Commissioner Bankson, to approve the Preliminary Development Plan subject to the masonry wall wrapping around to the end of the townhome line on the south eastern portion of the property and the applicant explore ADA compliance in their final grading and final development plan. Motion carried 4-1 with Mayor Nelson, and Commissioners Bankson, Becker, and Nolan voting aye and Commissioner Smith voting nay.

3. Approve Interlocal Agreements between Orange County Fire Rescue & the City of Apopka Fire Department.

Chief Carnesale provided a presentation on the three Interlocal Agreements between Orange County Fire and Rescue and the City of Apopka Fire Department. He said Orange County Fire Rescue came to the City of Apopka Fire Department and made a proposal for them to take over the Fire and Rescue services from Fire Station #29, located on Kelly Park Road near Kelly Park. He introduced Chief Otto Drozd and Division Chief David Rathbun of Orange County Fire and Rescue. He said this area will be covered by Station 2 on Welch Road and Station 5 on Firehouse Lane. He pointed out that 20 square miles of the area is part of Wekiva State Park and the State Park handles their own area. The calls in Station 29's area are generated from Rock Springs Road corridor and Kelly Park, Mt. Plymouth, and Plymouth Sorrento areas.

He affirmed the agreements were reviewed by legal and the recommendation is to approve the three Interlocal Agreements with Orange County Fire and Rescue for one year with the option for automatic renewal.

MOTION by Commissioner Bankson and seconded by Commissioner Smith, to approve the Interlocal Agreement between Orange County Fire Rescue and the City of Apopka Fire Department to provide Fire and EMS services to the area presently being serviced by Orange County Fire Station 29. Motion carried unanimously with Mayor Nelson, and Commissioners Bankson, Becker, and Nolan voting aye.

MOTION by Commissioner Becker, and seconded by Commissioner Nolan to approve the Interlocal Agreement between Orange County Fire Rescue and the City of Apopka Fire Department to provide automatic-aid to areas of unincorporated Orange County where Fire Station 29 would normally provide service.

MOTION by Commissioner Smith, and seconded by Commissioner Nolan, to approve the Interlocal Agreement between Orange County Fire Rescue and the City of Apopka Fire Department to provide Mutual Aid services between each agency in times of natural disasters, large scale incidents, or catastrophic events.

4. Discussion on School Resource Officers

Chief McKinley said they have added four new SRO's to the elementary schools to comply with the Marjory Stoneman Douglas Act. He reported the reimbursement amount has raised

from \$41,930 to \$45,000 per SRO as well as \$45,000 for a supervisor dedicated to the SRO Program.

MOTION by Commissioner Bankson, and seconded by Commissioner Nolan to approve the SRO Agreement. Motion carried unanimously with Mayor Nelson, and Commissioners Bankson, Becker, Smith, and Nolan voting aye.

Council recessed at 8:12 p.m. and reconvened at 8:18 p.m.

5. Approve the termination of the Red Light Camera Agreement with American Traffic Solutions Inc. (ATS)

Edward Bass, City Administrator, said during the Budget Workshop on July 5, 2018, Council had discussions regarding direction of the Red Light Camera Agreement with ATS. He advised that according to Amendment 3 of the agreement, the City can terminate the agreement upon a 30-day written notice. If the agreement is terminated, there will be a phase-out period to assure that all red light traffic tickets issued through December 31, 2018, are processed and all final invoices paid to ATS. This will be coordinated by staff with ATS.

Commissioner Becker said the recommendation in the staff report is to approve the termination of the Red Light Camera program. He inquired why this is being proposed, to which Mr. Bass said discussions held was toward ending the agreement. He stated staff needs direction in preparing the budget as to what revenues to include.

Commissioner Becker said the proposed budget at the workshop had \$463,000 in revenue through the end of December with the corresponding expense of a cost back to ATS of \$300,000. The net revenue the City would see is \$163,000. He said a lot of the talk in the community and media is that if we extend this another year it will solve our gap and that is not the case if using the numbers in the budget worksheet.

Mayor Nelson opened the meeting to public comment.

David Leavitt said he lives in Seminole County and he said an alternative for traffic safety is the DDACTS System that stands for Data Driven Approaches to Crime and Traffic Safety. He said this is sponsored by the National Highway Transportation Safety Administration. He stated the City of Altamonte Springs uses this system and he asked that the City of Apopka take a look at this stating it concentrates police resources in areas where the data shows the need.

Brad Dreasher said he is from Orlando and he is here as a representative from American Traffic Solutions. He said it is critical all understand the impact of the decision made here tonight. He said the safety program that has been endorsed by the Apopka Police Department is used as a safety tool to capture red light violators, breaking the law and putting the community at risk, but it is also used as a crime prevention and apprehension tool as numerous videos have been used to identify criminals. He stated this is all at no cost to the City taxpayers as this is a violator funded program. He said the cameras provide 24/7 enforcement for red light runners so the officers can focus on policing efforts. He said 84%

of violators never receive a second infraction and this supports driver change behavior. He reiterated this was a violator funded program and was no cost to the taxpayers. He said statistics have shown that cities that have turned off their red light camera programs have had an increase in crashes at signalized intersections. He said automated enforcement technology helps save lives. He stated he hopes when Council makes their decision tonight that they keep the safety of the community their first priority.

Commissioner Becker said ATS has been the provider of red light cameras in Apopka for 12-years now. He said he has not seen a data sheet from ATS to show how the cameras are working in the city. He said the Police Department did provide data last year during the conversation of red light cameras, but he would view ATS more as a partner type of solution rather than a vendor providing a service and he has not seen that. He said data on ATS website is older data from 2008, 2009. He asked how they explain the notice of violations increasing from 2014 to 2016 in the City of Apopka from 22,000 to over 30,000. He stated the Florida Integrated Report Exchange system in terms of crash finds in the City of Apopka, it has been increasing. He said there is an assumption made that the cameras are going to prevent somebody from doing something when they may have had a symptomatic reason for why they ran that intersection. He declared there was a big disconnect from the value he sees ATS providing as a partner in terms of providing information on data collected.

Mr. Dreasher said the Police Department did a very thorough presentation to Council a year ago and they included data from 2006. He reiterated this is a tool that can be used to help discipline and change driver behavior.

In response to Commissioner Bankson inquiring what percentage the City pays to ATS, Mr. Dreasher said they are not paid a percentage as the state does not allow percentages, but they receive approximately \$760,000 a year and the state receives approximately \$1.7 million. He said the violation is \$158, the state receives \$83 and the city receives \$70.

William Gusler said this gentleman here from ATS is being well paid by ATS to be here tonight. He said it is not motivated by his concern of our safety. He said there was a great discussion of it being all about safety and when the budget workshop was held it was all about revenue. Tonight it is changed to crime prevention. He said the fact was that ATS is here, as any company would be, to defend their profits. He stated the statistics are very vague, very old, and they do not have a lot of data to back them up. He said it was stated that there were 711 videos used by the police department, but how many of these were relevant. He declared setting up cameras on the corners was cheaper than red light cameras and these could be done by ourselves for surveillance. He said there were reports that clearly shows they do not make a difference in safety, in some instances rear end crashes have gone up drastically. He stated he was 100% against red light cameras.

Mary Gusler said she was here in support of getting rid of the red light cameras.

Derek Ryan said he lives in Apopka and he is Chair of the Libertarian Party and representing them. He stated as a landscape salesman covering the Central Florida market he travels our roads three to four times the frequency of a typical driver and because of this, on occasion he

has received that letter in the mail with a photo of his license plate for driving through a red light. He said every time he receives one of these he fights them and beats them because they have no legal legs to stand on and are nothing more than government intimidation to generate revenue. He declared he was far more willing to take the risk and hire a private attorney firm to fight these tickets than to give his money to government out of fear so it can be mismanaged. He said ATS has made plenty of money in Apopka at the expense of people who are just trying to go to work and have committed no crime with no victim. He said as a libertarian he despises red light cameras, and property taxes. He said he recognizes the budget woes and hopes the city will terminate the contract with the red light cameras, raise the property taxes if they must, get the budget balanced and lower the taxes in the future.

Glen Chancy said a state of the art study commissioned by the Chicago Tribune concluded the red light cameras did not reduce injury related crashes overall. The biggest take away is the overall program seems to have had little effect. The question now is if a certain type of collision is eliminated and increased the other type, and it overall stays the same, is there an argument that it is fair to go with the program. He said the House of Representatives in Florida have already voiced their opinion on this issue. The last three years in a row the House has voted by over 80 votes to ban red light cameras in the State of Florida. It has not gone through the Senate, but he said anytime you can get 80 House members to vote against revenue, there has to be something involved we need to pay attention to. He stated this contract was debated being renewed here and the Apopka Police Department said the goal is to reduce citations. He said if the program was working there would be no debate and the program would have to be funded from general funds. He stated that of three individuals on Council that voted in favor of the cameras, two have faced the electorate and no longer here as they were beaten by anti-camera candidates. He said the people voted and they want their voice heard.

Henry Bentley congratulated the new Council members and said he trusts they will vote on what they ran on. He said it had been requested that one second be added to the yellow light as studies showed if adding one second to the yellow light, running red lights go down tremendously and so do accidents. If the cameras are for safety, add that second like they did for one month. He said he looked forward to Council banning the cams.

Commissioner Bankson said they tried to extend the time of the yellow lights and it was his understanding the state told us this could not be done.

Richard Earp, City Engineer, acknowledged he is not a trained traffic engineer. He said both Pam Richmond and Jay Davoll, Engineer, have been trained in traffic. He said the engineer that designs the timings is a 25-year engineer and it is very specific and there is a formula. He said FDOT has been asked recently to reevaluate the light timings along the corridor and they are in the process of doing that now.

Mark Schmidter of Orlando said he has listened to all those who talked before him and everything they are saying really does not make any difference, because the Florida Constitution, Article I, Declaration of Rights, Section 1 Political Power states *“All political power is inherent in the people. The enunciation herein of certain rights shall not be*

construed to deny or impair others retained by the people.” He declared the people have the final say so here. He spoke of an article in The Apopka Voice that polled with an overwhelming margin renewed their disdain for red light cameras. He reiterated the people make the decision, not ATS and not the City Administrator, as the people have spoken. He went on to reference F.S. 876.06 that gives people the right to petition for redress of grievances. He stated they do not want red light cameras and the Council as public officers have to do what they say. He went on referencing the Florida Constitution, Article II, Section 5 Public Officers states that *“Each officer, before entering upon the duties of the office, shall give bond as required by law, and shall swear or affirm:...”* He declared that not obeying the Constitution, violates the Oath of Office, and they have to have a surety bond. He said violation of the oath of office is a \$250,000 fine. He reiterated the people do not want red light cameras.

Marty Varble spoke against the red light cameras and said they deed to get rid of the cameras. He said they were money making and not for public safety. He said if it were public safety the ticket would be issued to the operator of the vehicle, not the owner of the vehicle.

Allison Varble said she was against red light cameras, stating they are money maker and only the people that install them make the money. She stated they do not stop accidents, but rather they create them. She said the frequency of some of the cameras are set at a different pace, citing Piedmont Wekiva as an example, stating timing changes from day to night. She said companies that have employees that have to drive through Apopka have told their employees to go around and avoid the cameras.

Mr. Earp said it was not uncommon for traffic signals to operate different at various times of day/night. He said they are also impacted by emergency vehicles getting priority in the intersection. Many intersections have detection mechanisms and give preference to where the traffic is.

Rod Olsen of Apopka said he spoke to the Insurance Institute of Highway Safety and red light cameras reduce injury crashes by 25-30%. The Federal Highway Administration said right angle crashes show a 22.8% injury rate as opposed to a 5.2% injury rate in rear end crashes. Center of Disease Control said they increase in rear end crashes, reduce side impact crashes, and reduces overall crash severity. He said safety is the most important thing.

No one else wishing to speak, Mayor Nelson closed the public comment.

Commissioner Nolan said she appreciated the calls and emails from the public. She said the cameras are something the citizens are not wanting.

Commissioner Bankson said it is the will of the people and this is what determines what they need to decide, as well as the information they have to factor in. He has had arguments on both sides and both are passionate. He stated the best he can determine is that it seems to be the will of the people. He wants to make sure citizens have the right information, such as a right turn on red if not turning over 12 mph you will not be given a ticket.

Commissioner Becker said he didn't have anything to add, other than reducing notice of violations was the primary goal and in 2014 there was 22,283, 2015 had 23,204, 2016 there were 31,733, and in 2017 with eight cameras offline there were 26,602. He reiterated that this is not going to solve the budget deficit. He said there were too many things that do not add up to it having the safety impact people think it does.

Mayor Nelson said one of the best reports he has seen on red light cameras was Criminal Deterrence when there are offsetting risks. He said this was about Houston that went dark for a while on red light cameras and it reported that the cameras changed the composition of accidents, but no evidence in reduction of total accidents or injuries. He said he ran on getting rid of red light cameras and stated he voted for the cameras when he was in the legislature and a couple years later ran a bill to try and take the sting out of what these cameras did, one being to keep the ticket on the tag and not the driver license so that you would not lose your license. He spoke of the budget last year and money taken from reserves and loans obtained to balance the budget. He said they were getting close to a balanced budget without the revenue from red light cameras as of January 1, 2019, with a possible slight tax increase.

MOTION by Commissioner Nolan, and seconded by Commissioner Smith to terminate the Red Light Camera contract with American Traffic Solutions effective January 1, 2019.

Commissioner Becker asked if ATS had changed their name and if that should be included in the motion.

City Attorney Shepard said the contract subject to the discussion of this motion was "Red Light Agreement with American Traffic Solutions" still reads that way and if to the extent they changed their name, the motion can include "or by whatever they are known as today."

Commissioner Becker requested the motion be amended to include that language.

Motion carried unanimously as amended with Mayor Nelson, and Commissioners Bankson, Becker, Smith, and Nolan voting aye.

PUBLIC HEARINGS/ORDINANCES/RESOLUTION

- 1. Ordinance No. 2669 – Second Reading – Bear Management Program & Containers.** The City Clerk read the title as follows:

ORDINANCE NO. 2669

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, AMENDING CHAPTER 66 "SOLID WASTE" OF THE CODE OF ORDINANCES OF THE CITY OF APOPKA, BY AMENDING ARTICLE II, DIVISION 1, SECTION 66-36 "DEFINITIONS;" SECTION 66-37 "AUTHORITY OF PUBLIC SERVICES DIRECTOR;" SECTION 66-40 "SPECIAL

COLLECTION PROBLEMS;” SECTION 66-65 “PREPARATION OF MATERIALS FOR COLLECTION;” SECTION 66-66 “PLACEMENT OF MATERIALS FOR COLLECTION;” SECTION 66-68 “FEE SCHEDULE – RESIDENTIAL;” AND SECTION 66-90 “PREPARATION OF MATERIALS FOR COLLECTIONS;” AND; PROVIDING DEFINITIONS; PROVIDING FOR APPLICABILITY; PROVIDING FOR A BEAR MANAGEMENT AREA; PROVIDING FOR ENFORCEMENT AND FINES; PROVIDING FOR PENALTIES; PROVIDING FOR CONFLICT, SEVERABILITY; AND AN EFFECTIVE DATE.

Edward Bass, City Administrator, said there have been no changes since the first reading.

Mayor Nelson opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

MOTION by Commissioner Nolan, and seconded by Commissioner Bankson, to adopt Ordinance No. 2669. Motion carried unanimously with Mayor Nelson, and Commissioners Bankson, Becker, Smith and Nolan voting aye.

- 2. Resolution 2018-13 - FY17/18 Budget Amendment.** The City Clerk read the title as follows:

RESOLUTION NO. 2018-13

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF APOPKA, FLORIDA, AMENDING THE BUDGET FOR THE FISCAL YEAR BEGINNING OCTOBER 1, 2017 AND ENDING SEPTEMBER 30, 2018, PROVIDING FOR A BUDGET AMENDMENT

Jamie Roberson, Finance Director, reviewed the budget amendment in detail. The request is to approve Resolution No. 2018-13, amending the budget for FY 17/18. She advised as she discovers grants with matching funds she will bring these forward to Council for appropriation. Moving forward, as Council approved items like this the budget will be established at that time.

Mayor Nelson opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

MOTION by Commissioner Bankson, and seconded by Commissioner Smith, to approve Resolution No. 2018-13. Motion carried unanimously with Mayor Nelson, and Commissioners Bankson, Becker, Smith and Nolan voting aye.

CITY COUNCIL REPORTS – No reports.

MAYOR’S REPORT

Mayor Nelson read a notice from Tim Cook, Florida Hospital, announcing their name change soon to Advent Health, effective January 2, 2019. The announcement said they are unifying under one brand so their identity will be consistent across the organization.

Mayor Nelson reported Council will be discussing and possibly voting on funding for the UCF Incubator the next Council meeting. He asked that Commissioners reach out to Rick Parks or Edward Bass with any questions. He reported the current building will be demolished in the next 60 – 90 days as part of the improvements for the City Center. He advised arrangements have been made with Florida Hospital for a rental at \$1.00 a year, stating there is a short term need to renovate the Florida Hospital office space, medium term need for funding of the next year, and a long term need for a location.

1. Florida League of Cities Proposed Resolutions.

Mayor Nelson said after reviewing the proposed resolutions, he would recommend approval of all but No. 5, which is the Homestead Exemption. He stated he would rather the people vote on this matter.

MOTION by Commissioner Smith, and seconded by Commissioner Nolan, to recommend approval of the proposed Florida League of Cities Resolutions with the exception of No. 5, Homestead Exemption. Motion carried unanimously with Mayor Nelson, and Commissioners Bankson, Becker, Smith, and Nolan voting aye.

2. Application for a special playground grant through Florida Department of Environmental Protection

City Administrator Bass reported the City was applying for the two grants. It does not mean we are applying for any funding or matching funds. This is for information only that the City is applying.

ADJOURNMENT – There being no further business the meeting adjourned at 9:28 p.m.

Bryan Nelson, Mayor

ATTEST;

Linda F. Goff, City Clerk

A great place to play is coming soon!

Alonzo Williams Park | Apopka, FL | October 19th, 2018

Design A

View A



View B



Featured Colors

-  Teal
-  Metallic Gray
-  Chartreuse
-  Plum-Sand
-  Brown

Sponsored by



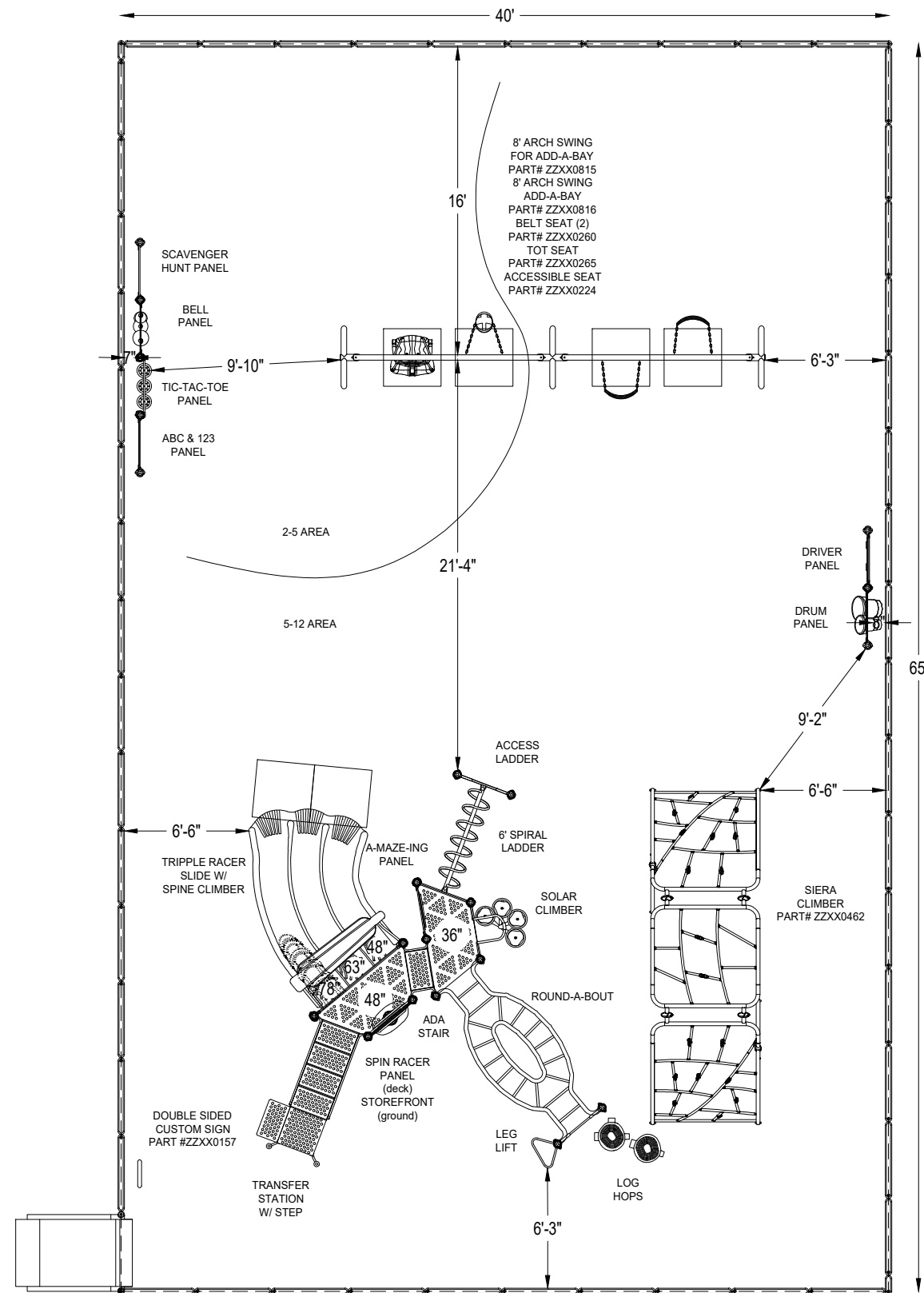
18-2906A

Playground design provided by
KaBOOM! Partner in Play



Get involved at kaboom.org

Design A



KaBOOM! DC
 4301 Connecticut Ave. NW
 Suite ML-1
 Washington, D.C. 20008

EQUIPMENT SIZE:
26'4" x 20'9" x 11'4"

USE ZONE:
40' x 65'

AREA: **2,600 SqFt.** PERIMETER: **210 Ft.**

FALL HEIGHT:
8'7"

USER CAPACITY: **66** AGE GROUP: **2-12**

ADA SCHEDULE	Total Elevated Play Activities: 7		
	Accessible Elevated Activities	Accessible Ground-Level Activities	Accessible Ground-Level Play Types
Required	4	2	2
Provided	7	4	4

- ✓ ASTM F1487-17
- ✓ CPSC #325



PROJECT NO:
18-2906A.KAB

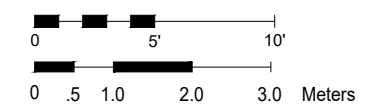
SCALE:
1/8"=1'-0"

DRAWN BY:
B. MCCAFFERY

Paper Size

DATE:
29-AUG-2018

B



*PLAYGROUND SUPERVISION REQUIRED

ALONZO WILLIAMS PARK
 APOPKA, FLORIDA

Alonzo Williams Park

Design Number: 18-2906A - Bill Of Material

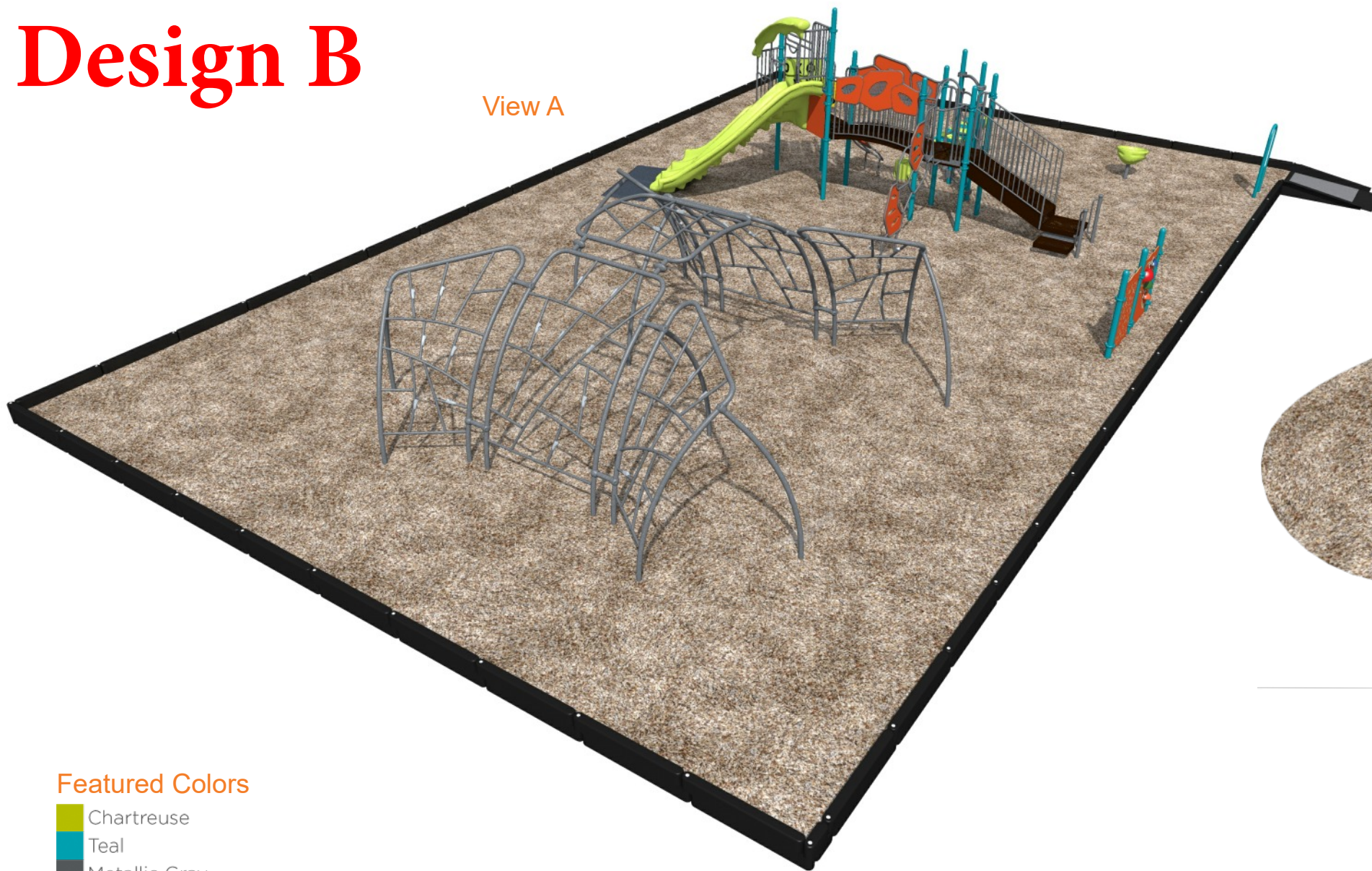
Design A

Ref. No.	Part No.	Description	Quantity
Posts			
1	ZZCH0018	3.5in OD x 124in STEEL POST W/RIVETED CAP	1
2	ZZCH0028	3.5in OD x 136in STEEL POST W/ RIVETED CAP	10
3	ZZCH0038	3.5in OD x 148in STEEL POST W/ RIVETED CAP	1
4	ZZCH0058	3.5in OD x 172in STEEL POST W/RIVETED CAP	1
5	ZZCH0356	3.50in x 88in STEEL POST w/CAP	8
Decks & Kick Plates			
6	ZZCH0618	1/2 HEX COATED DECK ASSEMBLY	1
7	ZZCH0637	1/2 HEX COATED DECK W/O CENTER POST ASSEMBLY	1
ADA Items			
8	ZZCH2027	TRANSFER STATION (48in DECK)	1
9	ZZUN2019	APPROACH STEP FOR TRANSFER STATION	1
Slides			
10	ZZCH1374	TRIPPPLE RACER SLIDE	1
Activity Panels			
11	ZZCH4298	ABC & 123 PANEL (GROUND LEVEL)	1
12	ZZCH4350	TIC-TAC-TOE ACTIVITY WALL	1
13	ZZCH4387	DRIVER PANEL (GROUND LEVEL)	1
14	ZZch4537	SPIN RACER PANEL (DECK LEVEL)	1
15	ZZCH4547	SCAVENGER HUNT (GROUND LEVEL)	1
16	ZZCH4646	STORE FRONT PANEL	1
17	ZZCH4671	CH PANEL FRAME- DECK LEVEL	1
18	ZZUN4673	A-MAZE-ING INSERT	1
Climbers			
19	ZZCH7657	SOLAR CLIMBER (36in & 30in DECK)	1
20	ZZCH8346	SPINE CLIMBER TO TRIPPPLE RACER SLIDE	1
21	ZZUN8396	12in LOG HOP	1
22	ZZUN8428	16in LOG HOP	1
Overhead Events			
23	ZZCH5770	LEG LIFT	1
24	ZZCH5880	6ft HORIZONTAL SPIRAL LADDER	1
25	ZZCH5960	OVERHEAD EVENT ACCESS LADDER (24in DECK)	2
26	ZZCH6966	10ft ROUNDABOUT HORIZONTAL LADDER	1
Audible Activities			
27	ZZCH4587	DRUM PANEL (GROUND LEVEL)	1
28	ZZCH4589	BELL PANEL (GROUND LEVEL)	1
Stairs and Ladders			
29	ZZCH9168	12in ACCESS STEPPED PLATFORM (DECK TO DECK)	1
Additional Tool & Maintenance Kits			
30	ZZCHGUID	CHALLENGER GUIDELINES	1
31	ZZUN9910	SURFACING WARNING LABEL KIT	1
32	ZZUN9930	PIPE SYSTEMS MAINTENANCE KIT W/ AEROSOL	1

A great place to play is coming soon!

Alonzo Williams Park | Apopka, FL | October 19th, 2018

Design B



Featured Colors

-  Chartreuse
-  Teal
-  Metallic Gray
-  Orange-Sand
-  Brown

Sponsored by



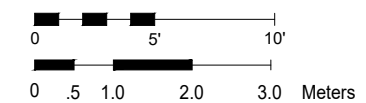
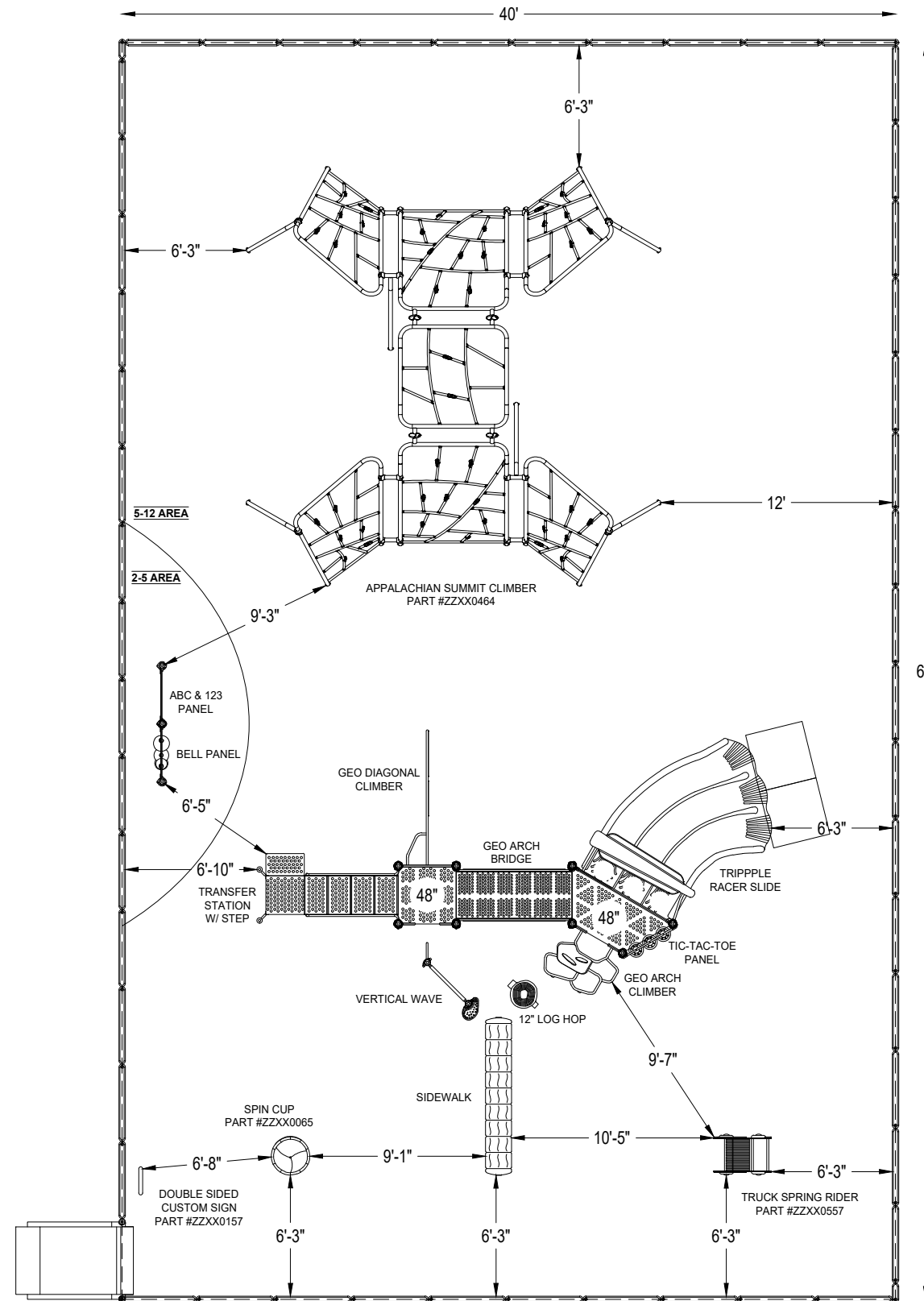
18-2905A

Playground design provided by
KaBOOM! Partner in Play



Get involved at kaboom.org

Design B



*PLAYGROUND SUPERVISION REQUIRED



KaBOOM! DC
 4301 Connecticut Ave. NW
 Suite ML-1
 Washington, D.C. 20008

EQUIPMENT SIZE:
26'-7" x 23'-0" x 11'-6"

USE ZONE:
40' x 65'

AREA: **2,600 SqFt.** PERIMETER: **210 Ft.**

FALL HEIGHT:
8'-7"

USER CAPACITY: **57** AGE GROUP: **2-12**

ADA SCHEDULE	Total Elevated Play Activities: 6		
	Accessible Elevated Activities	Accessible Ground-Level Activities	Accessible Ground-Level Play Types
Required	3	2	2
Provided	6	7	6

- ✓ ASTM F1487-17
- ✓ CPSC #325



PROJECT NO:
18-2905A.KAB

SCALE:
1/8"=1'-0"

DRAWN BY:
J. MOYER

Paper Size

DATE:
29-AUG-2018

B

ALONZO WILLIAMS PARK
 APOPKA, FLORIDA

Alonzo Williams Park

Design Number: 18-2905A - Bill Of Material

Design B

Ref. No.	Part No.	Description	Quantity
Posts			
1	ZZCH0028	3.5in OD x 136in STEEL POST W/ RIVETED CAP	6
2	ZZCH0038	3.5in OD x 148in STEEL POST W/ RIVETED CAP	1
3	ZZCH0038GZ	3.5in OD x 148in GROUND ZERO POST	1
4	ZZCH0058	3.5in OD x 172in STEEL POST W/RIVETED CAP	1
5	ZZCH0297	POST W/ LADDER CLIMBER (36in OR 48in DECK)	1
6	ZZCH0356	3.50in x 88in STEEL POST w/CAP	3
Decks & Kick Plates			
7	ZZCH0616	SQUARE COATED DECK ASSEMBLY	1
8	ZZCH0637	1/2 HEX COATED DECK W/O CENTER POST ASSEMBLY	1
ADA Items			
9	ZZCH2027	TRANSFER STATION (48in DECK)	1
10	ZZUN2019	APPROACH STEP FOR TRANSFER STATION	1
Slides			
11	ZZCH1374	TRIPPPLE RACER SLIDE	1
Activity Panels			
12	ZZCH4298	ABC & 123 PANEL (GROUND LEVEL)	1
13	ZZCH4350	TIC-TAC-TOE ACTIVITY WALL	1
Barriers			
14	ZZCH2324	INFILL PANEL TO TRIPPPLE RACER SLIDE	1
15	ZZCH4288	ACCESS GATE	1
Climbers			
16	ZZCH7006	GEO ARCH CLIMBER (48in DK)	1
17	ZZCH7016	GEO DIAGONAL CLIMBER (48in DK)	1
18	ZZUN8396	12in LOG HOP	1
Ground Zer0 Climbers			
19	ZZCH8467	THE VERTICAL WAVE	1
Balance			
20	ZZCH0149	STEP AROUND	1
21	ZZUN7100	SIDEWALK	1
Bridges			
22	ZZCH6967	6ft GEO ARCH BRIDGE	1
Audible Activities			
23	ZZCH4589	BELL PANEL (GROUND LEVEL)	1
Additional Tool & Maintenance Kits			
24	ZZCHGUID	CHALLENGER GUIDELINES	1
25	ZZUN9910	SURFACING WARNING LABEL KIT	1
26	ZZUN9930	PIPE SYSTEMS MAINTENANCE KIT W/ AEROSOL	1



A great place to play is coming soon!

Alonzo Williams Park | Apopka, FL | October 19th, 2018

Design C

View A



Sponsored by



Featured Colors

- Metallic Gray
- Teal
- Chartreuse
- Beige-Gray
- Brown



View B



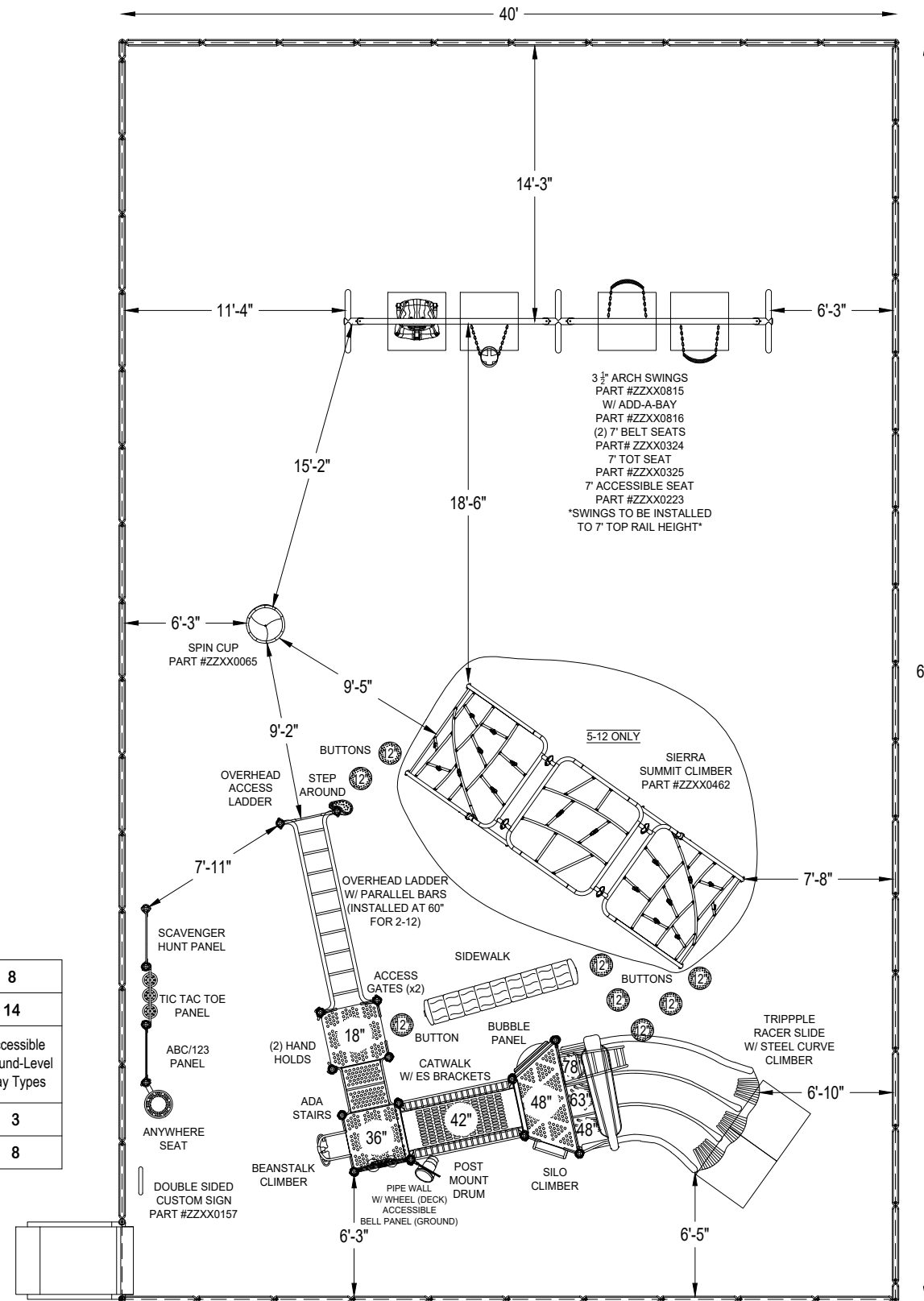
18-2904A

Playground design provided by
KaBOOM! Partner in Play



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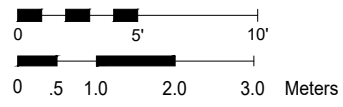
Design C



3 1/2" ARCH SWINGS
PART #ZZXX0815
W/ ADD-A-BAY
PART #ZZXX0816
(2) 7" BELT SEATS
PART# ZZXX0324
7" TOT SEAT
PART #ZZXX0325
7" ACCESSIBLE SEAT
PART #ZZXX0223
*SWINGS TO BE INSTALLED
TO 7" TOP RAIL HEIGHT*

ADA SCHEDULE	Total Elevated Play Activities: 8		
	Total Ground-Level Play Activities: 14		
	Accessible Elevated Activities	Accessible Ground-Level Activities	Accessible Ground-Level Play Types
Required	4	3	3
Provided	6	13	8

ADA SCHEDULE	Total Elevated Play Activities: 0		
	Total Ground-Level Play Activities: 1		
	Accessible Elevated Activities	Accessible Ground-Level Activities	Accessible Ground-Level Play Types
Required	0	0	0
Provided	0	1	1



*PLAYGROUND SUPERVISION REQUIRED



KaBOOM! DC
4301 Connecticut Ave. NW
Suite ML-1
Washington, D.C. 20008

EQUIPMENT SIZE:
25'-0" x 25'-10" x 11'-6"

USE ZONE:
40' x 65'

AREA: 2,600 SqFt. PERIMETER: 210 Ft.

FALL HEIGHT:
8'-7"

USER CAPACITY: 60 AGE GROUP: 2-12

- ✓ ASTM F1487-17
- ✓ CPSC #325



PROJECT NO:
18-2904A.KAB

SCALE:
1/8"=1'-0"

DRAWN BY:
D.ECKENSTINE

Paper Size

DATE:
29-AUG-2018

B

ALONZO WILLIAMS PARK
APOPKA, FLORIDA

Alonzo Williams Park

Design Number: 18-2904A - Bill Of Material

Design C

Ref. No.	Part No.	Description	Quantity
Posts			
1	ZZCH0009	3.5in OD x 112in STEEL POST W/RIVETED CAP	2
2	ZZCH0018	3.5in OD x 124in STEEL POST W/RIVETED CAP	2
3	ZZCH0028	3.5in OD x 136in STEEL POST W/ RIVETED CAP	8
4	ZZCH0038	3.5in OD x 148in STEEL POST W/ RIVETED CAP	1
5	ZZCH0058	3.5in OD x 172in STEEL POST W/RIVETED CAP	1
6	ZZCH0356	3.50in x 88in STEEL POST w/CAP	4
Decks & Kick Plates			
7	ZZCH0616	SQUARE COATED DECK ASSEMBLY	2
8	ZZCH0637	1/2 HEX COATED DECK W/O CENTER POST ASSEMBLY	1
Slides			
9	ZZCH1374	TRIPPPLE RACER SLIDE	1
10	ZZCH2805	ENTRY SUPPORT BRACKET	2
Activity Panels			
11	ZZCH4298	ABC & 123 PANEL (GROUND LEVEL)	1
12	ZZCH4350	TIC-TAC-TOE ACTIVITY WALL	1
13	ZZCH4547	SCAVENGER HUNT (GROUND LEVEL)	1
14	ZZCH4578	ANYWHERE SEAT	1
15	ZZUN4299	STEERING WHEEL (CH/EX PIPE WALL MOUNT FOR 4in CENTERS)	1
Barriers			
16	ZZCH4095	CENTERLINE PIPE WALL BARRIER	1
17	ZZCH4190	SMALL HAND HOLD	2
18	ZZCH4288	ACCESS GATE	2
19	ZZCH4811	OVAL BUBBLE PANEL (DECK MOUNT)	1
Climbers			
20	ZZCH7950	SILO CLIMBER (48in DECK)	1
21	ZZCH8100	BEANSTALK CLIMBER (36in DECK)	1
22	ZZCH8338	STEEL CURVE CLIMBER (TRIPPPLE SLIDE)	1
Overhead Events			
23	ZZCH5950	OVERHEAD EVENT ACCESS LADDER (12in DECK)	1
24	ZZCH6936	HORIZONTAL LADDER W/ PARALLEL BARS	1
Balance			
25	ZZCH0149	STEP AROUND	1
26	ZZUN7100	SIDEWALK	1
27	ZZUN7140	STATIONARY BUTTONS (12in)	8
Bridges			
28	ZZCH7085	6ft CATWALK	1
Audible Activities			
29	ZZCH4409	ACCESSIBLE BELL PANEL	1
30	ZZCH4649	POST MOUNT DRUM	1
Stairs and Ladders			
31	ZZCH9189	18in ACCESSIBLE STEPPED PLATFORM (DECK TO DECK)	1
Additional Tool & Maintenance Kits			

Alonzo Williams Park

Design Number: 18-2904A - Bill Of Material

Design C

Ref. No.	Part No.	Description	Quantity
32	ZZCHGUID	CHALLENGER GUIDELINES	1
33	ZZUN9910	SURFACING WARNING LABEL KIT	1
34	ZZUN9930	PIPE SYSTEMS MAINTENANCE KIT W/ AEROSOL	1



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER:

MEETING OF: September 5, 2018
 FROM: Community Development
 EXHIBITS: Power Point Presentation

SUBJECT: UCF BUSINESS INCUBATION PROGRAM ~ APOPKA

REQUEST: APPROVE FUNDING FOR RELOCATION, RENNOVATION AND FIRST YEAR OPERATIONS.

SUMMARY:

The UCF Business Incubation Program began in Apopka in 2012 when Apopka purchased the old Barnhills restaurant site at the NE corner of Main St. (U.S. 441) and S. McGee Ave. The 8,000 sq. ft. building provided space for new clients, small meeting spaces and a larger training room.

Due to the City Center development, the 1.1 acre site was included in, the site will have to be vacated within the next 60 days in order to construct turn lanes needed at that intersection.

Florida Hospital (AdventHEALTH) has graciously agreed to provide a 5,000 sq. ft. building at 205 N. Park Ave. on the campus of the “old” hospital on the north end of downtown. This site will be able to provide about 12 offices/rooms for the clients and UCF to continue this valuable economic development program.

The Power Point helps to summarize the program and what it does for Apopka and the surrounding businesses.

UCF Incubator ~ Apopka

Funding Requested:	
Moving	\$ 5,000
Renovation	<u>\$ 45,000</u>
	\$ 50,000
First Year Operations:	\$180,000

FUNDING SOURCE:

General Fund, and Orange County (potentially)

DISTRIBUTION

- | | | |
|--------------------------------|------------------|--------------------------|
| Mayor Nelson | Finance Director | Public Services Director |
| Commissioners | HR Director | Recreation Director |
| City Administrator | IT Director | City Clerk |
| Community Development Director | Police Chief | Fire Chief |

CITY COUNCIL – SEPTEMBER 5, 2018
UCF BUSINESS INCUBATION PROGRAM ~ APOPKA
PAGE 2

205 N. Park Ave.



RECOMMENDATION ACTION:

City Council: Approve the funding for the UCF Business Incubator Program as described.

<u>One-time funding:</u>	
Moving	\$ 5,000
Renovation	\$ 45,000
	\$ 50,000
 <u>First Year Operations:</u>	 \$180,000



Business Incubation Program

UNIVERSITY OF CENTRAL FLORIDA

PROJECT: UCF Incubator Program

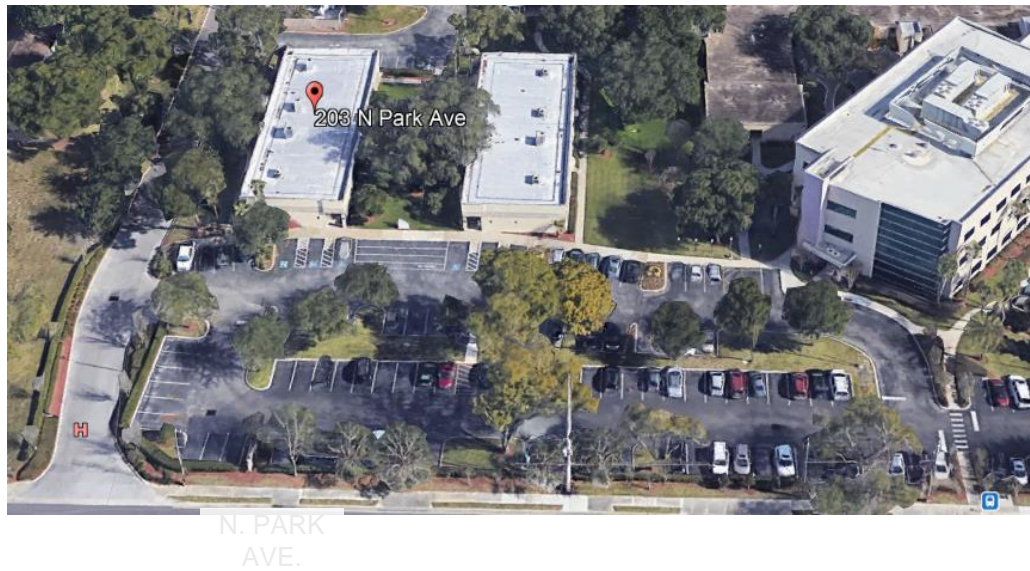
- * Information
- * Relocation
- * Funding

NEW LOCATION: 205 N. Park Ave.

REQUEST APPROVAL OF FUNDING:

- * Move
- * Renovation
- * First year of operations

UCF Incubator ~ Apopka proposed site
205 N. Park Ave.
5,032 sq. ft.



Background of the UCF Incubator ~ Apopka

- Currently located at 325 S. McGee Ave. on the east side of downtown Apopka, since 2012. (Newest UCF Incubator)
- Apopka City Center Development Agreement was approved July 2016.
- The City Center project included the 1.1 acre site that the UCF Incubator currently occupies.
- The most current agreement expired January 18, 2018 with a 90-day termination.
- Road construction for the Main St. (U.S. 441) and McGee Ave. intersection includes an east bound right turn lane. Construction of the turn lane will require the building to be vacated within the next 45 +/- days.
- Florida Hospital (AdventHEALTH) has graciously agreed to provide about 5,000 sq. ft. of space at 205 N. Park Ave., just north of the “old” hospital site, on the north side of downtown Apopka.



UCF Incubator Remote Locations

City	County	\$ Funding	Building	Offices / Clients *
Daytona	Volusia	\$ 250,000 Volusia	Provided	20 / 13
Winter Springs	Seminole	\$ 240,000 Seminole <u>\$ 75,000</u> WS \$ 315,000	Rented	30 / 20
Orlando	Orange	\$ 250,000 Orlando Reimbursement by City	Provided	17 / 14
Kissimmee	Osceola	\$ 135,000 Osceola <u>\$ 135,000</u> Kissimmee \$ 270,000	Rented	20 / 20
Apopka	Orange	\$ 180,000 Apopka Orange County potential funding	Building provided by AdventHEALTH Hospital	12 / 9 **

* Some clients may occupy more than one office.

** Based on current location. The new location may have more offices.





Business Incubation Program

UNIVERSITY OF CENTRAL FLORIDA

UCF Incubator ~ Apopka

Funding Requested:

Moving	\$ 5,000
Renovation	<u>\$ 45,000</u>
	\$ 50,000
First Year Operations	\$180,000





Business Incubation Program

UNIVERSITY OF CENTRAL FLORIDA

UCF Incubator ~ Apopka

Since 1999, the UCF Business Incubation Program has been helping early-stage companies develop into financially stable, high-impact enterprises by providing resources and services that facilitate smarter, faster growth.

The Apopka Program is the youngest of the remote locations and provides facilitation for business and economic development.

UCF also provides women and minority contractor certification education and training.





UCF

InBIA AWARDS

- *“Incubator of the Year” – 2004*
- *“Incubator Client of the Year” - Cognoscenti Health Institute – 2004*
- *“Non-Tech Incubator Graduate of the Year” – BDG Construction Services – 2012*
- *“Non-Tech Incubator Client of the Year” – Hometown Health TV – 2012*
- *“Incubator Network of the Year” – 2013*
- *“Technology Incubator Graduate of the Year” – Optigrate - 2014*





Services UCFBIP Provide

- On-site business coaching and mentoring
- Entrepreneurship curriculum, seminars
- Access to community leaders and an exceptional advisory board
- Shared resources
 - Reception area, conference rooms, training room, business library, high speed internet, work/break rooms and office equipment
- Networking opportunities
- Access to interns/students
- Adaptable space
- Flexible lease
- Off-Site client availability
- Women and minority contractor certification education and training.





UCF

Business Incubation Program

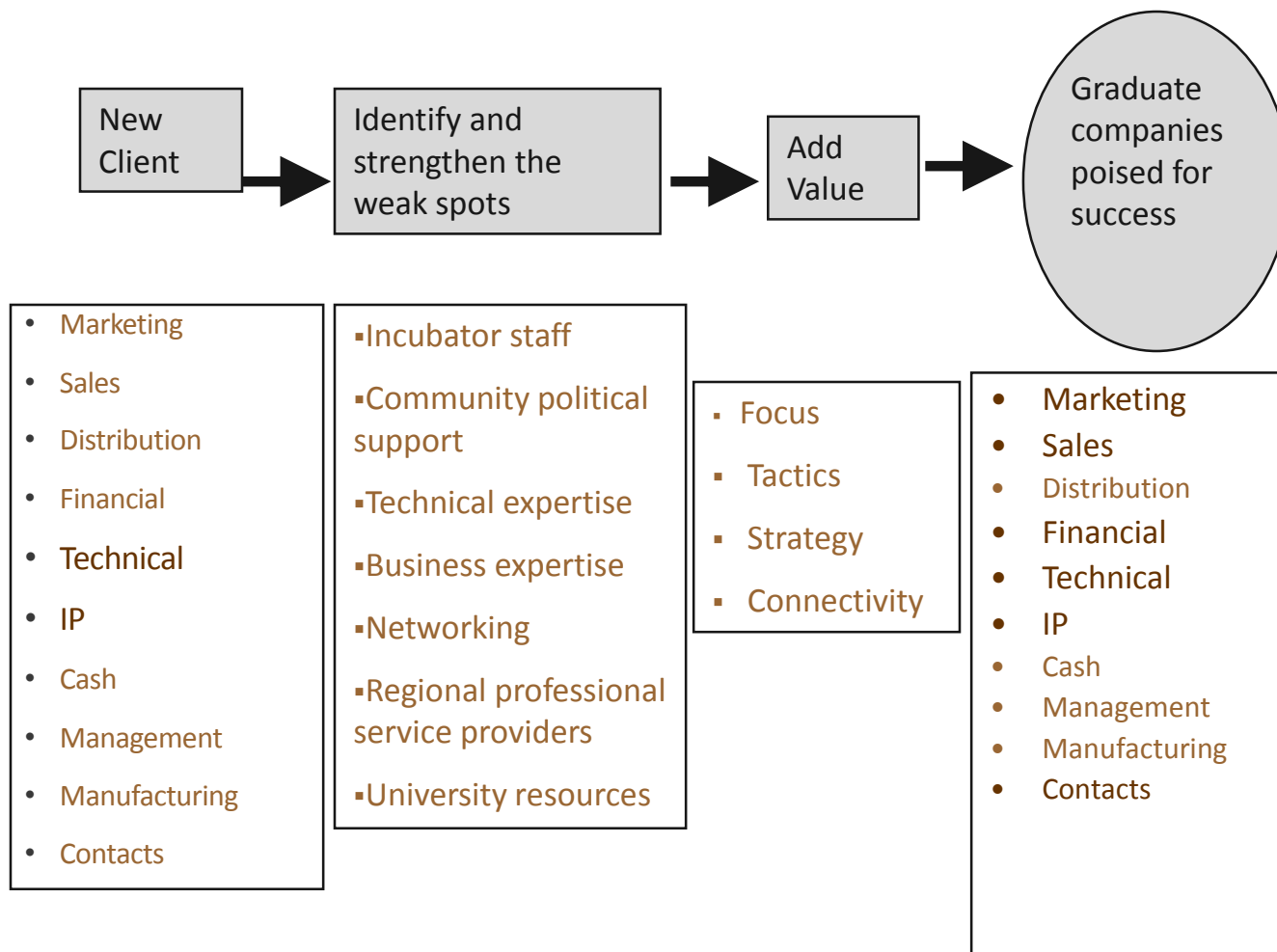
UNIVERSITY OF CENTRAL FLORIDA

UCFBIP Results

Companies serving (Current/Soft Landing)– August 29, 2018	148
Companies graduated	184
Companies assisted in total	>500
Jobs sustained (direct, indirect and induced)	>4,710
<i>Source: WHOwen Consulting, June 2014</i>	
Average salary	+45%
Investment raised: 2016/2017	\$6m/\$6m
Grants received: 2016/2017	\$3m/\$2m
2014-2016 ROI: \$7.41 for every \$1.00 invested by local governments (Osceola, Orange, Seminole & Volusia)	7.41: 1
<i>Source: WHOwen Consulting, June 2014</i>	
Number of Incubator sites in UCFBIP	7
Sq. feet covered	130,000



What does the UCFBIP do?





UCF

The Soft Landing Program

- Satellite office space with flexible short term lease at 7 sites in 4 counties in Central FL
- Connections with the Central Florida business community
- Access to a network of training and meeting rooms
- Access to a PR Bureau for Press Release creation and distribution
- Domestic market research
- Access to experts concerning import/export laws and regulations
- Cultural training
- Connections to UCF faculty and students





VETERANS FLORIDA PROGRAM



Fall & Winter – a series of workshops

Spring & Summer –series of advanced workshops

Veterans commit to 15 hours per week

7 In Person Workshops on Saturdays + Business
Competition





Incubation Process (5-steps):

Evaluation:

- Submit Application
- Complete Excellence in Entrepreneurship (EIE) Course
- Present to Selection Committee
- Admission

Orientation:

- Incubator Orientation
- Business Development Orientation

Growth:

- Strategy Series Work Sessions
- Company Growth Strategy
- Elevator Proposition
- Problem Solving
- Build Revenue Projections
- Market Growth Strategy
- Target Customer
- Market Segmentation
- Sustainable Competitive Advantage
- Investment/Funding Strategy
- Government Funding
- Term Sheet
- PowerPoint Presentation for Investors
- Participate in Day-to-Day Tactical Meetings





UCF

Business Incubation Program

UNIVERSITY OF CENTRAL FLORIDA

Maturation:

- Present Initial Business Plan
- Present Final Business Plan
- Revisit Strategy Plan

Graduation:

Graduation takes place when a client has achieved a level of financial and corporate growth that enables them to leave the incubator and enter the second-stage of corporate development.



UCF Incubator ~ Apopka

Vision for expanding the Incubator Program to include other currently available UCF Programs:



Education classes - \$300,000 NSF Innovation Corps funding. Recruiting and training 96 entrepreneurial teams that could result in 96 new companies over the three year grant period. The new program will offer seed funding to each selected team to be used as early development seed money to turn their entrepreneurial ideas into potentially viable companies. <https://icorps.cie.ucf.edu/>



StarterStudio is a robust entrepreneurial community for tech-enabled startups and other innovators that are adding fuel to Florida's growing technology economy. Each "Starter" and venture is different, so we have tons of events and programs, two accelerators (one with direct funding built-in), three (and counting) collaborative work spaces, and a variety of partners, mentors, and supporters of our community that are creating an ecosystem like no other.

<https://www.starterstudio.org/>

500+

Startups Supported

425K

Evergreen Seed Investments

11M+

Outside Funding Raised

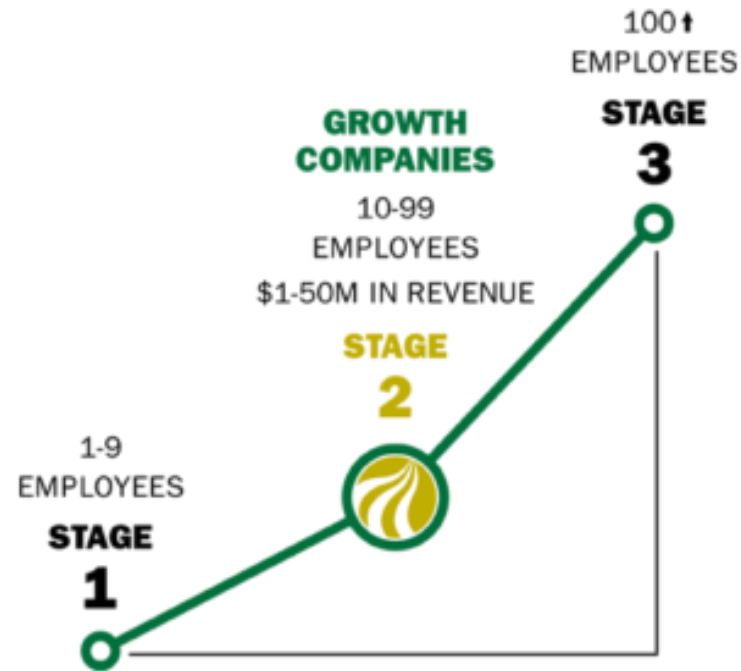
82

Accelerator Graduates



UCF Incubator ~ Apopka

Vision for expanding the Incubator Program to include other currently available UCF Programs (continued) :



You Dreamt it. You Built it. Let's Grow it Together.

Second-stage companies headquartered in Florida are the definition of economic growth and prosperity—they are responsible for creating 34% of all jobs. Second-stage companies face unique challenges as they grow and GrowFL's Business Growth Program is designed to help their leadership overcome these obstacles by providing methods proven to help take their companies to the next level.

GrowFL provides access to resources, analysts and tools typically only available and affordable to Fortune 500 companies. These high-powered assets are at the disposal of the CEO, business owner or president and their sales and marketing teams.

<https://www.growfl.com/>



UCF Incubator ~ Apopka

It's all about economic development for OUR business community

Next Steps:

- Leverage our partnership with UCF to seek additional educational resources, opportunities and support.
- Partner with the Apopka Area Chamber of Commerce and the business community to offer programs, events and educational resources to non-Incubator clients, that are located within the Apopka area.
- Seek and apply for EDA (Economic Development Association) funding.
- Search and Secure a long-term facility to house the UCF Business Incubator.
- Seek additional support from Orange County Government.



Business Incubation Program

UNIVERSITY OF CENTRAL FLORIDA

Questions ?

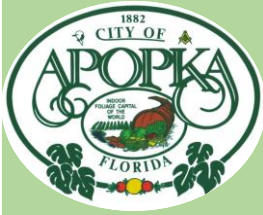
For further *UCF Business Incubation Program*
information contact:

Rick Parks, Site Manager
UCF Business Incubator - Apopka
325 S. McGee Ave.
Apopka, Florida, 32703
407-814-1282
rick.parks@ucf.edu
www.incubator.ucf.edu

For further *Apopka Chamber of Commerce*
business information Contact:

Robert J. Agrusa, President
180 East Main Street
Apopka, FL 32703
Office Phone: 407.886.1441
Mobile Phone: 407.907.8082
Robert@apokachamber.org
www.ApopkaChamber.org





CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER:

MEETING OF: September 5, 2018
FROM: Administration
EXHIBITS: Surplus Forms

SUBJECT: SURPLUS PROPERTY

REQUEST: AUTHORIZE THE DISPOSAL OF SURPLUS EQUIPMENT/PROPERTY AND REMOVAL OF ASSET PROPERTY FROM THE CITY ASSET LIST.

SUMMARY:

Staff requests City Council approval to dispose of surplus capital equipment/property which has no useful benefit to the daily operation of the city. This request is per Administrative Policy 122.1.1.II: "The disposal of capital asset property which is obsolete, or for which the continued use would be uneconomical or inefficient, shall be in accordance with Florida Statue 274 and must be approved by the City Council". The asset property includes the disposal of items by auction, donation, or elimination. The attached forms identify equipment and vehicles which no longer function or have usefulness to the city.

FUNDING SOURCE:

N/A

RECOMMENDATION ACTION:

Authorize the disposal of said equipment/property.

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief



Asset Management Surplus Form

Administrative Policy 122.1.1: Capital Assets of \$1,000 or more

Complete the form below if city owned equipment is sold, transferred, or disposed of. This form, once signed by the City Administrator and approved by City Council, grants approval to dispose of equipment and serves to update the fixed asset inventory database. Departments should obtain, and keep on file, a copy of this written approval authorizing the disposal of equipment.

Department/Division: 2210 - 2270 Name: REINHART Title: DEC

ITEM	ASSET TAG or SERIAL #	Condition Reason	Disposed Missing	Scrapped	Auctioned Sold	Donated	Description of Disposal [where items were placed]
Whewer BAR	UNRECOGNIZ	INOP			X		D-1 ASSETS
Whewer BAR	UNRECOGNIZ	INOP					
Whewer BAR	23622	OBSOLETE					
Whewer BAR	UNRECOGNIZ	OBSOLETE					
Whewer BAR	UNRECOGNIZ	INOP					
Whewer BAR	UNRECOGNIZ	OBSOLETE					
Whewer BAR	23618	INOP					
Whewer SIGNAGE	CO150211	OBSOLETE					
Whewer SIGNAGE	CO263486	OBSOLETE					
Whewer SIGNAGE	N238317	OBSOLETE					

Department Director Approval: _____ Date: 7-26-18

City Administrator Approval: _____ Date: _____

Department/Division: 2210 - 2230

Name: Penhaudt

Title: DC

ITEM	ASSET TAG or SERIAL #	Condition Reason	Disposed Missing	Scrapped	Auctioned Sold	Donated	Description of Disposal [where items were placed]
Whaler Snow Any	PHD10128	03501WR			✓		A-1 ASSETS
Whaler Snow Any	POD27824	03501WR					
Whaler Snow Any	PMB10994	03501WR					
Whaler Snow Any	PHD13502	03501WR					
Whaler Any	PMK26731	03501WR					
Whaler Any	CO152627	03501WR					
Whaler Any	01715	03501WR					
Whaler Any	PK110654	03501WR					
Whaler Snow	CO028455	03501WR					
Whaler Snow	CO11005	03501WR					
Whaler Snow	184064	03501WR					
Whaler Snow	PMH107050	03501WR					
Whaler Snow	CO122065	03501WR					
Whaler Snow	CO025468	03501WR			✓		

Department Director Approval: 

Date: 7-26-18

City Administrator Approval: _____

Date: _____

Department/Division: 2210-2220

Name: RINWANATH

Title: OC

ITEM	ASSET TAG or SERIAL #	Condition Reason	Disposed Missing	Scrapped	Auctioned Sold	Donated	Description of Disposal [where items were placed]
Opti Com 3-M	17822	obsolete			✓		A-1. ASSORTS
Opt Com 3-M	18236	obsolete					
Opti Com 3-M	17001	obsolete					
Opti Com 3-M	18118	obsolete					
Opti Com 3-M	13401	obsolete					
Opti Com 3-M	14602	obsolete					
Opti Com 3-M	13088	obsolete					
Opti Com 3-M	11526	obsolete					
Opti Com 3-M	16999	obsolete					
Opti Com 3-M	12443	obsolete					
Opti Com 3-M	14025	obsolete					
Opti Com 3-M	IS10161AR	INOP					
Opti Com 3-M	11522	obsolete					
Opti Com 3-M	10515AG	obsolete					

Department Director Approval: _____

Date: 7-26-18

City Administrator Approval: _____

Date: _____

Department/Division: 2210-2230

Name: Parsham

Title: DNE

ITEM	ASSET TAG or SERIAL #	Condition Reason	Disposed Missing	Scrapped	Auctioned Sold	Donated	Description of Disposal [where items were placed]
Whaler Saver	87031	loop			X		A-1 Assets
Whaler Saver	Unknown	Obscure					
Whaler Saver	C0757602	loop					
Whaler Saver	Unknown	loop					
Whaler Saver	C0757591	loop					
Whaler Saver	Unknown	Obscure					
Whaler Saver	C0757605	loop					
Whaler Saver	C0757604	loop					
Air RACKS	NONE	Obscure					
SETBACK M/F	NONE	Obscure					
Shot Gun Rack	12/05	loop					
Pro GARD	NONE	Obscure					
Disgae (Yard)	NONE	Obscure					
Cam mount	NONE	Obscure					
Keston Saver	IND1423	loop					
LED Saver	IND1423	loop					
Keston Saver	IND1423	loop					
Cam mount	IND1423	loop					
DI. Dash	FE01K1141033855	loop					

Department Director Approval: 

Date: 7-26-18

City Administrator Approval: _____

Date: _____

Department/Division: 22115 - 2230 Name: Ronhardt

Title: OPR

ITEM	ASSET TAG or SERIAL #	Condition Reason	Disposed Missing	Scrapped	Auctioned Sold	Donated	Description of Disposal [where items were placed]
Opti com 3-m w Helen	7921H50320	INOP			X		P-1 Assets
Opti com w Helen	16252	INOP					
LED MDC A w/Hy w Helen	00576	obsolete					
LED Hide A w/Hy w Helen	00599	obsolete					
Hand lamp FLSHTR w Helen	C 0805123	obsolete					
Hand lamp FLSHTR w Helen	C 0003624	obsolete					
Hand lamp FLSHTR w Helen	C1063639	obsolete					
Smart led 700 Series w Helen	01-66841274500	obsolete					
Smart led 700 Series w Helen	01-06841274500	obsolete					
Smart led 700 Series w Helen	UN Removable	obsolete					
Smart led 700 Series w Helen	UN Removable	obsolete					
Hand lamp FLSHTR GAP, STAND	Pol 00990	obsolete					
Fluor's Cond. stands	C-3090-3	obsolete					
Fluor's Cond. stands	C-3090-3	obsolete					

Department Director Approval: RA

Date: 7.26.18

City Administrator Approval: _____

Date: _____

Department/Division: 2210 - 2270

Name: Richard

Title: art

ITEM	ASSET TAG or SERIAL #	Condition Reason	Disposed Missing	Scrapped	Auctioned Sold	Donated	Description of Disposal [where items were placed]
Stark Lin	9216R0214	noop			X		A1 ASSNS
DEU CPU box	IN01473	noop					
Whetson control	PSE 11711	noop					
Whetson control	CU88101	DISCARD					
Whetson control	N 01074	noop					
Strom cage							
Canon VIL (X7)	NONR	DISCARD					
Whetson cage (X10)	NONR	DISCARD					
SERVER cage (X5)	NONR	DISCARD					
SETMAN cage	NONR	DISCARD					
Whetson Filter (X2)	NONR	DISCARD					
Whetson control	P/N-CH38084	DISCARD					
Whetson control (X5)	C-VS-800-004	DISCARD					
Whetson control							
SEVEN Bumpin Guard ASER	NONR	noop					
SEVEN Bumpin Guard ASER	NONR	noop					
SEVEN Bumpin Guard ASER	NONR	noop					

Department Director Approval: 

Date: 7-26-16

City Administrator Approval: _____

Date: _____



Department/Division: 2210 - 2220

Name: R. Rishner

Title: DR

ITEM	ASSET TAG or SERIAL #	Condition Reason	Disposed Missing	Scrapped	Auctioned Sold	Donated	Description of Disposal [where items were placed]
LOW STAND HAVIS	C-3090-3	obsolete			X		A1 ASSETS
LOW STAND HAVIS	C-3090-3	obsolete					
LOW STAND HAVIS	C-3090-3	obsolete					
LOW STAND HAVIS	C-3090-3	obsolete					
LOW STAND HAVIS	C-3090-3	obsolete					
LOW STAND HAVIS	C-3090-3	obsolete					
LOW STAND HAVIS	C-3090-3	obsolete					
LOW STAND HAVIS	C-3090-3	obsolete					
LOW STAND HAVIS	C-3090-3	obsolete					
LOW STAND HAVIS	C-3090-3	obsolete					
AMERICAN ALUM CAGE EXPLOR- AMERICAN NUM CAGE EXPLORER	NUT C-2152611	obsolete obsolete					

Department Director Approval: 

Date: 7.26.18

City Administrator Approval: _____

Date: _____



Asset Management Disposal Form

Administrative Policy 109.2: Non-Fixed Assets of less than \$1,000

Complete the form below if city owned equipment is sold, transferred, or disposed of. This form, once signed by the City Administrator, grants approval to dispose of equipment. Departments should obtain, and keep on file, a copy of this written approval authorizing the disposal of equipment.

Department/Division: Police Name: Kim Walsh Title: Sergeant

ITEM	ASSET TAG or SERIAL #	Condition Reason	Disposed Missing	Scrapped	Auctioned Sold	Donated	Description of Disposal [where items were placed]
(3) MAG LITES	32315829	OBSOLETE					
(8) MOTOROLA RADIO MIC	HMM1090C	OBSOLETE					
(8) GLOBALSAT GPS ANTENNA	MR-350P	OBSOLETE					
(33) PCTEL ANTENNAS	MAKC24505	OBSOLETE					
(51) PCTEL ANTENNAS	MLFPL195C	OBSOLETE					
(2) L-COM CABLES	TRD855SCR-1	OBSOLETE					
(1) PCTEL CABLE	195MSMA	OBSOLETE					
(1) PCTEL ANTENNA	MLPY1700	OBSOLETE					
(3) UNKNOWN USB CABLES	UNKNOWN	OBSOLETE					
(25) CE POWER INJECTORS	TP-DEDC-1218	OBSOLETE					

Department Director Approval: Mr. McKing Date: 8/30/2018

City Administrator Approval: _____ Date: _____

Department/Division: Police Name: Kim Walsh Title: Sergeant

ITEM	ASSET TAG or SERIAL #	Condition Reason	Disposed Missing	Scrapped	Auctioned Sold	Donated	Description of Disposal [where items were placed]
(38) L-COM CABLES	NONE	OBSOLETE					
(16) AMPHENOL SHIELDED CABLES	NONE	OBSOLETE					
(2) MOTOROLA RADIO FACEPLATE	PMUN1058A	OBSOLETE					
(1) UNKNOWN MINI-KEYBOARD	X9PBK83B	OBSOLETE					
(1) MOTOROLA AC ADAPTER	MU20	OBSOLETE					
(1) HP AC ADAPTER	1109625902	OBSOLETE					
(1) ISM AC ADAPTER	MU32C65VX	OBSOLETE					
(1) LOGITECH MOUSE	UNKNOWN	OBSOLETE					
(1) STI-CB CABLE	CCAS-SB-7-800	OBSOLETE					
(1) CARRIER PDE ADAPTER	UB1-PDE 24-1	OBSOLETE					
(1) IBM THINKPAD	45-427-631-687	OBSOLETE					
(6) BUNDLES OF 15' CABLES	NONE	OBSOLETE					
(1) MOTOROLA KEYBOARD	736SDG0833	OBSOLETE					
(1) BUNDLE RED + BLUE CABLE	NONE	OBSOLETE					

Department Director Approval: _____ Date: _____

City Administrator Approval: _____ Date: _____

Department/Division: Police Name: Kim Walsh Title: Sergeant

ITEM	ASSET TAG or SERIAL #	Condition Reason	Disposed Missing	Scrapped	Auctioned Sold	Donated	Description of Disposal [where items were placed]
(1) EUK							
TRANSFORMER	TRG 1640	OBsolete					
(1) POLYPHASE SUPPRESSOR	CGX236N7DF	OBsolete					
(1) MOTOROLA ROUTER BOARD	1FC50193682B	OBsolete					
(1) MOTOROLA ROUTER BOARD	188701CE402	OBsolete					
(1) MOTOROLA ROUTER BOARD	1FC501936831	OBsolete					
(1) MOTOROLA ROUTER BOARD	1FC50193683C	OBsolete					
(1) MOTOROLA ROUTER BOARD	1FC501F96734	OBsolete					
(1) MOTOROLA ROUTER BOARD	1FC50193135F	OBsolete					
(1) MOTOROLA ROUTER BOARD	1FC601F9233A	OBsolete					
(1) MOTOROLA ROUTER BOARD	1FC601F92327	OBsolete					
(1) MOTOROLA ROUTER BOARD	1FC501F96731	OBsolete					
(1) MOTOROLA ROUTER BOARD	1FC501931358	OBsolete					
(1) MOTOROLA ROUTER BOARD	1FC5019368A3	OBsolete					
(1) MOTOROLA ROUTER BOARD	1FC501F92326	OBsolete					

Department Director Approval: _____ Date: _____
 City Administrator Approval: _____ Date: _____

Department/Division: Police Name: Kim Walsh Title: Sergeant

ITEM	ASSET TAG or SERIAL #	Condition Reason	Disposed Missing	Scrapped	Auctioned Sold	Donated	Description of Disposal [where items were placed]
(2) MOTOROLA							
ROUTER BOARD	1FC501933BF2	OBSOLETE					
(1) MOTOROLA							
ROUTER BOARD	1FC5019377E4	OBSOLETE					
(1) MOTOROLA							
ROUTER BOARD	1FC501934918	OBSOLETE					
(1) MOTOROLA							
ROUTER BOARD	1FC501934980	OBSOLETE					
(1) MOTOROLA							
ROUTER BOARD	1FC501F967CB	OBSOLETE					
(1) MOTOROLA							
ROUTER BOARD	1FC501933BF3	OBSOLETE					
(1) MOTOROLA							
ROUTER BOARD	1FC501934981	OBSOLETE					
(9) MULTIPLIER							
RADIO BATTERIES	UNKNOWN	OBSOLETE					
(14) MOTOROLA							
RADIO BATTERIES	UNKNOWN	OBSOLETE					
(1) MOTOROLA							
RADIO	136SDG0877	OBSOLETE					
(1) ASTRON							
RADIO	203120013	OBSOLETE					
(1) MOTOROLA							
COMPUTER SCREEN	736SDG0142	OBSOLETE					
(1) NEC							
COMPUTER MONITOR	92L30396WA	OBSOLETE					
SERVER							
SERVER	JUSTIN-245	OBSOLETE					

Department Director Approval: _____ Date: _____
 City Administrator Approval: _____ Date: _____

Department/Division: Police Name: Kim Walsh Title: Sergeant

ITEM	ASSET TAG or SERIAL #	Condition Reason	Disposed Missing	Scrapped	Auctioned Sold	Donated	Description of Disposal [where items were placed]
(1) DATA RADIO	21456	OBSOLETE					
(1) DATA RADIO	21551	OBSOLETE					
(1) DATA RADIO	460679	OBSOLETE					
(1) DATA RADIO	459225	OBSOLETE					
(1) DATA RADIO	460617	OBSOLETE					
(1) DATA RADIO	459207	OBSOLETE					
(1) DATA RADIO	459986	OBSOLETE					
(1) DATA RADIO	459222	OBSOLETE					
(1) DATA RADIO	460489	OBSOLETE					
(1) DATA RADIO	460618	OBSOLETE					
(1) DATA RADIO	459215	OBSOLETE					
(1) DATA RADIO	459269	OBSOLETE					
(1) DATA RADIO	459972	OBSOLETE					
(1) DATA RADIO	459208	OBSOLETE					

Department Director Approval: _____ Date: _____

City Administrator Approval: _____ Date: _____

Department/Division: Police Name: Kim Walsh Title: Sergeant

ITEM	ASSET TAG or SERIAL #	Condition Reason	Disposed Missing	Scrapped	Auctioned Sold	Donated	Description of Disposal [where items were placed]
(1) DATA/RADIO	459262	OBSOLETE					
RADIO							
(1) DATA/RADIO	460608	OBSOLETE					
RADIO							
(1) DATA/RADIO	459210	OBSOLETE					
RADIO							
(1) DATA/RADIO	460296	OBSOLETE					
RADIO							
(1) DATA/RADIO	460007	OBSOLETE					
RADIO							
(1) DATA/RADIO	460235	OBSOLETE					
RADIO							
(1) DATA/RADIO	460268	OBSOLETE					
RADIO							
(1) MOTOROLA	500CFE2057	OBSOLETE					
RADIO							
(1) MOTOROLA	20259	OBSOLETE					
CONTROL UNIT							
(1) MOTOROLA							
ROUTER BOARD	1FC501931359	OBSOLETE					
(1) MOTOROLA							
RADIO	869 PAL 3199	OBSOLETE					
(1) MOTOROLA							
FLASHPORT	RIN1015C	OBSOLETE					
(1) MOTOROLA							
RADIO PORT	UUKK0000N	OBSOLETE					
(1) MOTOROLA							
RADIO CHASSIS	1123264311	OBSOLETE					

Department Director Approval: _____ Date: _____

City Administrator Approval: _____ Date: _____



**Asset Management
Surplus Form**
Administrative Policy 122.1.1: Capital Assets of \$1,000 or more

Complete the form below if city owned equipment is sold, transferred, or disposed of. This form, once signed by the City Administrator and approved by City Council, grants approval to dispose of equipment and serves to update the fixed asset inventory database. Departments should obtain, and keep on file, a copy of this written approval authorizing the disposal of equipment.

Department/Division: Police Name: KIM WALSH Title: Sergeant

ITEM	ASSET TAG or SERIAL #	Condition Reason	Disposed Missing	Scrapped	Auctioned Sold	Donated	Description of Disposal [where items were placed]
(1) HP SERVER	HSTNS-2115 19886	OBSOLETE					
(1) MOTOROLA RADIO	20043 19634	OBSOLETE					
(1) MOTOROLA RADIO	20094	OBSOLETE					
(1) MOTOROLA RADIO	672HCU6804	OBSOLETE					
(1) MOTOROLA RADIO	19885	OBSOLETE					
(1) MOTOROLA RADIO	326AZW0935	OBSOLETE					
(1) MOTOROLA RADIO	20000	OBSOLETE					
(1) MOTOROLA RADIO	511AWE2223	OBSOLETE					
(1) MOTOROLA RADIO	466AAC4979	OBSOLETE					
(1) MOTOROLA RADIO	466AAW2319	OBSOLETE					

Department Director Approval: *Mike McKing* Date: 8/30/2018

City Administrator Approval: _____ Date: _____

Department/Division: Police

Name: Kim Walsh

Title: Sergeant

ITEM	ASSET TAG or SERIAL #	Condition Reason	Disposed Missing	Scrapped	Auctioned Sold	Donated	Description of Disposal [where items were placed]
(1) MOTOROLA RADIO	310AZQ0501	OBSOLETE					
(1) MOTOROLA RADIO	466AAW2317	OBSOLETE					
(1) MOTOROLA RADIO	205CLE1452	OBSOLETE					
(1) MOTOROLA RADIO	18723	OBSOLETE					
(1) MOTOROLA RADIO	326ACC0003	OBSOLETE					
(1) MOTOROLA RADIO	326AZW0938	OBSOLETE					
(1) MOTOROLA RADIO	466AAA4470	OBSOLETE					
(1) MOTOROLA RADIO	466ABU1849	OBSOLETE					
(1) MOTOROLA RADIO	466ACG0600	OBSOLETE					
(1) MOTOROLA RADIO	1338LE3769	OBSOLETE					
(1) MOTOROLA RADIO	626AML0517	OBSOLETE					
(1) MOTOROLA RADIO	20049	OBSOLETE					
(1) MOTOROLA RADIO	466CCU2943	OBSOLETE					
(1) MOTOROLA RADIO	466CCU2942	OBSOLETE					

Department Director Approval: _____

Date: _____

City Administrator Approval: _____

Date: _____



Asset Management Disposal Form

Administrative Policy 109.2: Non-Fixed Assets of less than \$1,000

Complete the form below if city owned equipment is sold, transferred, or disposed of. This form, once signed by the City Administrator, grants approval to dispose of equipment. Departments should obtain, and keep on file, a copy of this written approval authorizing the disposal of equipment.

Department/Division: Public Services Name: R. Jay Davoll Title: Director

ITEM	ASSET TAG or SERIAL #	Condition Reason	Disposed Missing	Scrapped	Auctioned Sold	Donated	Description of Disposal [where items were placed]
Monitor	ETL480B182650088F039 2B	Used/Replaced			X		GIDEON AUCTIONEERS
Monitor	DP22HVFLC0266J	Used/Replaced			X		GIDEON AUCTIONEERS
Monitor	MU199009B0001510	Used/Replaced			X		GIDEON AUCTIONEERS
Monitor	DP22HVFLA04622Z	Used/Replaced			X		GIDEON AUCTIONEERS
Monitor	MPKD03130253	Used/Replaced			X		GIDEON AUCTIONEERS
Monitor	0101027505	Used/Replaced			X		GIDEON AUCTIONEERS
Printer	FXUY620710	Used/Replaced			X		GIDEON AUCTIONEERS
Printer	MX8AF1SOMB	Used/Replaced			X		GIDEON AUCTIONEERS
Printer	MY74G1R1TJ	Used/Replaced			X		GIDEON AUCTIONEERS
Printer	MY5AQQ5P696	Used/Replaced			X		GIDEON AUCTIONEERS

Department Director Approval: *R. Jay Davoll* Date: 8/29/2018
 City Administrator Approval: _____ Date: _____

Department/Division:

Public Services

Name:

R. Jay Davoll

Title:

Director

ITEM	ASSET TAG or SERIAL #	Condition Reason	Disposed Missing	Scrapped	Auctioned Sold	Donated	Description of Disposal [where items were placed]
Printer	MY74G1R1TB	Used/Replaced			X		GIDEON AUCTIONEERS
Printer	602992	Used/Replaced			X		GIDEON AUCTIONEERS
Key board	MCT24113074	Used/Replaced			X		GIDEON AUCTIONEERS
Key board	B056038	Used/Replaced			X		GIDEON AUCTIONEERS
Key board	HK-810	Used/Replaced			X		GIDEON AUCTIONEERS
Key board	KFKEA4XA8BS21610	Used/Replaced			X		GIDEON AUCTIONEERS
Key board	KFKEA4XA7A330489	Used/Replaced			X		GIDEON AUCTIONEERS
Key board	6968200823592	Used/Replaced			X		GIDEON AUCTIONEERS
Computer mouse	103179-068	Used/Replaced			X		GIDEON AUCTIONEERS
Computer mouse	HM-78	Used/Replaced			X		GIDEON AUCTIONEERS
Phone	B344GD	Used/Replaced			X		GIDEON AUCTIONEERS
Phone	A0618772	Used/Replaced			X		GIDEON AUCTIONEERS
Phone	3LAHB105251	Used/Replaced			X		GIDEON AUCTIONEERS
Answering system	00091505424	Used/Replaced			X		GIDEON AUCTIONEERS

Department Director Approval:

Date:


8/29/2018

City Administrator Approval:

Date:

Department/Division: **Public Services** Name: **R. Jay Davoll** Title: **Director**

ITEM	ASSET TAG or SERIAL #	Condition Reason	Disposed Missing	Scrapped	Auctioned Sold	Donated	Description of Disposal [where items were placed]
CD-Rom drive	7X4H004745	Used/Replaced			X		GIDEON AUCTIONEERS
Fluke volt meter	78722378	Bad/Broken			X		GIDEON AUCTIONEERS
Flow Meter	20894	Damaged/Replaced			X		GIDEON AUCTIONEERS
Flow Meter	20896	Damaged/Replaced			X		GIDEON AUCTIONEERS
Flow Meter	20895	Damaged/Replaced			X		GIDEON AUCTIONEERS
Flow Meter	20893	Damaged/Replaced			X		GIDEON AUCTIONEERS
F-150 CNG Tank with cover	N/A	NOT USED			X		GIDEON AUCTIONEERS
33-0710 AIR COMPRESSO	800160 EMGLO	POOR			X		GIDEON AUCTIONEERS
SHOP CEILING LIGHTS	400W	POOR			X		GIDEON AUCTIONEERS

Department Director Approval: 

Date: 8/29/2018

City Administrator Approval: _____

Date: _____



**Asset Management
Surplus Form**

Administrative Policy 122.1.1: Capital Assets of \$1,000 or more

Complete the form below if city owned equipment is sold, transferred, or disposed of. This form, once signed by the City Administrator and approved by City Council, grants approval to dispose of equipment and serves to update the fixed asset inventory database. Departments should obtain, and keep on file, a copy of this written approval authorizing the disposal of equipment.

Department/Division: Public Services Name: R. Jay Davoll Title: Director

ITEM	ASSET TAG or SERIAL #	Condition Reason	Disposed Missing	Scrapped	Auctioned Sold	Donated	Description of Disposal [where items were placed]
Gear box	19453 / SN# 3101484-1	Fair			X		GIDEON AUCTIONEERS
Teco VFD	20317 / SN# B66805-009	Bad - Burned out			X		GIDEON AUCTIONEERS
Siemens (PLC)	J9S3324914	Bad - Burned out			X		GIDEON AUCTIONEERS
Siemens (PLC)	J9S3324961	Bad - Burned out			X		GIDEON AUCTIONEERS
Siemens (Touch screen)	6AV6545-0CC10-0AX0	Used/Replaced			X		GIDEON AUCTIONEERS
Siemens (Touch screen)	C-P6C79978	Used/Replaced			X		GIDEON AUCTIONEERS
Filter belt/Belt Press	no number	Used/Replaced			X		GIDEON AUCTIONEERS
Filter belt/Belt Press	no number	Used/Replaced			X		GIDEON AUCTIONEERS
Filter belt/Belt Press	no number	Used/Replaced			X		GIDEON AUCTIONEERS

Department Director Approval: _____

[Signature]

Date: 8/29/2018

City Administrator Approval: _____

Date: _____

Department/Division: **Public Services** Name: **R. Jay Davoll** Title: **Director**

ITEM	ASSET TAG or SERIAL #	Condition Reason	Disposed Missing	Scrapped	Auctioned Sold	Donated	Description of Disposal [where items were placed]
Computer	XP-PW-3111-0001	Used/Replaced			X		GIDEON AUCTIONEERS
Computer	16191022300495	Used/Replaced			X		GIDEON AUCTIONEERS
Computer	G9XQG51	Used/Replaced			X		GIDEON AUCTIONEERS
Computer	4120155605	Used/Replaced			X		GIDEON AUCTIONEERS
Computer	4120155375	Used/Replaced			X		GIDEON AUCTIONEERS
Computer	18382	Used/Replaced			X		GIDEON AUCTIONEERS
Computer	19283	Used/Replaced			X		GIDEON AUCTIONEERS
Computer	G253331	Used/Replaced			X		GIDEON AUCTIONEERS
Computer	19022	Used/Replaced			X		GIDEON AUCTIONEERS
Computer	RC330KKR10074600876	Used/Replaced			X		GIDEON AUCTIONEERS
Computer	no numbers	Used/Replaced			X		GIDEON AUCTIONEERS
Siemens VFD/240	IP 6SL3224-0BE33-7UAO T-F0211200011	Bad - Burned out			X		GIDEON AUCTIONEERS
Wilo 5.4 hp Lift Station Pump	650012779	Used/Replaced			X		GIDEON AUCTIONEERS
Motor U.S. 75H.P.	1MAF42754G2T2	Used/Replaced			X		GIDEON AUCTIONEERS

Department Director Approval: 


Date: 8/29/2018

City Administrator Approval: _____

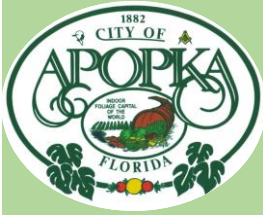
Date: _____

Department/Division: **Public Services** Name: **R. Jay Davoll** Title: **Director**

ITEM	ASSET TAG or SERIAL #	Condition Reason	Disposed Missing	Scrapped	Auctioned Sold	Donated	Description of Disposal [where items were placed]
Prop Flow Meter	E-3113-3	Used/Replaced			X		GIDEON AUCTIONEERS
Prop Flow Meter	04-09227-12	Used/Replaced			X		GIDEON AUCTIONEERS
Pump Horizontal	86-04682-1	Used/Replaced			X		GIDEON AUCTIONEERS
Teco Drive H.P. 50	B66805-009	Used/Replaced			X		GIDEON AUCTIONEERS
11-0834 CROWN VIC FORD 2005	2FAFP71W65X163736	POOR			X		GIDEON AUCTIONEERS
11-0846 CROWN VIC FORD 2006	2FAFP71W86X165862	POOR			X		GIDEON AUCTIONEERS
10-0761 TAURUS FORD 2001	1FAFP52261A247848	POOR			X		GIDEON AUCTIONEERS
10-793 EXPLORER FORD 2001	1FMZU72E52ZB13417	POOR			X		GIDEON AUCTIONEERS
25-0631 CASE BACKHOE 580L 1998	JJG0242549	POOR			X		GIDEON AUCTIONEERS
25-0736 BACKHOE CAT 416C 2000	04ZN23190	POOR			X		GIDEON AUCTIONEERS
10-0754 CROWN VIC FORD 2001	2FAFP74W11X172589	POOR			X		GIDEON AUCTIONEERS
22-0920 FRONT LOADER MACK MR 2002	1M2K195C03M022487	POOR			X		GIDEON AUCTIONEERS
11-1194 IMPALA CHEVROLET 2007	2G1WS55R179226646	POOR			X		GIDEON AUCTIONEERS
11-1198 IMPALA CHEVROLET 2007	2G1WS55R779224562	POOR			X		GIDEON AUCTIONEERS

Department Director Approval:  Date: 8/29/2018

City Administrator Approval: _____ Date: _____



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER:

MEETING OF: September 5, 2018
 FROM: Police Department
 EXHIBITS: Agreements

SUBJECT: AUTHORIZE AN AGREEMENT WITH PROPERTY REGISTRATION CHAMPIONS TO PROVIDE REGISTRATION SERVICES FOR VACANT PROPERTIES IN ACCORDANCE WITH APOPKA ORDINANCE NUMBER 2185
REQUEST: AUTHORIZE THE CITY ADMINISTRATOR TO EXECUTE THE AGREEMENT

SUMMARY:

The City, through Ordinance 2185, (AMC 42-120) requires any mortgagee who holds a mortgage on real property located within the city, upon default by the mortgagor and prior to the issuance of a notice of default, perform an inspection of the property. If the property is found to be vacant or shows evidence of vacancy, it shall be deemed abandoned real property and the mortgagee shall, within ten days of the inspection, register the property with the city.

In 2010, the City entered into an agreement with Property Registration Champions (DBA PROCHAMPS, FKA VacantRegistry.com) utilizing the professional services agreement between the City of Ft. Myers and Property Registration Champions (PRC) to handle the registry, collection of fees, and electronic databases. This agreement expired in June. The City desires to continue the agreement. PRC has served the City and has provided support of code enforcement efforts without any negative issues. Recently, the City of Jacksonville reviewed their agreement with PRC and renewed their agreement. Staff recommends approval of the attached “Piggy Back” agreement to the City of Jacksonville including the scope of services.

Additionally, PRC has identified legal assistance in ensuring delinquent registrations are collected and assist in the negotiation of any settlement with the owner of multiple delinquent properties. This ensures compliance with the municipal code. Staff requests approval of the agreement with counsel to work with PRC in order to ensure vacant properties are registered, comply with code, and the appropriate fees and fines are collected.

FUNDING SOURCE:

N/A

RECOMMENDATION ACTION:

Authorize the City Administrator to execute the agreements.

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

**“PIGGYBACK” AGREEMENT BETWEEN
CITY OF APOPKA, FL
AND
PROPERTY REGISTRATION CHAMPIONS, LLC**

This "Piggyback" Agreement ("Agreement") is made as of this _____ day of _____, 2018 ("Effective Date") by and between Property Registration Champions, LLC, DBA PROCHAMPS, a Florida Limited Liability Company with offices at 2725 Center Place, Melbourne, FL 32940 ("PRC") and City of Apopka, a Florida municipal corporation, with an address at 120 E Main Street, Apopka, FL 32703 ("COMMUNITY"). The COMMUNITY and PRC agree as follows.

1. The purchasing policy for the COMMUNITY allows for "piggybacking" contracts.
 - a. Pursuant to this procedure, the COMMUNITY is allowed to piggyback an existing government contract, and there is no need to obtain formal or informal quotations, proposals or bids. The parties agree that PRC has entered into a contract with the County of Jacksonville, Florida ("Original Contract"). The Original Contract is incorporated herein and is attached as Exhibit A to this Agreement. All of the terms and conditions set forth in the Original Contract, and any and all amendments thereto, are fully binding on the parties and said terms and conditions are incorporated herein.
2. Notwithstanding the requirement that the Original Contract is fully binding on the parties, the parties have agreed to modify certain provisions of the Original Contract as applied to this Agreement between PRC and the COMMUNITY, as follows.
 - a. **Compensation.** PRC shall charge a fee ("Fee") as directed by the COMMUNITY to each registering party ("Registrant") to register all mortgagees who comply with the Ordinance. PRC shall retain one hundred dollars (\$100.00) of each collected Fee and remit the balance to the COMMUNITY. PRC shall forward payment of the COMMUNITY's portion of the Fee to the COMMUNITY's finance department no later than the fifteenth (15th) day of the following month. Should there be a fee required for public/official record data acquisition integral to the performance of the scope of work required under the terms and provisions of this contract, those charges shall be deducted from the remittance for the actual costs of said charges or subscriptions. In the event the COMMUNITY's Ordinance requires payment of late fees as part of the registration requirements PRC shall collect all applicable late fees, retaining twenty percent (20%) of the fee, and remit the balance to the COMMUNITY pursuant to the monthly remittance schedule. All related fees shall be taken out of the COMMUNITY's remittance provided herein.
 - b. **Maximum Indebtedness.** MAXIMUM INDEBTEDNESS is hereby deleted in its entirety.
 - c. **Term.** This Agreement shall terminate concurrently with the Original Contract. This Agreement will automatically renew concurrently with each renewal of the Original Contract, unless either party gives the other written notice of termination at least thirty (30) days prior to the end of the relevant term.

**“PIGGYBACK” AGREEMENT BETWEEN
CITY OF APOPKA, FL
AND
PROPERTY REGISTRATION CHAMPIONS, LLC**

d. **Contract Documents.** This Agreement consists of the following documents which are hereby incorporated as if fully set forth herein and which, in case of conflict, shall have priority in the order listed:

- This document, as modified, and any subsequent signed amendments.
- The COMMUNITY Ordinance No. 2185, dated: effective 08/04/2010 (the “Ordinance”).
- The Original Contract.

e. **Notices.** Whenever any party desires to give notice unto any other party, it must be given by written notice, sent by registered United States mail, with return receipt requested, hand delivery or facsimile transmission with receipt of delivery, addressed to the party for whom it is intended and the remaining party, at the places last specified, and the places for giving of notice shall remain such until they shall have been changed by written notice in compliance with the provisions of this section. Notice shall be deemed to have been given upon receipt. For the present, PRC and the COMMUNITY designate the following as the respective places for giving of notice:

COMMUNITY: City Administrator
 City of Apopka
 120 East Main Street
 Apopka, Florida 32703

PRC: David Mulberry, President/CEO
 2725 Center Place
 Melbourne, FL 32940
 Telephone No. (321) 421-6639
 Facsimile No. (321) 396-7776

f. **Contract Managers.** Is hereby deleted in its entirety

g. **Indemnification.**

- a. **Indemnification by PRC.** PRC shall defend, indemnify, and hold harmless the COMMUNITY and its officers, employees, and agents, from and against all losses, expenses (including attorneys' fees), damages, and liabilities of any kind resulting from or arising out of a breach of this Agreement by PRC and/or PRC's performance hereunder.
- b. **Indemnification by Community.** COMMUNITY shall defend, indemnify, and hold harmless PRC and its officers, employees, and agents, from and against all losses, expenses (including attorneys' fees), damages, and liabilities of any kind resulting from or arising out of a failure by COMMUNITY to timely respond to a

**“PIGGYBACK” AGREEMENT BETWEEN
CITY OF APOPKA, FL
AND
PROPERTY REGISTRATION CHAMPIONS, LLC**

public records request. However, nothing in this agreement nor any exhibit shall be deemed a waiver of the City’s sovereign immunity.

- h. **Warranty.** All the services to be provided or performed shall be in conformance with commonly accepted industry and professional codes and standards, standards of the COMMUNITY, and the laws of any federal, state, or local regulatory.
- i. **Exhibit B.** EXHIBIT B is hereby deleted in its entirety.
- j. **Community Logo.** COMMUNITY shall provide the COMMUNITY’s logo to PRC for PRC’s use when citing the COMMUNITY’s Ordinance to mortgagees.
- k. **Entire Agreement.** All other provisions in the Original Contract not expressly modified herein are fully binding on the parties. This Agreement supersedes all prior negotiations, representations or agreements, either written or oral.

IN WITNESS WHEREOF, the parties hereto have affixed their hands and seals the day and year first above written.

CITY OF APOPKA, FLORIDA

Edward Bass, City Administrator

Date: _____

City of Apopka
120 East main Street
Apopka, Florida 32703

Reviewed by
Police Staff Attorney


Erin DeYoung

PROPERTY REGISTRATION CHAMPIONS, LLC

DAVID MULBERRY, PRESIDENT/CEO

Date: _____

Property Registration Champions, LLC
2725 Center Place
Melbourne, FL 32940

EXHIBIT A

ASSIGNMENT, ASSUMPTION AND CONSENT AGREEMENT

THIS ASSIGNMENT, ASSUMPTION AND CONSENT AGREEMENT ("Assignment") is effective as of the 31 day of Jan ²⁰¹⁸ 2017 (the "Effective Date"), by and among **COMMUNITY CHAMPIONS CORPORATION**, a Florida corporation, ("Assignor"), **PROPERTY REGISTRATION CHAMPIONS, LLC**, a Florida limited liability company ("Assignee") and the **CITY OF JACKSONVILLE**, a Florida municipal corporation ("City").

BACKGROUND FACTS

A. Assignor and City are parties to that certain Services Contract for Registry of Foreclosed/Abandoned Properties dated October 1, 2015 pursuant to the City's RFP #P-38-15, as amended by that certain First Amendment dated December 1, 2017 (City Contract # 9544-01) (the "Agreement").

B. Assignee is a wholly owned subsidiary of Assignor.

C. Assignor has represented to City that immediately after the Effective Date, Assignee will perform all of Assignor's obligations under the Agreement in the same manner as performed by Assignor.

D. Assignor possesses all right, title and interest in and to the Agreement and desires to assign, transfer and convey the Agreement to Assignee, and Assignee desires to accept such assignment and transfer upon the terms and conditions set forth herein.

E. The City's Professional Services Evaluation Committee and Mayor approved the City's consent to the assignment of the Agreement from Assignor to Assignee.

NOW, THEREFORE, in consideration of the mutual covenants contained herein, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the parties hereto agree as follows:

1. Background Facts. The background facts as set forth above are agreed to be true and correct and are incorporated herein by this reference.
2. Assignment. As of the Effective Date, Assignor hereby assigns, transfer and conveys to Assignee all of its right, title and interest in, to and under the Agreement, and delegates to Assignee all of its now existing and hereafter arising duties and obligations under the Agreement.
3. Assumption. As of the Effective Date, Assignee acknowledges and accepts the foregoing assignment and delegation and expressly assumes, confirms and agrees to perform, comply with and observe all of the covenants, agreements, terms, conditions, obligations, duties and liabilities of Assignor under the Agreement, regardless of when such covenants, agreements, terms, conditions, obligations, duties and liabilities accrued, arose, or were incurred, together with all

outstanding and future obligations of any kind whatsoever related thereto as and when due to be paid and performed.

4. City Consent. By executing this Assignment, the City expressly agrees and consents to and acknowledges Assignor's assignment of the Agreement, pursuant and subject to the terms of this Assignment. This consent is expressly limited to the assignment to and assumption by Assignee pursuant hereto and shall not be deemed to be the consent to or authorization for any further or other assignment of the Agreement. Nothing contained in this Assignment shall be construed as modifying, waiving or affecting any of the provisions, covenants, terms and conditions or any of City's rights or remedies under the Agreement other than as specifically set forth herein. The parties hereby agree that Assignee shall be substituted for Assignor for the purposes of the Agreement. The parties hereby acknowledge that City's consent to this Assignment does not waive any rights the City may have to take action against Assignor with respect to any breaches of the Agreement by Assignor occurring prior to the Effective Date, and Assignor shall remain fully bound by and subject to the terms, conditions and covenants set forth in the Agreement, and the City may continue to look to Assignor to enforce all of the terms and conditions of the Agreement as if the assignment contemplated hereby had not occurred.

5. Further Assurances. Assignor and Assignee each agree, upon request by City, to execute, acknowledge and deliver or cause to be delivered such further instruments and do such further acts as may be necessary to carry out the purpose and intent of this Assignment.

6. Effect. All terms and conditions of the Agreement shall remain in full force and effect.

7. Successors. All future transfers and assignments of the Agreement transferred and assigned hereby are subject to the transfer and assignment provisions of the Agreement. This Assignment shall inure to the benefit of, and be binding upon, the permitted successors and assigns of the parties hereto.

8. Counterpart Execution. This Assignment may be executed in counterparts, each of which shall be deemed an original, but all of which together shall constitute one and the same agreement. Counterparts to this Assignment may be sent by pdf or facsimile and shall be acceptable and binding for all purposes.

9. Authority. Each of Assignor and Assignee represents and warrants to City that it has full right and authority to execute and perform its obligations under this Assignment and the Agreement, and the person(s) executing this Assignment on Assignor and Assignee's behalf represent and warrant to City that such person(s) are duly authorized to execute this Assignment and that all necessary approvals have been obtained to execute this Assignment. Assignor and Assignee shall deliver to City promptly upon request all documents reasonably requested by City to evidence such authority.

[Remainder of page intentionally left blank by the parties; signatures pages follow immediately.]

IN WITNESS WHEREOF, Assignor, Assignee and City have executed this Assignment effective as of the Effective Date.

WITNESS:

ASSIGNOR:

COMMUNITY CHAMPIONS CORPORATION

Anne Norris
Print Name: Anne Norris

By: *David Mulberry*
Print Name: David Mulberry
Its: President/CEO

WITNESS:

ASSIGNEE:

PROPERTY REGISTRATION CHAMPIONS,
LLC

Anne Norris
Print Name: Anne Norris

By: *Danielle Kieselhorst*
Name: Danielle Kieselhorst
Title: Director of Operations

[City signature page to immediately follow]

ATTEST:

CITY OF JACKSONVILLE, a Florida
municipal corporation

By: James R. McCain, Jr.
James R. McCain, Jr.
Corporation Secretary



By: Sam E. Mousa
Lenny Curry
Mayor

Sam E. Mousa
Chief Administrative Officer
For: Mayor Lenny Curry
Under Authority of:
Executive Order No. 2015-05

In accordance with the Ordinance Code of the City of Jacksonville, I do hereby certify that there is an unexpended, unencumbered, and unimpounded balance in the appropriation sufficient to cover the foregoing agreement and that provision has been made for the payment of monies provided therein to be paid.

By: [Signature]
Director of Finance

Form Approved:

Office of General Counsel

By: [Signature]

GC-#117764-v1-Community_Champions_Assignment.doc

9544-01
And 1

**FIRST AMENDMENT TO SERVICES CONTRACT BETWEEN
THE CITY OF JACKSONVILLE AND COMMUNITY CHAMPIONS CORPORATION
FOR REGISTRY OF FORECLOSED/ABANDONED PROPERTIES**

THIS FIRST AMENDMENT to Services Contract is made and entered into this 1st day of Dec, 2017, by and between the CITY OF JACKSONVILLE, a municipal corporation existing under the constitution and the laws of the State of Florida (the "City"), and COMMUNITY CHAMPIONS CORPORATION, a Florida corporation (the "Consultant").

RECITALS

WHEREAS, effective as of October 1, 2015, City and Consultant made and entered into City Contract No. 9544-01 (the "Contract"); and

WHEREAS, from October 1, 2017, through the day and year first above written, the parties have worked together continuously and without interruption; and

WHEREAS, said Contract has not been amended previously; and

WHEREAS, said Contract should be amended by accepting, adopting, and ratifying all actions of the parties under said Contract from October 1, 2017, through the day and year first above written, and by exercising the first of three renewal options so as to extend the period of service through September 30, 2018, with two (2) one-year renewal options remaining, with all other provisions, terms, and conditions of said Contract remaining unchanged; now therefore

IN CONSIDERATION of the mutual premises and covenants and for other good and valuable consideration, the adequacy and receipt of which is hereby acknowledged, the parties agree as follows:

1. The above-stated recitals are true and correct and, by this reference, are made a part hereof and are incorporated herein by this reference.

2. All actions of the parties under the provisions, terms, and conditions of said Contract from October 1, 2017, through the day and year first above written are accepted, adopted, and ratified.

3. Section 5 of said Contract is amended by exercising the first of three renewal options so as to extend the period of service through September 30, 2018, with two (2) one-year renewal options remaining, and as amended shall read as follows:

"5. **Term.** The initial term of this Contract shall commence on the Effective Date and shall expire on September 30 2018, unless sooner terminated by either party in accordance with the terms of the RFP. This Contract may be renewed for up to two (2) additional one (1) year periods by the City, in its sole discretion, upon sixty (60) days' notice prior to end of the then-current term upon terms mutually agreed by the parties."

SAVE AND EXCEPT as expressly amended in this instrument, the provisions, terms,



City of Jacksonville, Florida

Lenny Curry, Mayor

Procurement Division
Ed Ball Building
214 N. Hogan Street, Suite 800
Jacksonville, Florida 32202

ONE CITY. ONE JACKSONVILLE.

October 12, 2017

The Honorable Lenny Curry, Mayor
City of Jacksonville
4th Floor, St. James Building
Jacksonville, FL 32202

Dear Mayor Curry:

Ref: P-38-15 Registry of Foreclosed Abandoned Properties (Amendment No. 1)
Neighborhoods Department

The Professional Services Evaluation Committee met today in Board Room 851 on the eighth floor of the Ed Ball Building, for the purpose of amending the above-referenced contract.

The following motion/recommendation was adopted.

That Contract No. 9544-01 between the City of Jacksonville and Community Champions Corporation for Registry of Foreclosed/Abandoned Properties be amended to: ratify the contract from October 1, 2017 to October 12, 2017 and extend the period of service through September 30, 2018, with two (2) one-year renewal options remaining. All other terms and conditions shall remain the same except for such changes as the Office of General Counsel may deem appropriate to ensure compliance with the City's ordinances, Procurement policies and procedures and applicable federal and state laws.

If the foregoing meets your approval, we respectfully request your signature and return to my office.

Respectfully submitted,

Gregory Pease

For: Gregory Pease, Chief
Procurement Division
Chairman, Professional Services
Evaluation Committee

APPROVED:

Lenny Curry
Lenny Curry, Mayor

This 12th day of October 2017

GP:cb

cc Council Auditor
Jeff Clapp, OGC
Alissa Gray, GAD
Subcommittee Members

Sam E. Mousa
Chief Administrative Officer
For: Mayor Lenny Curry
Under Authority of:
Executive Order No. 2015-05

**SERVICES CONTRACT BETWEEN
THE CITY OF JACKSONVILLE AND COMMUNITY CHAMPIONS CORPORATION
(Registry of Vacant/Abandoned Properties in Duval County, Florida)**

THIS CONTRACT, made and entered effective as of October 1, 2015 (the "Effective Date"), by and between the **CITY OF JACKSONVILLE**, a municipal corporation existing under the constitution and the laws of the State of Florida (the "City"), and **COMMUNITY CHAMPIONS CORPORATION**, a Florida corporation (the "Consultant").

RECITALS

WHEREAS, the City issued a Request for Proposal No. P-38-15 (the "RFP") for certain services described in the RFP (the "Services"); and

WHEREAS, based on Consultant's response to the RFP dated September 3, 2015, consisting of 39 pages (the "Response"), the City has negotiated and awarded this Contract to Consultant; and

WHEREAS, pursuant to the Professional Services Evaluation Committee ("PSEC") Award letter dated September 24, 2015, and approved on September 28, 2015, for the RFP, the City hereby engages the services of the Consultant as more particularly set forth in **Attachment A** (the "Services").

NOW THEREFORE, in consideration of the mutual premises and covenants and for other good and valuable consideration, the adequacy and receipt of which is hereby acknowledged, the parties agree as follows:

1. **Incorporation by Reference**. The above stated recitals are true and correct and, by this reference, are made a part hereof and are incorporated herein. Any exhibit or attachment to this Contract that is referenced in this Contract, is, by this reference, made a part of this contract and is incorporated herein.
2. **Performance of Services**. The Consultant agrees to perform the services as specified in the RFP and the Response Sheet, more specifically set forth in **Attachment A**. If a conflict exists between the terms of service specified in the RFP and those set forth in Attachment A, the terms of service in Attachment A will prevail.
3. **Compensation**. The Consultant will be paid by the City for the Services as specified on the price sheets attached as **Attachment B**.
4. **Maximum Indebtedness**. As required by Section 106.431, *Ordinance code*, the City's maximum indebtedness, for all products and services under this Contract shall be a fixed monetary amount not-to-exceed Zero and No/100 (\$0.00).
5. **Term**. The initial term of this Contract shall commence on the Effective Date and shall **expire on September 30 2017**, unless sooner terminated by either party in accordance with the terms of the RFP. This Contract may be renewed for up to three (3) additional one (1) year periods by (i) the City, at its sole discretion, upon sixty (60) days'

notice prior to end of the then-current term upon terms mutually agreed by the parties.

6. **Contract Documents.** This Contract consists of the following documents which are hereby incorporated as if fully set forth herein and which, in case of conflict, shall have priority in the order listed:

- This document, as modified by any subsequent signed amendments
- Any amendments to the RFP
- Specific Information Regarding The RFP (Section 1 of the RFP)
- Description of Services and Deliverables (Section 4 of the RFP)
- General Instructions to Respondents (Section 2 of the RFP)
- General Contract Conditions (Section 3 of the RFP)
- Any Purchase Order under the Contract
- The Response, provided that any terms in the Response that are prohibited under the RFP shall not be included in this Contract.

7. **Audit.** The Planning and Development Department, where Housing and Community Development operates, and the City Council Auditors, shall have the right, during normal business hours, to enter the vendor's business property, upon reasonable prior notice, to inspect the operations and facilities of the vendor and to audit, inspect and examine the vendor's books and records and state and federal tax returns, insofar as they relate to compliance with the contractual provisions, this Chapter and any rules adopted by the Planning and Development Department pursuant hereto. This information shall include, but not be limited to, the following: billing rates, billing amounts, accounts receivable and list of accounts. Additionally, the City Council Auditors may communicate directly with customers (mortgagees in this case) for the purpose of confirming compliance with this Section. To the extent authorized by Section 119.165, Florida Statutes, or other applicable law, this information shall remain confidential. Refusal to permit inspection shall be cause for suspension or revocation of the vendor contract. The vendor shall deliver to the Planning and Development Department a true and correct monthly report of gross receipts generated during the previous month for all registrations, fees, and penalties within the City on or before the last day of each month. The vendor shall, on or before 90 days following the close of the City's fiscal year, deliver to the Planning and Development Department a statement of its annual gross receipts generated from accounts within the City reflecting gross receipts within the City for the preceding City fiscal year. The statement shall be audited by an independent certified public accountant licensed to do business in the state, and shall be accompanied by the certified public accountant's opinion of its accuracy without qualifications or reservations. If a conflict exists between the terms of the RFP as to the audit and the provisions of this contract, this contract shall prevail.

Remainder of page left blank intentionally

8. **Notices.** All notices under this Agreement shall be in writing and shall be delivered by certified mail, return receipt requested, or by other delivery with receipt to the following:

As to the City:

City of Jacksonville
Housing and Community Development Division
214 North Hogan Street, 3rd Floor
Jacksonville, Florida 32202
Attn: Chief

With a Copy to:

Office of General Counsel
City of Jacksonville
117 West Duval Street, Suite 480
Jacksonville, Florida 32202
Attn: Corporation Secretary

As to the Consultant:

Community Champions Corporation
6767 North Wickham Road, Suite 500
Melbourne, Florida 32940
Attn: David Mulberry, CEO
(321) 421-6639, (321) 396-7776 (fax)

9. **Contract Managers.** Each Party will designate a Contract Manager during the term of this Contract whose responsibility shall be to oversee the Party's performance of its duties and obligations pursuant to the terms of this Contract. As of the Effective Date, the City's Contract Manager is T. Scott McLarty 214 North Hogan Street, 3rd Floor Jacksonville, Florida 32202, and the Consultant's Contract Manager is David Mulberry, 6767 North Wickham Road, Suite 500 Melbourne, Florida 32940. Each Party shall provide prompt written notice to the other Party of any changes to the Party's Contract Manager or his or her contact information; provided, such changes shall not be deemed Contract amendments and may be provided via email.

10. **Entire Agreement.** This Contract constitutes the entire agreement between the parties hereto for the Services to be performed and furnished by the Consultant. No statement, representation, writing, understanding, agreement, course of action or course of conduct, made by either party or any representative of either party, which is not expressed herein, shall be binding. The Consultant may not unilaterally modify the terms of this Contract by affixing additional terms to materials delivered to the City (e.g., "shrink wrap" terms accompanying or affixed to a deliverable) or by including such terms on a purchase order or payment document. The Consultant acknowledges that it is entering into this Contract for its own purposes and not for the benefit of any third party.

11. **Amendments**. All changes to, additions to, modifications of or amendment to this Contract, or any of the terms, provisions and conditions hereof, shall be binding only when in writing and signed by the authorized officer, agent or representative of each of the parties hereto.

12. **Counterparts**. This Contract, and all amendments thereto, may be executed in several counterparts, each of which shall be deemed an original, and all of such counterparts together shall constitute one and the same instrument.

[Remainder of page left blank intentionally. Signature page follows immediately.]

IN WITNESS WHEREOF, the parties hereto duly execute this Contract as of the day and year first written above.

COMMUNITY CHAMPIONS CORPORATION,
a Florida corporation

By: _____

David Mulberry as CEO

CONSULTANT INFORMATION

Name: Community Champions Corporation
Contact: David Mulberry
Address: 6767 North Wickman Road, Suite 500
Melbourne, Florida 32940
Telephone: (321) 421-6639 Fax: (321) 396-7776
E-Mail: sblasie@cchampions.com
Federal Tax Identification Number: 26-4760904
Data Universal Numbering System (DUNS Number):
Central Contractor Registration (CCR Number):

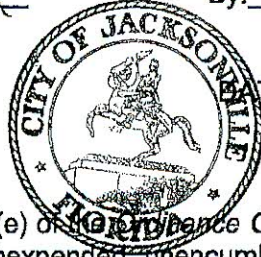
[Signature page of the City of Jacksonville to immediately follow this page.]

ATTEST:

CITY OF JACKSONVILLE, a Florida
municipal corporation

By: James R. McCain, Jr.
James R. McCain, Jr.
As Corporation Secretary

By: Lenny Curry
Lenny Curry as Mayor



DATED: 10/29/15

In compliance with Section 24.103(e) of the Finance Code of City of Jacksonville, I do hereby certify that there is or will be an unexpended, unencumbered and unimpounded balance in the appropriation sufficient to cover the foregoing Contract in accordance with the terms and conditions thereof and that provision has been made for the payment of the monies provided therein to be paid.

[Signature]
As Director of Finance
Contract # 9544-01

FORM APPROVED:

By: [Signature]
Office of General Counsel

G:\Finance & Compliance\Legal\Contracts\Drafts\2015-2016\Fcls Registry - Community Champions.doc
G:\Gov't Operations\SS\Stockwell\Housing Department\foreclosure registry\Fcls Registry - Community Champions contract.doc

SCOPE OF WORK

Community Champions Corporation ("Consultant") will provide qualified expertise and experience in developing, implementing and maintaining a web based system for the registration and tracking of properties falling under the requirements for registration according to the provisions of the City of Jacksonville Code of Ordinances, Chapter 179 Mortgage Foreclosure Registration. Services shall include, but not be limited to the following:

1. The Consultant will develop or acquire and maintain a web-based electronic database of searchable property records and provide all required services necessary to implement the real property registry which allows all mortgage holders the opportunity to go on-line and register vacant properties and fee collection requirements.
2. Identify real properties determined to be "abandoned" within the City of Jacksonville, Florida (the "City") as well as the mortgagee that holds a mortgage on real property and has declared its mortgage to be in default. Additionally, provide tracking of occupancy status for all properties required to be registered.
3. Notify mortgage holder of its requirement to register properties within ten (10) days of the date that the mortgagee declares its mortgage to be in default pursuant to City Ordinance 2015-340-E.
4. Provide the mortgage holder with detailed instructions on how to register the property, identify information required to complete the registry, access to the registry system, select and identify the local property manager, and any other information necessary by the mortgage holder to complete the registration of the property.
5. Train and provide support with the responsible person for the lender/mortgagee to electronically register the information.
6. Provide the City with free access to and training on the web-based electronic registry system and reporting tools.
7. Provide any necessary reporting of registry data to the Buyer as well as provide system access for the City to create and generate reports via the internet.
8. Provide the financial accounting of property registrations and identify those that are in compliance with the ordinance, as well as those that have not or are not meeting their financial obligations.
9. Provide company annual audited financials and other requested materials upon request by the City.
10. Track and report all changes of information in status and, at a minimum, update information on a monthly basis.

ATTACHMENT B

(See Attached)

Exhibit B

Form 1 - Price Sheet

NAME OF CONSULTANT

Community Champions

Proposal Number

P-38-15

SCHEDULE OF PROPOSED PRICES/RATES

1. Flat Fee (payable upon completion of project or upon completion of listed deliverables):

** See below please*

2. If charges are based on hours worked, the hourly direct labor rates (without Fringe Benefits) are:

Principal (Partner or Senior Officer): \$ *0* hr.

Project Manager (Responsible Professional): \$ *0* hr.

3. Other Direct Project Costs per Unit (please specify)

N/A

4. Estimated percentage of total fee to be performed by sub-Consultants *0* %

5. Please provide any other relevant rates that may apply to this project including average direct hourly labor rates for other categories of proposed personnel

N/A

New and Renewal Registration Fee - CChampions maintains a straight forward business model with respect to registration fees, charges and costs. Our registration revenue share agreements simply state that CChampions retains \$100.00 of each registration processed/collected with the remainder going to the community. CChampions reserves the right to approach the city to renegotiate fees for each renewal year.

Late Registration Fee - Jacksonville's ordinance requires a \$50 late fee. When collected this \$50 late fee will be entirely remitted by CChampions to the community.

Registration Update Fee - Jacksonville's ordinance requires a \$50 update fee. This \$50 update fee will be retained by CChampions with no portion being remitted to the community

**MUNICIPAL LEGAL SERVICES AGREEMENT
BY AND BETWEEN
BREAK POINT LAW, LLC
AND
CITY OF APOPKA, FLORIDA**

THIS AGREEMENT made and entered into this ____ day of _____, 2018 by and between BREAK POINT LAW, LLC, a Florida Limited Liability Company with an address at 4100 N. Wickham Road, Suite 107A #251, Melbourne, FL 32935 ("ATTORNEY") and City of Apopka, a political subdivision of the State of Florida, with an address at 120 E Main Street, Apopka, FL 32703 ("CLIENT").

WITNESSETH:

- I. SCOPE OF REPRESENTATION.** CLIENT, City of Apopka, retains the undersigned ATTORNEY to represent it in regard to collections on certain fees, fines, and penalties pursuant to Chapter 42, Article II, Division 5 of the Code of the City of Apopka, entitled "Registration, Maintenance and Security of Abandoned Real Property" ("Services") in the City of Apopka, Florida, and CLIENT does hereby give to said ATTORNEY the exclusive right to take all legal steps to represent the CLIENT's interests.
- II. DUTIES OF ATTORNEY.**
- a. Collection activities shall be in compliance with federal, state and local laws or regulations, and will be conducted in a courteous and businesslike manner always considering the image and reputation of the CLIENT.
 - b. Collections made by ATTORNEY will be deposited immediately into a separate trust account maintained in a federally insured bank for CLIENT.
 - c. All collections made by ATTORNEY on behalf of CLIENT shall be remitted to CLIENT, less ATTORNEY's collection fees, on the fifteenth (15th) and the last day of each month, for all monies collected for the previous fifteen (15) day period.
 - d. ATTORNEY will not initiate any form of legal action without prior written consent from CLIENT.
 - e. Accounts placed by CLIENT with ATTORNEY for collection may be withdrawn by CLIENT through reasonable written request after sixty (60) days of date assigned.
 - f. ATTORNEY shall not use or disclose or in any manner make available to any third party any account information provided to it by CLIENT or obtained by it in providing services hereunder.
 - g. ATTORNEY shall take all steps necessary to reduce burden on CLIENT, by preparing all necessary municipal lien documents, witness statements/affidavits, invoice statements, or any other necessary document needed to collect on a municipal lien/debt.
 - h. ATTORNEY will comply with all laws and rules of the Florida Bar.
 - i. ATTORNEY will be an independent contractor and not an employee of the City of Apopka.
- III. CONTINGENCY FEE.**
- a. In consideration of the Services rendered and to be rendered by said ATTORNEY, CLIENT hereby agrees to pay ATTORNEY fifty percent (50%) of fines and penalties collected, but not fees. It is agreed and understood that this employment is upon a contingent fee basis, and if no recovery is made, CLIENT will not be indebted to

**MUNICIPAL LEGAL SERVICES AGREEMENT
BY AND BETWEEN
BREAK POINT LAW, LLC
AND
CITY OF APOPKA, FLORIDA**

ATTORNEY for any sum whatsoever as attorney's fees, costs and/or expenses.

- b. It is further understood that the fee agreed upon herein does NOT include services for litigation if such should become necessary. In the event litigation is necessary, ATTORNEY shall hire a law firm approved by CLIENT to handle the litigation and ATTORNEY shall pay such law firm directly any and all attorney's fees, cost and/or expenses due to the law firm. In the event litigation is necessary, CLIENT hereby agrees to pay ATTORNEY sixty percent (60%) of the fines and penalties collected, but not fees. ATTORNEY hereby agrees to defend and indemnify CLIENT from any and all attorney's fees, costs and/or expenses that may become due to any law firm providing services to CLIENT in accordance with this paragraph III(b).
- c. When ATTORNEY collects funds from delinquent registrations, ATTORNEY shall remit to PROCHAMPS, the registration fee amount due under the Foreclosure Registry/Real Property Registration System contract, out of ATTORNEY's percentage. For example, if ATTORNEY collects \$700.00 in fees and fines for one registration, ATTORNEY shall remit the fee as follows: \$100.00 to PROCHAMPS, \$100.00 to CLIENT; ATTORNEY shall remit the fine as follows: \$250 to CLIENT, \$250 to be retained by ATTORNEY.
- d. ATTORNEY shall have the right to negotiate a settlement with the owner of multiple delinquent properties without CLIENT approval if one hundred percent (100%) of the registration fees will be received by CLIENT. All amounts collected though a negotiation of multiple properties shall entitle ATTORNEY to a fee amount equal to sections III (a) and (b) herein, as applicable.
- e. CLIENT acknowledges that the basis of computing ATTORNEY'S compensation has been fully explained to CLIENT and that ATTORNEY'S compensation is based upon, among other factors, the time and labor involved, novelty or difficulty of questions presented, the results obtained, time limitations imposed by this representation, the reputation, experience and ability of ATTORNEY in performing this type of service.
- f. CLIENT acknowledges that ATTORNEY has made no promises to CLIENT as to the outcome of the case except that ATTORNEY has promised to render his/her best professional skill.

IV. INSURANCE.

- a. ATTORNEY shall maintain the following minimum insurance coverage: professional liability insurance for an amount required by CLIENT, if applicable to the services.

V. SUPPORT AND MAINTENCE.

- a. ATTORNEY shall provide all support and maintenance required in connection with the Services.

VI. SURVIVAL.

- a. The expiration or termination of this Agreement will not extinguish the rights of either party that accrue prior to expiration, termination or any obligations that extend beyond

**MUNICIPAL LEGAL SERVICES AGREEMENT
BY AND BETWEEN
BREAK POINT LAW, LLC
AND
CITY OF APOPKA, FLORIDA**

termination or expiration, either by their inherent nature or by their express terms.

VII. AUDIT AND RECORDS.

- a. ATTORNEY shall maintain records pertaining to this agreement for a period of six years from final payment. Such records shall be subject to audit by the CLIENT on reasonable advanced, written notice. The audit shall be conducted at the premises of the CLIENT on business days only and during normal working hours.
- b. ATTORNEY understands that the City of Apopka is subject to public records laws. While many of the documents generated may be exempt due to attorney/client privilege, the ATTORNEY agrees to comply with all Public Records Laws.
- c. Pursuant to Florida Statute 119.0701:
IF THE CONTRACTOR HAS QUESTIONS REGARDING THE APPLICATION OF CHAPTER 119, FLORIDA STATUTES, TO THE CONTRACTOR'S DUTY TO PROVIDE PUBLIC RECORDS RELATING TO THIS CONTRACT, CONTACT THE CUSTODIAN OF PUBLIC RECORDS AT: rfernandez@apopka.net, 112 East 6th Street, Apopka, Florida, 32703.
- d. The contractor will:
 - i. Keep and maintain public records required by the public agency to perform the service.
 - ii. Upon request from the public agency's custodian of public records, provide the public agency with a copy of the requested records or allow the records to be inspected or copied within a reasonable time at a cost that does not exceed the cost provided in this chapter or as otherwise provided by law.
 - iii. Ensure that public records that are exempt or confidential and exempt from public records disclosure requirements are not disclosed except as authorized by law for the duration of the contract term and following completion of the contract if the contractor does not transfer the records to the CLIENT.
 - iv. Upon completion of the contract, transfer, at no cost, to the public agency all public records in possession of the contractor or keep and maintain public records required by the public agency to perform the service. If the ATTORNEY keeps the records, the ATTORNEY shall continue to comply with all public record retention laws.

VIII. GOVERNING LAW.

- a. The validity, construction and performance of this Agreement shall be governed by the laws of the State of Florida, without giving effect to the principles of conflicts of laws.

**MUNICIPAL LEGAL SERVICES AGREEMENT
BY AND BETWEEN
BREAK POINT LAW, LLC
AND
CITY OF APOPKA, FLORIDA**

IX. EXPENSES:

- a. During the term of this Agreement, ATTORNEY shall be responsible for all expenses and costs associated with the Services including, without limitation office location, mileage, travel expenses to and from work sites, meals, lodging, office supplies, phones, computers, faxes, copying, business cards, and Service Provider's employees and subagents.

X. TERM AND TERMINATION

- a. Either party may terminate this agreement without cause upon written notice.
- b. Neither party may assign this Agreement.

XI. CLIENT'S RIGHTS. THE UNDERSIGNED CLIENT HAS, BEFORE SIGNING THIS CONTRACT, RECEIVED AND READ THE STATEMENT OF CLIENT'S RIGHTS, AND UNDERSTANDS EACH OF THE RIGHTS SET FORTH THEREIN. THE UNDERSIGNED CLIENT HAS SIGNED THE STATEMENT AND RECEIVED A SIGNED COPY TO KEEP AND TO REFER TO WHILE BEING REPRESENTED BY THE UNDERSIGNED ATTORNEY(S).

[Remainder of page intentionally left blank.]

**MUNICIPAL LEGAL SERVICES AGREEMENT
BY AND BETWEEN
BREAK POINT LAW, LLC
AND
CITY OF APOPKA, FLORIDA**

CLIENT'S SIGNATURE HEREON SHALL CONSTITUTE ATTORNEY'S AUTHORITY TO PROCEED WITH THIS REPRESENTATION.

CLIENT hereby acknowledges that all of the terms of this agreement have been fully explained to CLIENT, and that CLIENT fully understands all of the provisions herein.

CITY OF APOPKA, FLORIDA:

DATED THIS _____ day of _____, 2018.

By: _____

Name, Title: _____

Reviewed by
Police Staff Attorney

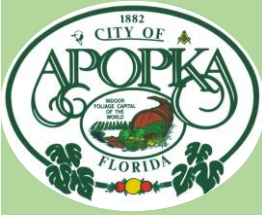

Erin DeYoung

BREAK POINT LAW, LLC:

DATED THIS _____ day of _____, 2018.

By: _____

Clifford Johnson, Esq.



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER:

MEETING OF: September 5, 2018
FROM: Police Department
EXHIBITS:

SUBJECT: NOTIFICATION OF APPLICATION FOR FISCAL YEAR 2018 EDWARD BYRNE MEMORIAL JUSTICE ASSISTANCE GRANT (JAG) PROGRAM.

REQUEST: THE POLICE DEPARTMENT IS SUBMITTING AN APPLICATION TO RECEIVE \$14,007.00 IN GRANT FUNDING TOWARD THE PURCHASE OF TRAFFIC RADAR SPEED SIGNS TO HELP ASSIST WITH DATA COLLECTION AND TRAFFIC CALMING.

SUMMARY:

Attached, you will find a memo of intent to obtain funds in accordance with the grant application requirements. This notification is to permit comment from both the council and the public.

FUNDING SOURCE:

N/A

RECOMMENDATION ACTION:

Authorize the department's application for funding in accordance with the 2018 Edward Byrne Memorial Justice Assistance Grant (JAG) Program.

DISTRIBUTION

Mayor Nelson
Commissioners
City Administrator
Community Development Director

Finance Director
HR Director
IT Director
Police Chief

Public Services Director
Recreation Director
City Clerk
Fire Chief



City of Apopka
Police Department
112 E. 6th Street Apopka, Florida 32703

Memorandum

Date: September 5, 2018
To: Honorable Bryan Nelson and Commissioners
RE: 2018 Justice Assistance Grant

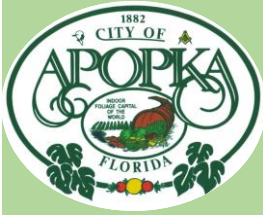
This letter is to give notice the department is applying for Federal Funding available from the Department of Justice, Bureau of Justice Assistance. The funding being requested is for a grant to purchase new portable radar speed signs to help with our “traffic calming” efforts. These signs are placed in specific areas to monitor and alert motorists if they are driving over the posted speed limit. They have the ability to analyze and collect traffic data which allows the department to study certain attributes, such as the extent of danger an area poses for pedestrians and cyclists. This helps determine when and where to deploy resources if enforcement is necessary.

In keeping with the requirements of the grant, I am required to notify the public through a public posting, which has been done by placing notice in the lobby of City Hall.

Additionally, I am required to notify the Commission of my intent to obtain funds and make the application available. This is to permit for both public and commission feedback. Should we receive the funds, there is no requirement that we match the funds being requested. If you have any questions, please feel free to contact me or Lieutenant Jason Woertman.

Respectfully,

Michael McKinley
Chief of Police



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER:

MEETING OF: September 5, 2018
FROM: Police Department
EXHIBITS: Agreements

SUBJECT: PRIVATE STREET AGREEMENT

REQUEST: AUTHORIZE THE POLICE CHIEF TO EXECUTE A TRAFFIC ENFORCEMENT AGREEMENT WITH THE WEKIVA PRESERVE HOMEOWNER'S ASSOCIATION, INC. TO ENFORCE TRAFFIC LAWS PURSUANT TO FLORIDA STATUTE.

SUMMARY:

The Police Department has been approached by the Wekiva Preserve Homeowner's Association, Inc. controlling the private roads within the neighborhood, to enforce municipal and state traffic codes and laws within the gated neighborhood. Florida State Statute 316.006(2)(b) allows for a municipality to exercise jurisdiction over any private road within its boundaries if the municipality and party owning such road enter into a written agreement approved by the City Council. A copy of the agreement has been executed by the Association and is attached.

FUNDING SOURCE:

Not Applicable.

RECOMMENDATION ACTION:

Ratify the agreement and authorize the Police Chief to execute the agreement on behalf of the City.

DISTRIBUTION

Mayor Nelson
Commissioners
City Administrator
Community Development Director

Finance Director
HR Director
IT Director
Police Chief

Public Services Director
Recreation Director
City Clerk
Fire Chief

**AGREEMENT FOR
TRAFFIC CONTROL ON PRIVATE ROADS**

This Agreement for Traffic Control on Private Roads located in the gated community of WEKIVA PRESERVE HOMEOWNER'S ASSOCIATION, INC is entered into by and between the City of Apopka, Florida (hereinafter referred to as the "City"), and WEKIVA PRESERVE HOMEOWNER'S ASSOCIATION, INC (hereinafter referred to as "Wekiva Preserve").

WITNESSETH:

WHEREAS, the Wekiva Preserve Homeowners Association owns fee simple title to all the private roadways lying within a gated community (hereinafter "Private Roads") more specifically described in a sketch of the property to be provide to the City of Apopka Police Department. These private roadways are located within the corporate limits of the City of Apopka; and

WHEREAS, pursuant to state statute, the City does not have traffic control jurisdiction over private roads such as those owned by Wekiva Preserve; and

WHEREAS, Section 316.006(2)(b), *Florida Statutes*, provides that a city may exercise jurisdiction over any private roads if the city and the party owning such roads provide for city traffic control jurisdiction by a written agreement approved by the City Council; and

WHEREAS, the Wekiva Preserve wants the City to exercise traffic control jurisdiction over traffic offenses upon the Private Roads; and

WHEREAS, the City of Apopka Police Department is willing to exercise traffic control jurisdiction over traffic offenses upon the Private Roads; and

WHEREAS, the City of Apopka believes that a public purpose is served by enforcing traffic laws within the private roads owned by Wekiva Preserve; and

WHEREAS, the parties desire to set forth the terms and conditions required for such an agreement.

NOW, THEREFORE, in consideration of the covenants and conditions herein, the City and Wekiva Preserve Homeowners Association, Inc. hereby agree as follows:

1. **RECITALS.** The above recitals are true and correct, and are incorporated herein by reference and form a material part of this Agreement.

2. **TRAFFIC CONTROL JURISDICTION.** The City agrees to exercise jurisdiction over traffic offenses upon the Private Roads pursuant to the terms and conditions expressed in Section 316.006(2)(b), *Florida Statutes* and as amended. The foregoing shall not be construed to require any minimum level of staffing or create any priority for traffic enforcement on the Private

Roads. All decisions regarding the level of traffic enforcement on the Private Roads and staffing related thereto shall be within the sole discretion of the Chief of Police.

3. **TRAFFIC CONTROL SIGNAGE.** Wekiva Preserve shall establish the speed limit for the Private Roads and shall be responsible for posting the speed limit by appropriate signage along said roads. Such signage must comply with Department of Transportation requirements prior to any enforcement action. The City shall enforce the speed limits consistent with Section 316.183, Florida Statutes.

4. **AUTHORITY IN ADDITION TO EXISTING AUTHORITY.** The City's exercise of traffic control jurisdiction pursuant to this Agreement shall be in addition to the authority presently exercised by the City over the Private Roads, and nothing herein shall be construed to limit or remove any such authority. The City agrees to continue to provide such police services as are required by law.

5. **COMPENSATION.** Pursuant to Florida Statute 316.006(2)(b)(1), the Wekiva Preserve Homeowners Association, Inc. shall compensate the City of Apopka Police Department for the actual costs of traffic control and enforcement performed under this Agreement.

6. **CITY TO RETAIN REVENUES.** All revenue from the fines, costs, and penalties imposed by the traffic citations issued for violation of traffic laws as described above on the Private Roads shall be retained by the City and apportioned in the manner set forth in applicable statutes.

7. **LIABILITY NOT INCREASED.** Neither the existence of this Agreement nor anything contained herein shall give rise to any greater liability on the part of the City than that which the City would ordinarily be subjected to when providing its normal police services.

8. **INDEMNIFICATION.** To the fullest extent permitted by law, Wekiva Preserve Homeowners Association, Inc. shall indemnify, defend, and hold the City harmless from any loss, cost, damage or expense, including attorney's fees, for any action arising out of, related to, or stemming from, either directly or indirectly, the maintenance, repair and/or reconstruction of any roads, road drainage or signage or any matter related to providing traffic control enforcement pursuant to this Agreement. To ensure its ability to fulfill its obligation under this paragraph, Wekiva Preserve Homeowners Association, Inc. shall maintain General Liability insurance in the minimum amount of One Million Dollars (\$1,000,000.00), and shall file with the City current certificates of the required insurance providing a 30-day advance written notice of cancellation. Such insurance shall (a) name the City as and additional insured as it relates to activities conducted pursuant to this contract and (b) be issued by companies authorized to do business under the laws of the State of Florida and acceptable to the City. No claims whatsoever shall be made or asserted against the City by the Association for or on account of anything done or as a result of anything omitted to be done in connection with this Agreement.

9. **ROAD MAINTENANCE.** Neither the existence of the Agreement nor anything contained herein shall impose any obligation or duty upon the City to provide maintenance on and/or related drainage of the Private Roads. The maintenance, repair and construction or

reconstruction of all roads, drainage and signage within the Wekiva Preserve shall at all times be solely and exclusively the responsibility of the Wekiva Preserve Homeowners Association, Inc.

10. **TERM.** The term of this Agreement shall commence on Wekiva Preserve and continue through one (1) year from the date of execution by the City Council of the City of Apopka and shall thereafter automatically continue for successive one year terms unless terminated by either party by thirty (30) days written notice to the other parties. The provisions of Paragraph 8 herein shall survive the termination of this Agreement.

11. **APPLICABLE LAW.** This agreement and the provision contained herein shall be construed and interpreted according to the laws of the State of Florida.

12. **ENTIRE AGREEMENT.** This Agreement, including all Exhibits attached hereto, constitutes the entire understanding and agreement between the parties and may not be changed, altered, or otherwise modified except when reduced to writing and executed in the same manner, with the approval of the City Council.

13. **NOTICE.** All notices to be given shall be in writing and sent by certified mail, return receipt requested, to the following:

AS TO THE CITY: City Administrator
 City of Apopka
 120 East Main Street
 Apopka, Florida 32703

AS TO WEKIVA PRESERVE HOMEOWNER'S ASSOCIATION, INC
 c/o Registered Agent Name & Address
 JORDAN, BRETT M
 882 JACKSON AVENUE
 WINTER PARK, FL 32789

IN WITNESS WHEREOF, the parties have executed this Agreement on the dates indicated below.

ATTEST:

CITY OF APOPKA

By: _____
Linda Goff, City Clerk

By: _____
Bryan Nelson, Mayor

Date: _____

**WEKIVA PRESERVE
HOMEOWNERS ASSOCIATION, INC.**

By: _____
CRYSTAL LAUROUCE, VICE PRESIDENT
Printed Name/Title

Date: 08/03/18

WITNESS:

Dina Cedillo

Signature:

Dina Cedillo

Name Printed

Date: 8/03/18

Signature

Date: _____

Name Printed

(HOA NAME) WEKIWA PRESERVE
HOMEOWNERS ASSOCIATION, INC.

By: [Signature]
CHRISTAL LAWRENCE, VICE PRESIDENT
Printed Name/Title
Date: 08/03/2018

WITNESS:

[Signature]
Signature

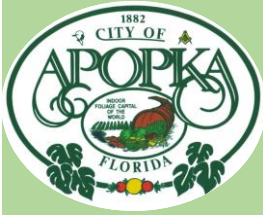
Date: 8/03/18

Dina Cedillo
Name Printed

Signature

Date: _____

Name Printed



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER:

MEETING OF: September 5, 2018
 FROM: Public Services
 EXHIBITS:

SUBJECT: RENEWAL FOR THE NON-EXCLUSIVE FRANCHISE FOR ROLL-OFF CONTAINER COLLECTION AND DISPOSAL OF WASTE IN THE CITY OF APOPKA WITH ADVANCED DISPOSAL SERVICES SOLID WASTE SOUTHEAST, INC.

REQUEST: AUTHORIZE A TWO-YEAR RENEWAL FOR ADVANCED DISPOSAL SERVICES SOLID WASTE SOUTHEAST, INC.

SUMMARY:

On September 16, 2015, the City Council approved Resolution No. 2015-20, granting Advanced Disposal Services Solid Waste Southeast, Inc., a non-exclusive franchise for roll-off collection.

This franchise agreement expires September 15, 2018, and the current agreement authorizes an additional two-year extension, at the option of the City.

This agreement yields a minimum \$960.00 annually for the City.

FUNDING SOURCE:

N/A

RECOMMENDATION ACTION:

Authorize the renewal of the franchise agreement for the additional term of two (2) years.

DISTRIBUTION

Mayor Nelson
 Commissioners
 City Administrator
 Community Development Director

Finance Director
 HR Director
 IT Director
 Police Chief

Public Services Director
 Recreation Director
 City Clerk
 Fire Chief



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER:

MEETING OF: September 5, 2018
 FROM: Public Services
 EXHIBITS:

SUBJECT: RENEWAL FOR THE NON-EXCLUSIVE FRANCHISE FOR ROLL-OFF CONTAINER COLLECTION AND DISPOSAL OF WASTE IN THE CITY OF APOPKA WITH REPUBLIC SERVICES OF FLORIDA GP, INC.

REQUEST: AUTHORIZE A TWO-YEAR RENEWAL FOR REPUBLIC SERVICES OF FLORIDA GP, INC.

SUMMARY:

On September 16, 2015, the City Council approved Resolution No. 2015-17, granting Republic Services of Florida Gp, Inc., a non-exclusive franchise for roll-off collection.

This franchise agreement expires September 15, 2018, and the current agreement authorizes an additional two-year extension, at the option of the City.

This agreement yields a minimum \$960.00 annually for the City.

FUNDING SOURCE:

N/A

RECOMMENDATION ACTION:

Authorize the renewal of the franchise agreement for the additional term of two (2) years.

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER:

MEETING OF: September 5, 2018
 FROM: Public Services
 EXHIBITS:

SUBJECT: RENEWAL FOR THE NON-EXCLUSIVE FRANCHISE FOR ROLL-OFF CONTAINER COLLECTION AND DISPOSAL OF WASTE IN THE CITY OF APOPKA WITH USA SERVICES OF FLORIDA, INC.

REQUEST: AUTHORIZE A TWO-YEAR RENEWAL FOR USA SERVICES OF FLORIDA, INC.

SUMMARY:

On September 16, 2015, the City Council approved Resolution No. 2015-19, granting USA Services of Florida, Inc., a non-exclusive franchise for roll-off collection.

This franchise agreement expires September 15, 2018, and the current agreement authorizes an additional two-year extension, at the option of the City.

This agreement yields a minimum \$960.00 annually for the City.

FUNDING SOURCE:

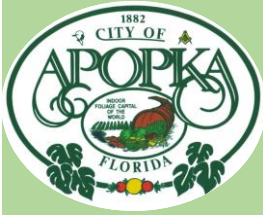
N/A

RECOMMENDATION ACTION:

Authorize the renewal of the franchise agreement for the additional term of two (2) years.

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief



CITY OF APOPKA CITY COUNCIL

- ___ CONSENT AGENDA
- ___ PUBLIC HEARING
- ___ SPECIAL REPORTS
- ___ OTHER:

MEETING OF: September 5, 2018
FROM: Public Services
EXHIBITS:

SUBJECT: RENEWAL FOR THE NON-EXCLUSIVE FRANCHISE FOR ROLL-OFF CONTAINER COLLECTION AND DISPOSAL OF WASTE IN THE CITY OF APOPKA WITH WASTE MANAGEMENT INC. OF FLORIDA.

REQUEST: AUTHORIZE A TWO-YEAR RENEWAL FOR WASTE MANAGEMENT INC. OF FLORIDA.

SUMMARY:

On September 16, 2015, the City Council approved Resolution No. 2015-18, granting Waste Management Inc. of Florida, a non-exclusive franchise for roll-off collection.

This franchise agreement expires September 15, 2018, and the current agreement authorizes an additional two-year extension, at the option of the City.

This agreement yields a minimum \$960.00 annually for the City.

FUNDING SOURCE:

N/A

RECOMMENDATION ACTION:

Authorize the renewal of the franchise agreement for the additional term of two (2) years.

DISTRIBUTION

Mayor Nelson
Commissioners
City Administrator
Community Development Director

Finance Director
HR Director
IT Director
Police Chief

Public Services Director
Recreation Director
City Clerk
Fire Chief



CITY OF APOPKA CITY COUNCIL

- ___ CONSENT AGENDA
- ___ PUBLIC HEARING
- ___ SPECIAL REPORTS
- ___ OTHER:

MEETING OF: September 5, 2018
FROM: Public Services
EXHIBITS:

SUBJECT: GENERAL CONTRACTING SERVICES.

REQUEST: APPROVE THE FIRST EXTENSION OF THE CONTRACTS FOR GENERAL CONTRACTING SERVICES WITH ACCUTECH CONSTRUCTION INC., C G C KILFOYLE, INC. AND CORE CONSTRUCTION SERVICES OF FLORIDA, LLC FOR A PERIOD OF ONE YEAR

SUMMARY:

On April 19, 2017, the City Council Awarded General Contracting Services Contracts AccuTech Construction Inc., C G C Kilfoyle, Inc. and Core Construction Services of Florida, LLC, to provide the City with consulting services, with two one-year extensions.

The services will be performed on an as needed basis. This is the first extension of each contract, and will be retroactive to the original approval date.

FUNDING SOURCE:

N/A

RECOMMENDATION ACTION:

Approve the first one (1) year extension of each contract for Contracts AccuTech Construction Inc., C G C Kilfoyle, Inc. and Core Construction Services of Florida, LLC, retroactive to April 19, 2018.

DISTRIBUTION

Mayor Nelson
Commissioners
City Administrator
Community Development Director

Finance Director
HR Director
IT Director
Police Chief

Public Services Director
Recreation Director
City Clerk
Fire Chief



CITY OF APOPKA CITY COUNCIL

CONSENT AGENDA
 PUBLIC HEARING
 SPECIAL REPORTS
 OTHER:

MEETING OF: September 5, 2018
FROM: Administration
EXHIBITS: Agreement

SUBJECT: CAMP THUNDERBIRD SEPTIC TO DISTRIBUTED SEWER RETROFIT PROJECT

REQUEST: APPROVE THE COST-SHARE AGREEMENT WITH ST. JOHNS RIVER WATER MANAGEMENT DISTRICT (SJRWMD)

SUMMARY:

Camp Thunderbird is a recreational camp located in Apopka serving individuals with developmental disabilities since 1969. The camp provides a camping experience for over 450 adults and youths with disabilities through several summer programs and one winter program. As with any camp, the campers swim, play sports, sing campfire songs and participate in the annual talent show. Camp Thunderbird provides the campers a chance to spend time in nature while giving caregivers temporary respite from caregiving.

Camp Thunderbird has been pursuing funding for quite some time to switch its septic system to sewer. This would not only allow the camp to expand its program offerings, it would also improve the environment since the camp is adjacent to Wekiwa Springs State Park and would prevent phosphorous and nitrogen from seeping into the springs.

The camp is a nonprofit and the cost to hook up to sewer was estimated to be around \$1M, which it could not afford to do. The camp has 11 onsite sewage treatment and disposal systems.

St. Johns River Water Management District (SJRWMD) in conjunction with the Florida Department of Environmental Protection (DEP) has a grant program, the Springs Septic Replacement Cost-Share Program, to provide funding for projects to replace or retrofit existing septic tanks within Outstanding Florida Springsheds such as Wekiwa Springs. DEP is providing \$1M and SJRWMD is providing \$500,000 in funding. The program will reimburse 75% of the cost up to \$7,500 per septic tank replaced. A local match of 25% is required.

The City would like to pursue this grant program on behalf of the camp. As part of this project, the 10 septic tanks on the camp's property would be converted to distributed sewer network systems. The distributed sewer network system combines decentralized treatment of wastewater with centralized wastewater control by our licensed utility operators. Each system is equipped with a state-of-the-art network enabled controller that allows a wastewater utility operator to have full access and control of every system in the network. The operator has the ability to remotely take control of one or more systems to perform diagnostics, start/stop processes, and monitor activity. These systems are considered to be wastewater treatment facilities and are regulated by DEP rather than DOH.



FUNDING SOURCE:

Match of \$15,000 included in FY18/19 Proposed Budget.

RECOMMENDATION ACTION:

Approve the cost-share agreement with St. Johns River Water Management District (SJRWMD).

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

**COST-SHARE AGREEMENT
BETWEEN THE
ST. JOHNS RIVER WATER MANAGEMENT DISTRICT
AND CITY OF APOPKA**

THIS AGREEMENT (“Agreement”) is entered into by and between the GOVERNING BOARD of the ST. JOHNS RIVER WATER MANAGEMENT DISTRICT (the “District”), whose address is 4049 Reid Street, Palatka, Florida 32177, and CITY OF APOPKA (“Recipient”), 748 E. Cleveland Street, Apopka, Florida 32703. All references to the parties hereto include the parties, their officers, employees, agents, successors, and assigns.

RECITALS

The waters of the state of Florida are among its basic resources, and it has been declared to be the policy of the Legislature to promote the conservation, development, and proper utilization of surface and ground water. Pursuant to chapter 373, Fla. Stat., the District is responsible for the management of the water resources within its geographical area.

The District has determined that providing cost-share funding to Recipient for the purposes provided for herein will benefit the water resources and one or more of the District’s missions and initiatives.

At its June 13, 2017 meeting, the Governing Board approved funding for the Outstanding Florida Springs Septic Tank Replacement program. District staff have selected Recipient’s proposal for cost-share funding. The parties have agreed to jointly fund the following project in accordance with the funding formula further described in the Statement of Work, Attachment A (hereafter the “Project”):

Camp Thunderbird Septic to Distributed Sewer Retrofit Project

In consideration of the above recitals, and the funding assistance described below, Recipient agrees to perform and complete the activities provided for in the Statement of Work, Attachment A. Recipient shall complete the Project in conformity with the contract documents and all attachments and other items incorporated by reference herein. This Agreement consists of all of the following documents: (1) Agreement, (2) Attachment A — Statement of Work; and (3) all other attachments, if any. The parties hereby agree to the following terms and conditions.

1. TERM; WITHDRAWAL OF OFFER

- (a) The term of this Agreement is from the date upon which the last party has dated and executed the same (“Effective Date”) until September 30, 2020 (“Completion Date”). Recipient shall not commence the Project until any required submittals are received and approved. Time is of the essence for every aspect of this Agreement, including any time extensions. Any request for an extension of time beyond the Completion Date must be made before July 1, 2020. Notwithstanding specific mention that certain provisions survive termination or expiration of this Agreement, all provisions of this Agreement that by their nature extend beyond the Completion Date survive termination or expiration hereof (e.g., delivery of a final report, will remain in full force and effect after the Completion Date as necessary to effect performance).
- (b) This Agreement constitutes an offer until authorized, signed and returned to the District by Recipient. This offer terminates 90 days after receipt by Recipient; provided, however, that Recipient may submit a written request for extension of this time limit to the District’s Project Manager, stating the reason(s) therefor. Request for extension of time after the 90 days will be denied. The Project Manager shall

notify Recipient in writing if an extension is granted or denied. If granted, this Agreement shall be deemed modified accordingly without any further action by the parties.

2. **DELIVERABLES.** Recipient shall fully implement the Project, as described in the Statement of Work, Attachment A. Recipient is responsible for the professional quality, technical accuracy, and timely completion of the Project. Both workmanship and materials shall be of good quality. Unless otherwise specifically provided for herein, Recipient shall provide and pay for all materials, labor, and other facilities and equipment necessary to complete the Project. The District's Project Manager shall make a final acceptance inspection of the Project when completed and finished in all respects. Upon satisfactory completion of the Project, the District will provide Recipient a written statement indicating that the Project has been completed in accordance with this Agreement. Acceptance of the final payment by Recipient shall constitute a release in full of all claims against the District arising from or by reason of this Agreement.
3. **OWNERSHIP OF DELIVERABLES.** Unless otherwise provided herein, the District does not assert an ownership interest in any of the deliverables under this Agreement.
4. **AMOUNT OF FUNDING**
 - (a) For satisfactory completion of the Project, the District shall pay Recipient 75% of the total replacement cost of the Project, but in no event shall the District cost-share exceed \$165,000. The District cost-share is not subject to modification based upon price escalation in implementing the Project during the term of this Agreement. Recipient shall be responsible for payment of all costs necessary to ensure completion of the Project. Recipient shall notify the District's Project Manager in writing upon receipt of any additional external funding for the Project not disclosed prior to execution of this Agreement.
 - (b) "Replacement cost" is defined to include actual costs of the proper abandonment of the existing septic system, installation of the individual distributed wastewater treatment system (IDWTS) including piping and any monitoring equipment if needed and restoration of the site to its original condition. A preconstruction inspection of the integrity of the existing septic system, drainfield and electric availability may be included as part of the installation cost of the IDWTS. Replacement cost does not include any costs incurred prior to the Effective Date, unless expressly authorized by the Statement of Work. Costs that are excluded will not be credited toward Recipient's cost-share.
 - (c) Work performed or expenses incurred after the Completion Date are not eligible for Cost-Share reimbursement.
5. **PAYMENT OF INVOICES**
 - (a) Recipient shall submit itemized invoices as per the Statement of Work, Attachment A for reimbursable expenses by one of the following two methods: (1) by email to acctpay@sjrwmd.com (preferred) or (2) by mail to the St. Johns River Water Management District, Finance Director, 4049 Reid Street, Palatka, Florida 32177-2571. The invoices shall be submitted in detail sufficient for proper pre-audit and post-audit review. Invoices shall include a copy of contractor and supplier invoices to Recipient and proof of payment. Recipient shall be reimbursed for 100% of approved cost or the not-to-exceed sum of \$165,000 whichever is less. The District shall not withhold any retainage from this reimbursement. District reimbursement is subject to annual budgetary limitation, if applicable, as provided in subsection (g). If necessary for audit purposes, Recipient shall provide additional supporting information as required to document invoices.
 - (b) **End of District Fiscal Year Reporting.** The District's fiscal year ends on September 30. Irrespective of the invoicing frequency, the District is required to account for all encumbered funds at that time. When authorized under the Agreement, submittal of an invoice as of September 30 satisfies this requirement. The invoice shall be submitted no later than October 30. If the Agreement does not authorize submittal of an invoice as of September 30, Recipient shall submit, prior to October 30, a description of the additional work on the Project completed between the last invoice and September 30, and an estimate of

the additional amount due as of September 30 for such Work. If there have been no prior invoices, Recipient shall submit a description of the work completed on the Project through September 30 and a statement estimating the dollar value of that work as of September 30.

- (c) **Final Invoice.** The final invoice must be submitted no later than 45 days after the Completion Date; provided, however, that when the Completion Date corresponds with the end of the District's fiscal year (September 30), the final invoice must be submitted no later than 30 days after the Completion Date. **Final invoices that are submitted after the requisite date shall be subject to a penalty of ten percent of the invoice. This penalty may be waived by the District, in its sole judgment and discretion, upon a showing of special circumstances that prevent the timely submittal of the final invoice. Recipient must request approval for delayed submittal of the final invoice not later than ten days prior to the due date and state the basis for the delay.**
- (d) All invoices shall include the following information: (1) District contract number; (2) Recipient's name, address, and authorization to directly deposit payment into Recipient's account (if Recipient has not yet provided the District with a completed Direct Deposit Authorization form); (3) Recipient's invoice number and date of invoice; (4) District Project Manager; (5) Recipient's Project Manager; (6) supporting documentation as to cost and/or Project completion (as per the cost schedule and other requirements of the Statement of Work); (7) Progress Report (if required); (8) Diversity Report (if otherwise required herein). Invoices that do not correspond with this paragraph shall be returned without action within 20 business days of receipt, stating the basis for rejection. Payments shall be made within 45 days of receipt of an approved invoice.
- (e) **Travel expenses.** If the cost schedule for this Agreement includes a line item for travel expenses, travel expenses shall be drawn from the project budget and are not otherwise compensable. If travel expenses are not included in the cost schedule, they are a cost of providing the service that is borne by Recipient and are only compensable when specifically approved by the District as an authorized District traveler. In such instance, travel expenses must be submitted on District or State of Florida travel forms and shall be paid pursuant to District Administrative Directive 2000-02.
- (f) **Payments withheld.** The District may withhold or, on account of subsequently discovered evidence, nullify, in whole or in part, any payment to such an extent as may be necessary to protect the District from loss as a result of: (1) defective work not remedied; (2) failure to maintain adequate progress in the Project; (3) any other material breach of this Agreement. Amounts withheld shall not be considered due and shall not be paid until the ground(s) for withholding payment have been remedied.
- (g) **Annual budgetary limitation.** For multi-fiscal year agreements, the District must budget the amount of funds that will be expended during each fiscal year as accurately as possible. The Statement of Work, Attachment A, includes the parties' current schedule for completion of the Work and projection of expenditures on a fiscal year basis (October 1 – September 30) ("Annual Spending Plan"). If Recipient anticipates that expenditures will exceed the budgeted amount during any fiscal year, Recipient shall promptly notify the District's Project Manager and provide a proposed revised work schedule and Annual Spending Plan that provides for completion of the Work without increasing the Total Compensation. The last date for the District to receive this request is August 1 of the then-current fiscal year. The District may in its sole discretion prepare a District Supplemental Instruction Form incorporating the revised work schedule and Annual Spending Plan during the then-current fiscal year or subsequent fiscal year(s).

6. **LIABILITY AND INSURANCE.** Each party is responsible for all personal injury and property damage attributable to the negligent acts or omissions of that party, its officers, employees and agents. Recipient accepts all risks arising from construction or operation of the Project. Nothing contained herein shall be construed or interpreted as denying to any party any remedy or defense available under the laws of the state of Florida, nor as a waiver of sovereign immunity of the state of Florida beyond the waiver provided for in §768.28, Fla. Stat., as amended. Each party shall acquire and maintain throughout the term of this Agreement such liability, workers' compensation, and automobile insurance as required by their current

rules and regulations. If Florida Department of Environmental Protection (“FDEP”) funds will be used to fund all or a portion of the Agreement, additional FDEP insurance requirements applicable to the Recipient are included in the insurance attachment to the Agreement.

7. **FUNDING CONTINGENCY.** This Agreement is at all times contingent upon funding availability, which may include a single source or multiple sources, including, but not limited to: (1) ad valorem tax revenues appropriated by the District's Governing Board; (2) annual appropriations by the Florida Legislature, or (3) appropriations from other agencies or funding sources. Agreements that extend for a period of more than one Fiscal Year are subject to annual appropriation of funds in the sole discretion and judgment of the District's Governing Board for each succeeding Fiscal Year. Should the Project not be funded, in whole or in part, in the current Fiscal Year or succeeding Fiscal Years, the District shall so notify Recipient and this Agreement shall be deemed terminated for convenience five days after receipt of such notice, or within such additional time as the District may allow. For the purpose of this Agreement, “Fiscal Year” is defined as the period beginning on October 1 and ending on September 30.

8. **PROJECT MANAGEMENT**

(a) The Project Managers listed below shall be responsible for overall coordination and management of the Project. Either party may change its Project Manager upon three business days’ prior written notice to the other party. Written notice of change of address shall be provided within five business days. All notices shall be in writing to the Project Managers at the addresses below and shall be sent by one of the following methods: (1) hand delivery; (2) U.S. certified mail; (3) national overnight courier; or (4) email. Notices via certified mail are deemed delivered upon receipt. Notices via overnight courier are deemed delivered one business day after having been deposited with the courier. Notices via e-mail are deemed delivered on the date transmitted and received.

DISTRICT
 Carol G. Brown, P.E., Project Manager
 St. Johns River Water Management District
 4049 Reid Street
 Palatka, Florida 32177-2571
 Phone: 386-329-4816
 Email: cgbrown@sjrwmd.com

RECIPIENT
 Jay Davoll, Project Manager
 City of Apopka
 748 E. Cleveland Street
 Apopka, Florida 32703
 Phone: 407-703-1717
 Email: jdavoll@apopka.net

(b) The District’s Project Manager shall have sole responsibility for transmitting instructions, receiving information, and communicating District policies and decisions regarding all matters pertinent to performance of the Project. The District’s Project Manager may issue a District Supplemental Instruction (DSI) form, Attachment C, to authorize minor adjustments to the Project that are consistent with the purpose of the Project. Both parties must sign the DSI. A DSI may not be used to change the District cost-share or percentage, quantity, quality or the Completion Date of the Project, or to change or modify the Agreement.

9. **PROGRESS REPORTS AND PERFORMANCE MONITORING.**

(a) **Progress Reports.** Recipient shall provide to the District quarterly Project update/status reports as provided in the Statement of Work. Reports will provide detail on progress of the Project and outline any potential issues affecting completion or the overall schedule. Recipient shall use the District’s Project Progress Report form, Attachment B. Recipient shall submit the Project Progress Reports to the District’s Project Manager and District’s Budget Specialist within 15 days after the closing date of each calendar quarter (March 31, June 30, September 30 and December 31).

(b) **Performance Monitoring.** For as long as the Project is operational, the District shall have the right to inspect the operation of the Project during normal business hours upon reasonable prior notice. Recipient shall make available to the District any data that is requested pertaining to performance of the Project.

10. **WAIVER.** The delay or failure by the District to exercise or enforce any of its rights under this Contract shall not constitute or be deemed a waiver of the District's right thereafter to enforce those rights, nor shall any single or partial exercise of any such right preclude any other or further exercise thereof or the exercise of any other right.

11. **FAILURE TO COMPLETE PROJECT**

- (a) Should Recipient fail to complete the Project, Recipient shall refund to the District all of the funds provided to Recipient pursuant to this Agreement. However, the District, in its sole judgment and discretion, may determine that Recipient has failed to complete the Project due to circumstances that are beyond Recipient's control, or due to a good faith determination that the Project is no longer environmentally or economically feasible. In such event, the District may excuse Recipient from the obligation to return funds provided hereunder. If the Project has not been completed within 30 days after the Completion Date, Recipient shall provide the District with notice regarding its intention as to completion of the Project. The parties shall discuss the status of the Project and may mutually agree to revise the time for Project completion or the scope of the Project. Failure to complete the Project within 90 days after the Completion Date shall be deemed to constitute failure to complete the Project for the purposes of this provision.
- (b) In the event the Project constitutes a portion of the total functional project, this paragraph shall apply in the event the total functional project is not completed. In such event, the 90-day timeframe provided herein shall commence upon the date scheduled for completion of the total functional project at the time of execution of this Agreement, unless extended by mutual agreement of the parties. Paragraphs 11(a) and 11(b) shall survive the termination or expiration of this Agreement.

12. **TERMINATION.** If Recipient materially fails to fulfill its obligations under this Agreement, including any specific milestones established herein, the District may provide Recipient written notice of the deficiency by forwarding a Notice to Cure, citing the specific nature of the breach. Recipient shall have 30 days following receipt of the notice to cure the breach. If Recipient fails to cure the breach within the 30-day period, the District shall issue a Termination for Default Notice terminating this Agreement without further notice. In such event, Recipient shall refund to the District all funds provided to Recipient pursuant to this Agreement within 30 days of such termination. The District may also terminate this Agreement upon ten days' written notice in the event of any material misrepresentations in the Project Proposal.

Delay or failure by the District to enforce any right, remedy or deadline hereunder shall not impair, or be deemed a waiver of, any such right, remedy or deadline, or impair the District's rights or remedies for any subsequent breach or continued breach of this Agreement.

ADDITIONAL PROVISIONS (Alphabetical)

13. **ASSIGNMENT.** Recipient shall not assign this Agreement, or any monies due hereunder, without the District's prior written consent. Recipient is solely responsible for fulfilling all work elements in any contracts awarded by Recipient and payment of all monies due. No provision of this Agreement shall create a contractual relationship between the District and any of Recipient's contractors or subcontractors.

14. **AUDIT; ACCESS TO RECORDS; REPAYMENT OF FUNDS**

- (a) **Maintenance of Records.** Recipient shall maintain its books and records such that receipt and expenditure of the funds provided hereunder are shown separately from other expenditures in a format that can be easily reviewed. Recipient shall keep the records of receipts and expenditures, copies of all reports submitted to the District, and copies of all invoices and supporting documentation for at least five years after expiration of this Agreement. In accordance with generally accepted governmental auditing standards, the District shall have access to and the right to examine any directly pertinent books and other records involving transactions related to this Agreement. In the event of an audit, Recipient

shall maintain all required records until the audit is completed and all questions are resolved. Recipient will provide proper facilities for access to and inspection of all required records.

- (b) **Repayment of Funds.** District funding shall be subject to repayment after expiration of this Agreement if, upon audit examination, the District finds any of the following: (1) Recipient has spent funds for purposes other than as provided for herein, including but not limited to construction materials not used in the Project; (2) Recipient has failed to perform a continuing obligation of this Agreement; (3) Recipient has received duplicate funds from the District for the same purpose; (4) Recipient has been advanced or paid unobligated funds; (5) Recipient has been paid funds in excess of the amount Recipient is entitled to receive under the Agreement; and/or (6) Recipient has received more than 100% contributions through cumulative public agency cost-share funding.
15. **CIVIL RIGHTS.** Pursuant to chapter 760, Fla. Stat., Recipient shall not discriminate against any employee or applicant for employment because of race, color, religion, sex, or national origin, age, handicap, or marital status.
16. **COOPERATION WITH THE INSPECTOR GENERAL, PURSUANT TO §20.055(5) FLA. STAT.** Recipient and any subcontractors understand and will comply with their duty, pursuant to §20.055(5), Fla. Stat., to cooperate with the inspector general in any investigation, audit, inspection, review, or hearing.
17. **DISPUTE RESOLUTION.** Recipient is under a duty to seek clarification and resolution of any issue, discrepancy, or dispute involving performance of this Agreement by submitting a written statement to the District's Project Manager no later than ten business days after the precipitating event. If not resolved by the Project Manager, the Project Manager shall forward the request to the District's Office of General Counsel, which shall issue a written decision within ten business days of receipt. This determination shall constitute final action of the District and shall then be subject to judicial review upon completion of the Project.
18. **DIVERSITY REPORTING.** The District is committed to the opportunity for diversity in the performance of all cost-sharing agreements, and encourages Recipient to make a good faith effort to ensure that women and minority-owned business enterprises (W/MBE) are given the opportunity for maximum participation as contractors. The District will assist Recipient by sharing information on W/MBEs. Recipient shall provide with each invoice a report describing: (1) the company names for all W/MBEs; (2) the type of minority, and (3) the amounts spent with each during the invoicing period. The report will also denote if there were no W/MBE expenditures.
19. **FLORIDA SINGLE AUDIT ACT**
- (a) **Applicability.** The Florida Single Audit Act (FSAA), section 215.97, Fla. Stat., applies to all sub-recipients of state financial assistance, as defined in section 215.97(1)(q), Fla. Stat., awarded by the District through a project or program that is funded, in whole or in part, through state financial assistance to the District. In the event Recipient expends a total amount of state financial assistance equal to or in excess of \$750,000 in any fiscal year of such Recipient, Recipient must have a state single or project-specific audit for such fiscal year in accordance with section 215.97, Fla. Stat.; applicable rules of the Department of Financial Services; and Chapters 10.550 (local governmental entities) or 10.650 (nonprofit and for-profit organizations), Rules of the Auditor General. In determining the state financial assistance expended in its fiscal year, Recipient shall consider all sources of state financial assistance, including state financial assistance received from the District, other state agencies, and other non-state entities. State financial assistance does not include Federal direct or pass-through awards and resources received by a non-state entity for Federal program matching requirements. Recipient is solely responsible for complying with the FSAA.

If Recipient expends less than \$500,000 in state financial assistance in its fiscal year, an audit conducted in accordance with the provisions of section 215.97, Fla. Stat., is not required. In such event, should

Recipient elect to have an audit conducted in accordance with section 215.97, Fla. Stat., the cost of the audit must be paid from the non-state entity's resources (i.e., Recipient's resources obtained from other than State entities).

- (b) **Program Information** This Agreement involves the disbursement of state funding by the FDEP in the amount of \$110,000. Funding is provided under the State of Florida Land Acquisition Trust Fund Line Item 1606. The Florida Catalog of State Financial Assistance (CSFA) number for this program is CSFA No. 37.052 – Florida Springs Grant Program. The District is providing funding in the amount of \$55,000.
- (c) **Additional Information.** For information regarding the state program under the above CSFA number, Recipient should access the Florida Single Audit Act website located at <https://apps.fldfs.com/fsaa/catalog.aspx> for assistance. The following websites may be accessed for additional information: Legislature's Website at <http://www.leg.state.fl.us/>, State of Florida's website at <http://myflorida.com>, District of Financial Services' Website at <http://www.fldfs.com/> and the Auditor General's Website at <http://www.myflorida.com/audgen/>.
- (d) **Allowable Costs.** Recipient may only charge allowable costs to this Agreement, as otherwise provided herein. Any balance of unobligated cash that have been advanced or paid that is not authorized to be retained for direct program costs in a subsequent period must be returned to the District.
- (e) **Audit Requirements.** Recipient shall ensure that the audit complies with the requirements of section 215.97(7), Fla. Stat. This includes submission of a financial reporting package as defined by section 215.97(2), Fla. Stat., and Chapters 10.550 (local governmental entities) or 10.650 (nonprofit and for-profit organizations), Rules of the Auditor General. Recipient shall comply with the program requirements described in the Florida Catalog of State Financial Assistance (CSFA) [<https://apps.fldfs.com/fsaa/catalog.aspx>]. The services/purposes for which the funds are to be used are included in the Statement of Work.
- (f) **Financial Reporting.** Recipient shall provide the District with a copy of any reports, management letters, or other information required to be submitted in accordance with Chapters 10.550 (local governmental entities) or 10.650 (nonprofit and for-profit organizations), Rules of the Auditor General, as applicable, no more than 20 days after its preparation. Recipient shall indicate the date the reporting package was delivered to Recipient in correspondence accompanying the reporting package. This information shall be directed to: St. Johns River Water Management District, Mr. Greg Rockwell, Finance Director, Office of Financial Services, 4049 Reid Street, Palatka, FL 32177. A copy of the report shall also be provided to the Auditor General's Office at the following address: State of Florida Auditor General, Room 401, Claude Pepper Building, 111 West Madison Street, Tallahassee, Florida 32399-1450.
- (g) **Monitoring.** In addition to reviews of audits conducted in accordance with section 215.97, Fla. Stat., as revised, monitoring procedures may include, but not be limited to, on-site visits by District staff, limited scope audits, and/or other procedures. Recipient agrees to comply and cooperate with any monitoring procedures/processes deemed appropriate by the District. In the event the District determines that a limited scope audit of Recipient is appropriate, Recipient agrees to comply with any additional instructions provided by the District to Recipient regarding such audit. Recipient agrees to comply and cooperate with any inspections, reviews, investigations, or audits deemed necessary by the District's Inspector General or the state Chief Financial Officer or Auditor General.
- (h) **Examination of Records.** In addition to the District's audit rights otherwise provided for herein, Recipient shall permit the District or its designated agent, the state awarding agency, the Department of Financial Services, the state's Chief Financial Officer and the state's Auditor General to examine Recipient's financial and non-financial records to the extent necessary to monitor Recipient's use of

state financial assistance and to determine whether timely and appropriate corrective actions have been taken with respect to audit findings and recommendations, which may include onsite visits and limited scope audits.

- (i) **Records Retention.** Notwithstanding any other provision of this Agreement to the contrary, Recipient shall retain sufficient records demonstrating its compliance with the terms of this Agreement for a period of five (5) years from the date the audit report is issued, and shall allow the District, or its designee, state Chief Financial Officer, or Auditor General access to such records upon request. Recipient shall ensure that audit working papers are made available for such access for a period of three years from the date the audit report is issued, unless extended in writing by the District.

20. **GOVERNING LAW, VENUE, ATTORNEY'S FEES, WAIVER OF RIGHT TO JURY TRIAL.** This Agreement shall be construed according to the laws of Florida and shall not be construed more strictly against one party than against the other because it may have been drafted by one of the parties. As used herein, "shall" is always mandatory. In the event of any legal proceedings arising from or related to this Agreement: (1) venue for any state or federal legal proceedings shall be in Orange County; (2) each party shall bear its own attorney's fees, including appeals; (3) for civil proceedings, the parties hereby consent to trial by the court and waive the right to jury trial.
21. **INDEPENDENT CONTRACTORS.** The parties to this Agreement, their employees and agents, are independent contractors and not employees or agents of each other. Nothing in this Agreement shall be interpreted to establish any relationship other than that of independent contractors during and after the term of this Agreement. Recipient is not a contractor of the District. The District is providing cost-share funding as a cooperating governmental entity to assist Recipient in accomplishing the Project. Recipient is solely responsible for accomplishing the Project and directs the means and methods by which the Project is accomplished. Recipient is solely responsible for compliance with all labor, health care, and tax laws pertaining to Recipient, its officers, agents, and employees.
22. **CONFLICTING INTEREST IN RECIPIENT.** Recipient certifies that no officer, agent, or employee of the District has any material interest, as defined in §112.312, Fla. Stat., either directly or indirectly, in the business of Recipient to be conducted hereby, and that no such person shall have any such interest at any time during the term of this Agreement.
23. **NON-LOBBYING.** Pursuant to §216.347, Fla. Stat., as amended, Recipient agrees that funds received from the District under this Agreement shall not be used for the purpose of lobbying the Legislature or any other state agency.
24. **PERMITS.** Recipient shall comply with all applicable federal, state and local laws and regulations in implementing the Project and shall include this requirement in all subcontracts pertaining to the Project. Recipient shall obtain any and all governmental permits necessary to implement the Project. Any activity not properly permitted prior to implementation or completed without proper permits does not comply with this Agreement and shall not be approved for cost-share funding.
25. **PUBLIC ENTITY CRIME.** A person or affiliate who has been placed on the convicted vendor list following a conviction for a public entity crime may not submit a bid, proposal, or reply on a contract to provide any goods or services to a public entity; may not submit a bid, proposal, or reply on a contract with a public entity for the construction or repair of a public building or public work; may not submit bids, proposals, or replies on leases of real property to a public entity; may not be awarded or perform work as a contractor, supplier, subcontractor, or consultant under a contract with any public entity; and may not transact business with any public entity in excess of the threshold amount provided in §287.017, Fla. Stat., for CATEGORY TWO (\$35,000) for a period of 36 months following the date of being placed on the convicted vendor list.

26. **PUBLIC RECORDS.** Records of Recipient that are made or received in the course of performance of the Project may be public records that are subject to the requirements of chapter 119, Fla. Stat. If Recipient receives a public records request, Recipient shall promptly notify the District’s Project Manager. Each party reserves the right to cancel this Agreement for refusal by the other party to allow public access to all documents, papers, letters, or other materials related hereto and subject to the provisions of chapter 119, Fla. Stat., as amended.

27. **ROYALTIES AND PATENTS.** Recipient certifies that the Project does not, to the best of its information and belief, infringe on any patent rights. Recipient shall pay all royalties and patent and license fees necessary for performance of the Project and shall defend all suits or claims for infringement of any patent rights and save and hold the District harmless from loss to the extent allowed by Florida law.

IN WITNESS WHEREOF, the St. Johns River Water Management District has caused this Agreement to be executed on the day and year written below in its name by its Executive Director, or duly authorized designee, and Recipient has caused this Agreement to be executed on the day and year written below in its name by its duly authorized representatives, and, if appropriate, has caused the seal of the corporation to be attached. This Agreement may be executed in separate counterparts, which shall not affect its validity. Upon execution, this Agreement constitutes the entire agreement of the parties, notwithstanding any stipulations, representations, agreements, or promises, oral or otherwise, not printed or inserted herein. This Agreement cannot be changed by any means other than written amendments referencing this Agreement and signed by all parties.

ST. JOHNS RIVER WATER
MANAGEMENT DISTRICT

CITY OF APOPKA

By: _____
Ann B. Shortelle, Ph.D., Executive Director (or designee)

By: _____

Typed Name and Title

Date: _____

Date: _____

Attest: _____

Typed Name and Title

- Attachments:
- Attachment A — Statement of Work
 - Attachment B — Project Progress Report Form
 - Attachment C — District Supplemental Instructions Form
 - Attachment D — Contract Payment Requirements for State Funded Cost Reimbursement Contracts
 - Attachment E — Insurance Requirements

**ATTACHMENT A - STATEMENT OF WORK
CAMP THUNDERBIRD SEPTIC TO DISTRIBUTED SEWER RETROFIT PROJECT**

I. INTRODUCTION/BACKGROUND

The St. Johns River Water Management District (District) continues to seek funding sources for the implementation of water quality improvement projects within the Outstanding Florida Springs. The Florida Legislature, during its 2016 session, adopted Senate Bill 552, a comprehensive water bill that includes springs restoration. Each year the District submits a list of projects benefitting springs protection to FDEP. One of the projects selected for funding by FDEP is the Outstanding Florida Springs Septic Tank Replacement project. The State appropriated \$1,000,000 for a 50% match of the cost of replacing traditional septic systems with individual distributed wastewater treatment systems (IDWTS). The Governing Board approved \$500,000 District funds for a 25% match for this project at its June 13, 2017 meeting.

City of Apopka (Recipient) has requested the not to exceed amount of \$165,000 towards the estimated cost of \$220,000 for the replacement of up to 20 existing septic systems with IDWTS. The project name is Camp Thunderbird Septic to Distributed Sewer Retrofit (Project). The Recipient is located in the Wekiwa springshed in Orange County.

II. OBJECTIVES

The objective of this Cost Share is to provide cost share dollars that will enable the Recipient to replace traditional septic systems with IDWTS within the priority focus area (PFA) of the Wekiwa springshed.

III. SCOPE OF WORK

The Project is composed of identifying potential septic systems for replacement that are not close enough to existing sewer lines for connection, recruiting homeowners to replace their septic systems with IDWTS and procuring a vendor to install the IDWTS and abandon the existing septic systems.

IV. PROJECT ADMINISTRATION AND DELIVERABLES

The Recipient shall be responsible for the following:

- Complete and obtain final project design, construction plans, and specifications;
- Obtain all required permits, including right of access to the project sites, related to project construction and subsequent operation and maintenance of the completed work;
- Assure compliance with all permits and permit conditions;
- Provide procurement for project construction;
- Perform supervision and inspection of construction;
- Perform construction contract administration;
- Assure compliance with cost accounting practices and procedures required for reimbursement of cost share funds expended.

The Recipient shall provide the following to the District's Project Manager:

- Timely invoices for actual construction costs in accordance with this cost share agreement (i.e. quarterly, with appropriate substantiation that demonstrates that the applicant has paid for the total work cost and is seeking reimbursement up to the match amount) to enable proper review by the District's Project Manager prior to payment authorization. Deliverables to be submitted with invoices include:

- Interim progress status summaries including inspections, meeting minutes and field notes and dated color photographs of the construction to include on-going work that represents the time-period being invoiced.
 - Final invoice submittals for completed construction including inspections and dated color photographs of the construction site prior to, during and immediately following completion of the construction task.
 - Construction plans, specifications, and contract documents for the site work must be made available upon request;
 - Written verification that the record drawings and any required final inspection reports for the project are received.
- Quarterly progress reports identifying project progress to date, key milestones reached, overall project schedule versus time for project completion, an updated spend-down plan, key issues to be resolved, project construction photos. Quarterly reports shall also be emailed to the District’s Budget Specialist at hbarber@sjrwmd.com;

The Recipient shall ensure the task in the Task Identification section below is completed.

V. TASK IDENTIFICATION AND TIME FRAMES

The expiration date of this cost share agreement is September 30, 2020. The projected schedule is as follows:

Task Description	Anticipated Start Date	Anticipated Completion Date
Abandonment and replacement of up to 20 septic systems with IDWTS	10/01/2018	9/30/2020

VI. BUDGET/COST SCHEDULE

For satisfactory completion of the Project, the District shall pay Recipient 75% of the total construction cost of the Project, but in no event shall the District's cost-share exceed \$165,000. It is anticipated that the FY breakdown will be \$90,000 for FY 18-19 and \$75,000 for FY 19-20.

Recipient shall invoice the District quarterly with appropriate documentation. The District’s Project Manager shall provide an invoice template that will be used. Invoices shall include a copy of the contractor’s invoices submitted to the Recipient, proof of payment by Recipient, and other required supporting documentation for reimbursement up to match amount. For in-house expenses, Recipient shall provide copies of all receipts for materials and a system report showing documentation of staff time or other proof of staff time expenses for the Project. The final invoice shall be submitted with the final project report. If the total actual cost of this project is less than originally estimated, the District’s cost-share amount shall be reduced accordingly. Recipient may invoice more frequently submitting all required documentation and include general status information.

Recipient shall submit quarterly progress reports to the District’s Project Manager and the District’s Budget Specialist within 15 days of the end of quarter for work accomplished during each quarter. The email address for the District’s Budget Specialist is hbarber@sjrwmd.com. The Recipient shall submit a final project report within 15 days of Final Completion and acceptance by City of Apopka detailing the project’s accomplishments and any issues resolved during the course of the work.

Estimated Cost Schedule for Reimbursement per fiscal year (all dollar amounts are approximate and may be reallocated between the construction tasks for the two FYs).

FY 18-19 (10/1/2018 – 9/30/2019)

Description	Estimated Task Amount	Estimated Reimbursement Amount
Abandonment and replacement of 8 residential septic systems with IDWTS	\$80,000	\$60,000
Abandonment and replacement of 2 industrial septic systems with IDWTS	\$40,000	\$30,000

FY 19-20 (10/1/2019 – 9/30/2020)

Description	Estimated Task Amount	Estimated Reimbursement Amount
Abandonment and replacement of up to 10 residential septic systems with IDWTS	\$100,000	\$75,000

**ATTACHMENT B
PROJECT PROGRESS REPORT**

**St. Johns River Water Management District
Project Progress Report**

Date: _____

Report Number: _____

Contract/Project Identification

Project Name:	Camp Thunderbird Septic to Distributed Sewer Retrofit Project		
Recipient:	City of Apopka		
SJRWMD Contract Number:	33662	SJRWMD Project Manager:	Carol G. Brown, P.E.
		Recipient's Project Manager:	Jay Davoll

Construction Schedule

Construction Start Date:	
Construction Completion Date:	
Contract Expiration Date:	

Reporting Period

Beginning Date:	
Ending Date:	

Cost-Share Budget

Total Cost-Share Budget:		Cost-Share Amount Expended This Period:	
Cost-Share Amount Expended To-date:		Percent Cost-Share Budget Expended:	

Spend-Down Plan

Fiscal Year 1

Reimbursement #	Anticipated Amount	Anticipated Date
1		
2		
3		
4		

Fiscal Year 2

Reimbursement #	Anticipated Amount	Anticipated Date
1		
2		
3		
4		

Project Readiness and Schedule Tracking

Project Phase	% Complete Shown in Application	% Complete Currently	Start Date Shown in Application	Completion Date Shown in Application	Current Start Date	Current Completion Date	Notes: Explain anticipated deviations from schedule
Planning							
Design							
Permitting							
Bidding & Award							

SOW Construction Tasks/Milestones/Deliverables

Task Number	Tasks/Milestones/Deliverables	Total Construction % Complete	Start Date Shown in SOW	Completion Date Shown in SOW	Current Start Date	Current Completion Date
1						

Project update including problems, issues and solutions. Explain in detail.

Include digital photographs of work accomplished during reporting period. Attach an additional page of notes if necessary to explain reasons for lateness or unusual events or circumstances.

ATTACHMENT C — DISTRICT’S SUPPLEMENTAL INSTRUCTIONS (sample)

DISTRICT SUPPLEMENTAL INSTRUCTIONS #

DATE:

TO: Jay Davoll, Project Manager
City of Apopka
748 E. Cleveland Street
Apopka, FL 32703

FROM: Carol G. Brown, P.E., Project Manager

CONTRACT NUMBER: 33662

CONTRACT TITLE: Camp Thunderbird Septic to Distributed Sewer Retrofit Project

The Work shall be carried out in accordance with the following supplemental instruction issued in accordance with the Contract Documents without change in the Contract Sum or Contract Time. Prior to proceeding in accordance with these instructions, indicate your acceptance of these instructions for minor adjustments to the work as consistent with the Contract Documents and return to the District’s Project Manager.

- 1. RECIPIENTS’S SUPPLEMENTAL INSTRUCTIONS:
- 2. DESCRIPTION OF WORK TO BE CHANGED:
- 3. DESCRIPTION OF SUPPLEMENTAL INSTRUCTION REQUIREMENTS: .

’s approval: (choose one of the items below):

Approved: _____ Date: _____

(It is agreed that these instructions shall not result in a change in the Total Compensation or the Completion Date.)

Approved: _____ Date: _____

(agrees to implement the Supplemental Instructions as requested, but reserves the right to seek a Change Order in accordance with the requirements of the Agreement.)

Approved: _____ Date: _____
Carol G. Brown, P.E., District Project Manager

Acknowledged: _____ Date: _____
Carol Miller, District Senior Procurement Specialist

c: Contract file
Financial Services

ATTACHMENT D
CONTRACT PAYMENT REQUIREMENTS FOR
STATE-FUNDED COST REIMBURSEMENT CONTRACTS

Invoices for state-funded cost reimbursement contracts must be supported by an itemized listing of expenditures by category (salary, travel, expenses, etc.). Supporting documentation must be provided for each amount for which reimbursement is being claimed, indicating that the item has been paid. Check numbers may be provided in lieu of copies of actual checks. Each piece of documentation shall clearly reflect the dates of service. Only expenditures for categories in the approved contract budget will be reimbursed.

Listed below are examples of the types of documentation representing the minimum requirements by cost category:

Salaries: Submit a payroll register or similar documentation showing gross salary charges, fringe benefits, other deductions, and net pay. If an individual is paid by the hour, a document reflecting the hours worked times the rate of pay is acceptable.

Fringe Benefits: Fringe benefits should be supported by invoices showing the amount paid on behalf of the employee (e.g., insurance premiums paid). If the contract specifically states that fringe benefits will be based on a specified percentage, rather than the actual cost of fringe benefits, then the calculation for the fringe benefits amount must be shown.

Exception: Governmental entities are not required to provide check numbers or copies of checks for fringe benefits.

Travel: Reimbursement for travel must be in accordance with section 112.061, Florida Statutes, which includes submission of the claim on the approved State of Florida (State) or District travel voucher.

Other direct costs: Reimbursement is based upon paid invoices/receipts. If nonexpendable property is purchased using State funds, the contract should include a provision for the transfer of the property to the State when services are terminated. Documentation must be provided to show compliance with Department of Management Services Rule 60A-1.017, Florida Administrative Code, regarding the requirements for contracts which include services and that provide for the contractor to purchase tangible personal property as defined in section 273.02, Florida Statutes, for subsequent transfer to the State.

In-house charges: Charges which may be of an internal nature (e.g., postage, copies, etc.) may be reimbursed on a usage log which shows the units times the rate being charged. The rates must be reasonable.

Indirect costs: If the contract specifies that indirect costs will be paid based on a specified rate, then the calculation should be shown.

The "Reference Guide for State Expenditures" prepared by the Florida Department of Financial Services can be found at this web address: http://www.fldfs.com/aadir/reference_guide.htm

ATTACHMENT E - INSURANCE REQUIREMENTS
Including Florida Department of Environmental Protection Insurance Requirements

Recipient shall acquire and maintain, and ensure that any sub-recipients, contractors, and subcontractors, similarly acquire and maintain, until completion of the Work the insurance coverage listed below, which constitutes primary coverage. Recipient shall not commence the Work until the District receives and approves Certificates of Insurance documenting Recipient's required coverage. Recipient's General Liability policy shall include Endorsement CG 20101185, or equivalent, naming the St. Johns River Water Management District ("District") as Additional Insured. All required policies shall include: (1) endorsement that waives any right of subrogation against the District for any policy of insurance provided under this requirement or under any state or federal worker's compensation or employer's liability act; (2) endorsement to give the District no less than thirty (30) days written notice (with the exception of non-payment of premium which requires a 10-calendar-day notice) in the event of cancellation or material change. Certificates of Insurance must be accompanied by copies of the requested endorsements. In addition, Recipient's General Liability insurance and Automobile Liability insurance shall include the State of Florida, the Florida Department of Environmental Protection, and the State of Florida Board of Trustees of the Internal Improvement Trust Fund, as Additional Insureds for the entire length of the Agreement. If the Recipient is self-funded for any category of insurance, then the Recipient shall provide documentation that warrants and represents that it is self-funded for said insurance, appropriate and allowable under Florida law, and that such self-insurance offers protection applicable to the Recipient's officers, employees, servants and agents while acting within the scope of their employment with the Recipient for the entire length of the Agreement.

Any deductibles or self-insured retentions above \$100,000 must be declared to and approved by the District. Approval will not be unreasonably withheld. Recipient is responsible for any deductible or self-insured retention. All insurance policies shall be with insurers licensed or eligible to do business in the State of Florida and having an A.M. Best rating of A-V or greater. If any work proceeds over or adjacent to water, the Recipient shall secure and maintain, as applicable, any other type of required insurance, including but not limited to, Jones Act, Longshoreman's and Harbormaster's, or the inclusion of any applicable rider to worker's compensation insurance, and any necessary watercraft insurance, with limits not less than \$300,000 each. District receipt of insurance certificates providing less than the required coverage does not waive these insurance requirements.

- (a) **Workers' Compensation Insurance.** Workers' compensation and employer's liability coverage, including maritime workers compensation, if applicable, in not less than the minimum limits required by Florida law. Such policies shall cover all employees engaged in any contract Work. If Recipient claims an exemption from workers' compensation coverage, Recipient must provide a copy of the Certificate of Exemption from the Florida Division of Workers' Compensation for all officers or members of an LLC claiming exemption who will be participating in the Work. In addition, Recipient must provide a completed District "Affidavit (Non-Construction)" for non-construction contracts. Recipient is solely responsible for compliance with any Federal workers' compensation laws such as Jones Act and USL&H Act, including any benefits available to any workers performing work on this project. In case any class of employees engaged in hazardous work under this Agreement is not protected under Worker's Compensation statutes, the Recipient shall provide, and cause each sub-recipient, contractor, or subcontractor, to provide, adequate insurance satisfactory to the District and the Florida Department of Environmental Protection, for the protection of its employees not otherwise protected.
- (c) **General Liability.** Commercial General Liability Insurance on an "Occurrence Basis," with limits of liability not less than \$1,000,000/\$2,000,000, for personal injury, bodily injury, and property damage. Coverage shall include: (1) contractual liability, (2) products and completed operations, (3) independent contractors, and (4) property in the care, control, or custody of the Contractor. Extensions shall be added or exclusions deleted to provide the necessary coverage.

(d) **Automobile Liability.** Minimum limits of liability shall be as follows:

\$300,000 Automobile Liability Combined Single Limit for Company-Owned Vehicles, if applicable

\$300,000 Hired and Non-owned Automobile Liability Coverage



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: Preliminary Development Plan

MEETING OF: September 5, 2018
 FROM: Community Development
 EXHIBITS: Vicinity Map
 Aerial Map
 Preliminary Development Plan

SUBJECT: CARRIAGE HILL PHASE II SUBDIVISION – PRELIMINARY DEVELOPMENT PLAN

REQUEST: APPROVE THE PRELIMINARY DEVELOPMENT PLAN FOR CARRIAGE HILL PHASE II SUBDIVISION

SUMMARY:

OWNER/APPLICANT: JTD Land at Rogers Rd, LLC
 PROJECT ENGINEER: Dewberry Engineers, Inc. c/o Christopher Allen, P.E.
 LOCATION: 1455 West Lester Road; West Lester Road
 EXISTING USE: Vacant land
 FUTURE LAND USE: Residential Low Suburban (Max 3.5 du/ac)
 ZONING: R-1 (Single Family Residential) District
 PROPOSED DEVELOPMENT: Single-Family Residential Subdivision (15 Lots; min. 9,000 sq. ft. lot area, 75 ft. min. lot width)
 PROPOSED DENSITY: 1.69 du/ac
 TRACT SIZE: 10.31 +/- acres
 DEVELOPABLE AREA: 8.89 +/- acres

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Residential Low Suburban	R-1AA	Vacant Land
East (City)	Residential Low Suburban	R-1AA	Oak Hill Reserve Subdivision
South (City)	Residential Low Suburban	R-1	Oak Hill Reserve Park and Open Space Tract
West (City)	Residential Low Suburban	R-1AA	Carriage Hill Phase I Subdivision

PROJECT SUMMARY: The Carriage Hill Phase II Subdivision – Preliminary Development Plan proposes the development of 15 single family residential lots. The minimum typical lot width is 75 feet with a minimum lot size of 9,000 square feet. Lots abutting the Oak Hill Reserve neighborhood are 11,996 sq. ft. to 21,046 sq. ft. The required minimum living area for a house in this subdivision is 1,500 square feet as set forth in Chapter 2 of the Land Development Code for single-family lots located within the R-1 zoning. Phase 1 and II of Carriage Hills will share the same recreation amenities. The minimum setbacks applicable to this project are:

Setback	Min. Standard
Front*	25'
Side	10'
Rear	20'
Corner	25'

*Front-entry garage must be setback 30 feet.

ACCESS: Ingress/egress access points for the development will be through Carriage Hill Phase I, which has full access onto Rogers Road to the west as well as a future northern connection to the Vista Reserve residential subdivision.

TRANSPORTATION: Per Code, a transportation impact analysis (TIA) was not required for this development as it generates under 400 daily trips.

STORMWATER: The stormwater management system includes an on-site retention area and located on the southern portion of the project site. The stormwater pond design meets the City’s Land Development Code requirements.

RECREATION: For the entire Carriage Hill Subdivision (Phase I), the applicant provided 0.46 acre/approximately 20,038 square feet of recreation space that includes a playground with the Phase I Final Development Plan. Phase II contains a total of 5.58 acres of open space including drainage, existing wetland, buffer and pond.

BUFFER(S)/LANDSCAPING: Trumpet trees and live oaks line the single family lots. The landscape plan meets the requirements of the Land Development Code.

SCHOOL CAPACITY REPORT: A school concurrency mitigation agreement has been executed and a copy of the letter from Orange County Public Schools (OCPS) has been supplied to Staff.

ORANGE COUNTY NOTIFICATION: The County was notified at the time of the plat for this property through the DRC agenda distribution.

PUBLIC HEARING SCHEDULE:

August 14, 2018 – Planning Commission, 5:30 p.m.

September 5, 2018 – City Council, 1:30 p.m.

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of Carriage Hill Phase II Subdivision Preliminary Development Plan, subject to the findings of this staff report.

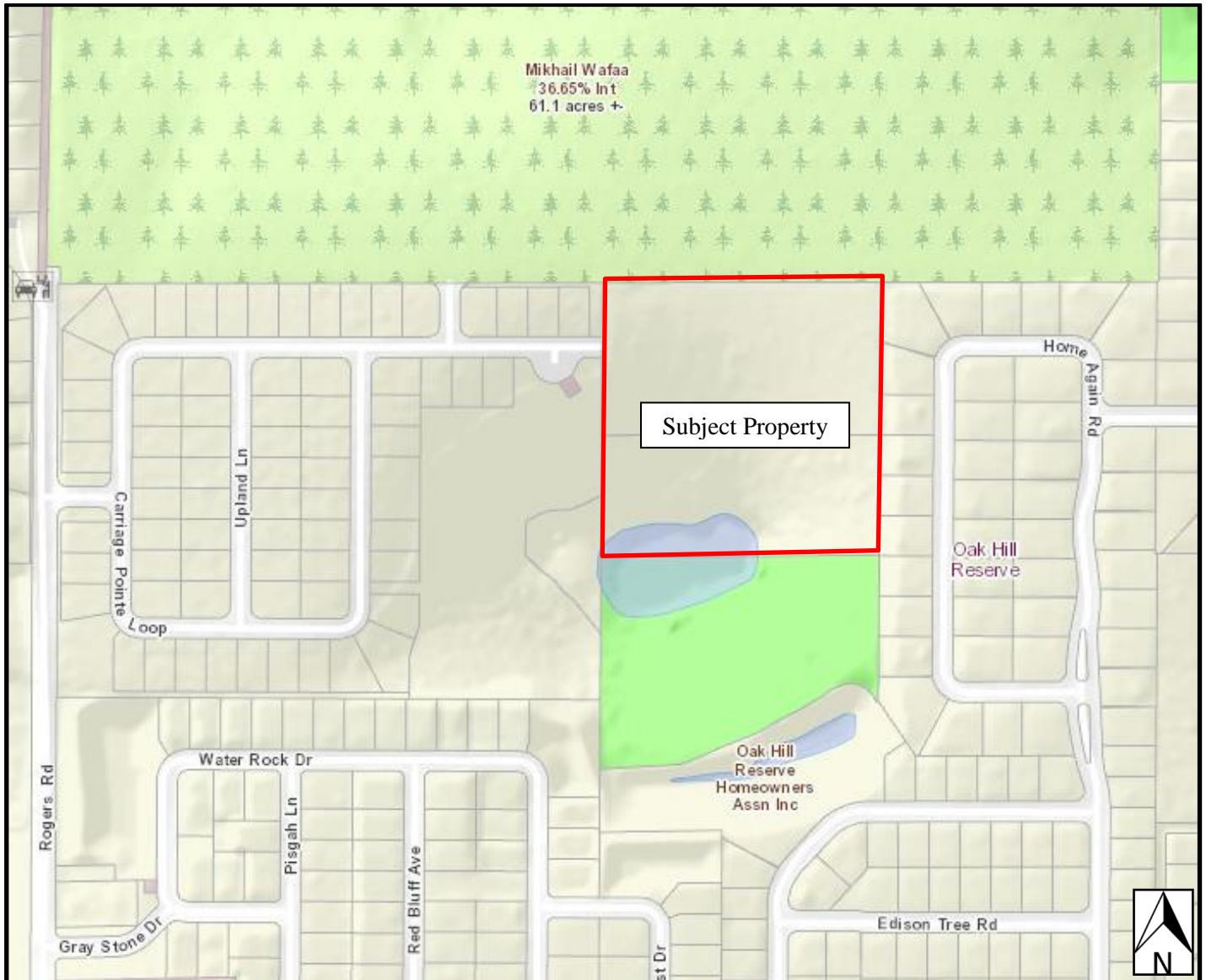
The **Planning Commission**, at its meeting on August 14, 2018, found the Carriage Hill Phase II Subdivision Preliminary Development Plan consistent with the Land Development Code and Comprehensive Plan; and unanimously recommended approval of Preliminary Development Plan, subject to the findings of this staff report.

City Council: Approve the Carriage Hill Phase II Subdivision – Preliminary Development Plan.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Project Name: Carriage Hill Phase II Subdivision – Preliminary Development Plan
Property Owner: JTD Land at Rogers Rd. LLC
Applicant: Dewberry Engineers, Inc. c/o Christopher Allen, P.E.
Total Site Area: +/- 10.31 +/- acres
Parcel ID #s: 29-20-28-0000-00-005 and 29-20-28-0000-00-049

VICINITY MAP



AERIAL MAP



Drawing Index

Civil

- C01 COVER SHEET
- C02 EXISTING CONDITIONS
- C03 SOILS MAP
- C04 OVERALL SITE PLAN
- C05 PRELIMINARY SITE PLAN
- C06 PRELIMINARY GEOMETRY PLAN
- C07 PRELIMINARY UTILITY PLAN
- C08 PRELIMINARY SECTIONS

Landscape

- L2.01 TREE REMOVAL PLAN
- L2.10 LANDSCAPE PLAN
- L3.00 NOTES, LEGEND AND DETAILS

LEGAL DESCRIPTION:

(PER SCHEDULE A OF THE TITLE COMMITMENT)
 THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 20 SOUTH, RANGE 28 EAST, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

TOGETHER WITH AN EXCLUSIVE PERPETUAL EASEMENT AND RIGHT-OF-WAY FOR INGRESS, EGRESS AND UTILITIES, AS CREATED BY AND SET FORTH IN THAT CERTAIN EASEMENT AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 8391, PAGE 3713, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

APPLICANT / OWNER

JTD LAND AT ROGERS RD., LLC
 A FLORIDA LIMITED LIABILITY CORPORATION
 210 SOUTH HOAGLAND BOULEVARD
 KISSIMMEE, FLORIDA 34741
 CONTACT: CRAIG HARRIS
 PHONE: 407-870-0066

Civil Engineer / Planner

DEWBERRY
 800 NORTH MAGNOLIA AVENUE, SUITE 1000
 ORLANDO, FLORIDA 32803
 CONTACT: CHRISTOPHER J. ALLEN, P.E.
 PHONE: 407-843-5120

Surveyor

DEWBERRY
 131 WEST KALEY STREET
 ORLANDO, FLORIDA 32806
 CONTACT: BILL DONLEY
 PHONE: 321-354-9834

Geotechnical

UNIVERSAL ENGINEERING SERVICES, INC.
 3532 MAGGIE BOULEVARD
 ORLANDO, FLORIDA 32811
 PHONE: 407-423-0504
 CONTACT: TIMOTHY D. TRIPLETT

Environmental

DEWBERRY
 800 NORTH MAGNOLIA AVENUE, SUITE 1000
 ORLANDO, FLORIDA 32803
 CONTACT: NICOLE GOUGH
 PHONE: 407-843-5120



CARRIAGE HILL (PHASE 2)

Apopka, Florida Preliminary Development Plan

JUNE 2018
 Parcel ID. Number
 29-20-28-0000-00-005
 29-20-28-0000-00-049



SITE LOCATION

THIS IS TO CERTIFY THAT THE ROADWAY CONSTRUCTION PLANS AND SPECIFICATIONS AS CONTAINED HEREIN WERE DESIGNED TO APPLICABLE STANDARDS AS SET FORTH IN THE "MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS" AS PREPARED BY FLORIDA DEPARTMENT OF TRANSPORTATION.

Prepared for:
JTD LAND AT ROGERS RD., LLC
 210 South Hoagland Boulevard
 Kissimmee, Florida 34741
 Contact: Craig Harris

Dewberry
 Dewberry Engineers Inc.
 800 NORTH MAGNOLIA AVE
 SUITE 1000
 ORLANDO, FL 32803
 PHONE: 407.843.5120
 ENGINEERING BUSINESS -8794

CARRIAGE HILL
 (PHASE 2)
 PRELIMINARY
 DEVELOPMENT PLAN
 NOT FOR CONSTRUCTION
 APOPKA, FLORIDA

SEAL
 Christopher J. Allen
 FL PE # 77719
 6/3/2018

KEY PLAN

REVISIONS

No.	DATE	BY	DESCRIPTION
1	7-20-18	KJK	REV PER CITY

PROJECT # 50101346
 DRAWN BY ER
 APPROVED BY CJA
 CHECKED BY CJA
 DATE JUNE 2018
 DATUM NAVD 88

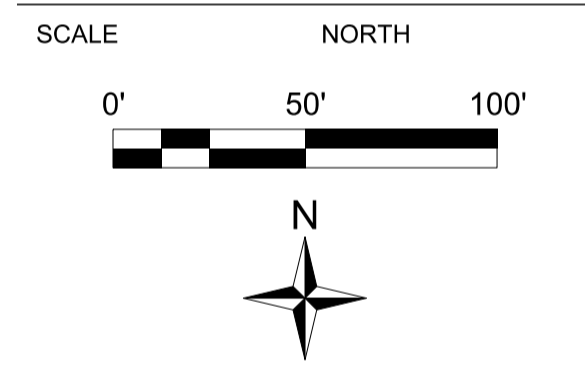
COVER SHEET

PROJECT: CARR_50101346\CAD\Civil\PSP
 SHEET NO.

C01

SEAL

KEY PLAN



REVISIONS

No.	DATE	BY	Description

PROJECT #	50101346
DRAWN BY	ER
APPROVED BY	CJA
CHECKED BY	CJA
DATE	JUNE 2018
DATUM	NAVD 88

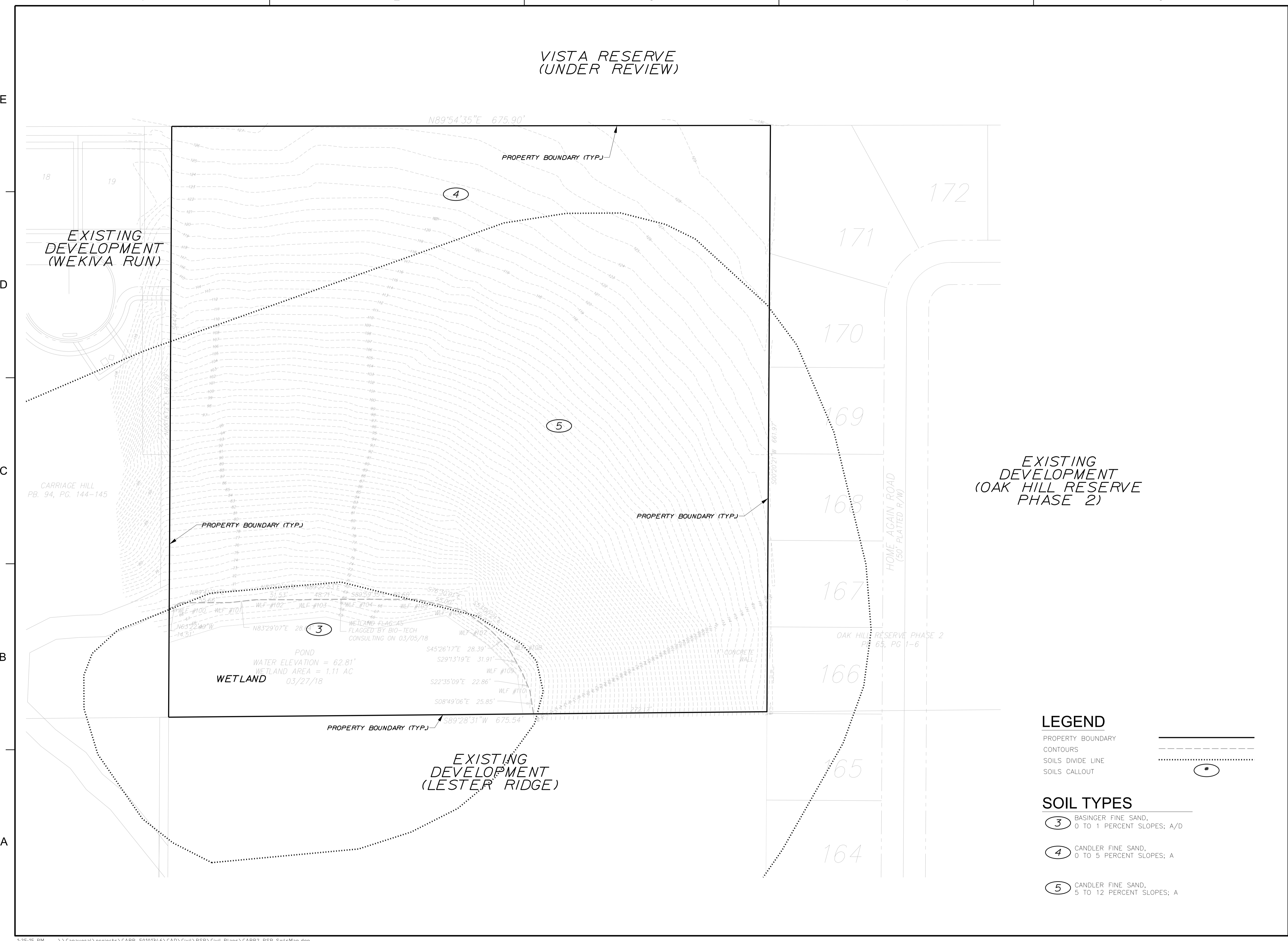
TITLE

**SOILS
 MAP**

PROJECT: CARR_50101346\CAD\Civil\PSP\Civil Plans\CARR2-PSP SoilsMap.dgn
 SHEET NO.

C03

VISTA RESERVE
 (UNDER REVIEW)



LEGEND

- PROPERTY BOUNDARY
- CONTOURS
- SOILS DIVIDE LINE
- SOILS CALLOUT

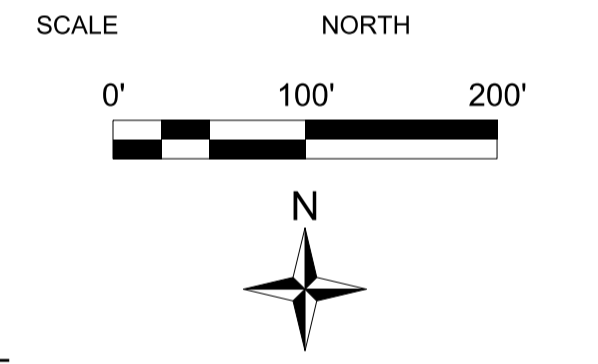
SOIL TYPES

- 3** BASINGER FINE SAND,
0 TO 1 PERCENT SLOPES; A/D
- 4** CANDLER FINE SAND,
0 TO 5 PERCENT SLOPES; A
- 5** CANDLER FINE SAND,
5 TO 12 PERCENT SLOPES; A

SEAL

Christopher J. Allen
 FL PE # 77719
 9/3/2018

KEY PLAN



REVISIONS

No.	DATE	BY	DESCRIPTION
1	7-20-18	KJK	REV PER CITY

PROJECT # 50101346
 DRAWN BY ER
 APPROVED BY CJA
 CHECKED BY CJA
 DATE JUNE 2018
 DATUM NAVD 88

TITLE

**OVERALL
 SITE
 PLAN**

PROJECT: CARR_50101346\CAD\Civil\PSP
 SHEET NO.

C04

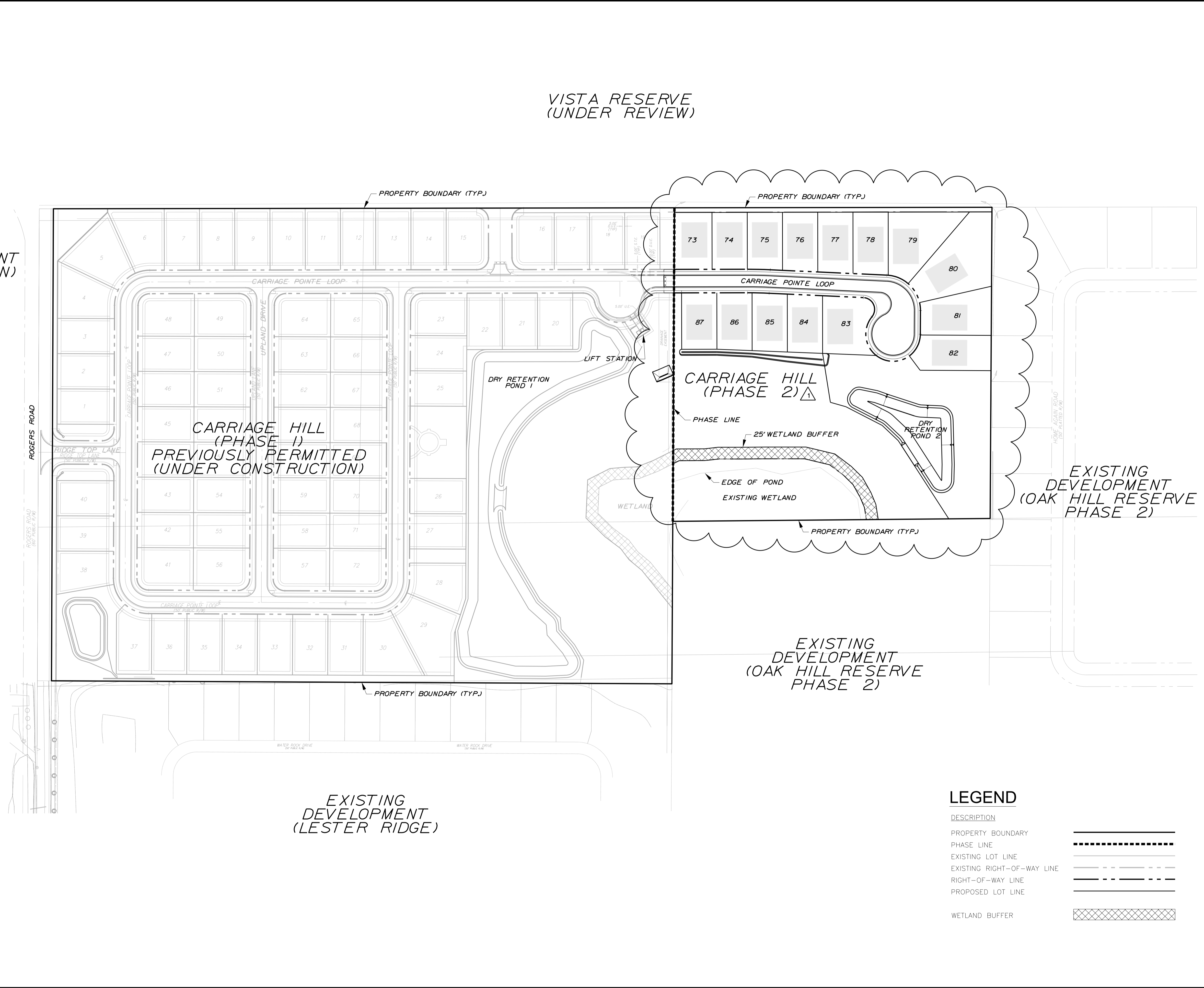
VISTA RESERVE
 (UNDER REVIEW)

EXISTING DEVELOPMENT
 (WEKIVA RUN)

EXISTING DEVELOPMENT
 (OAK HILL RESERVE
 PHASE 2)

EXISTING DEVELOPMENT
 (OAK HILL RESERVE
 PHASE 2)

EXISTING DEVELOPMENT
 (LESTER RIDGE)



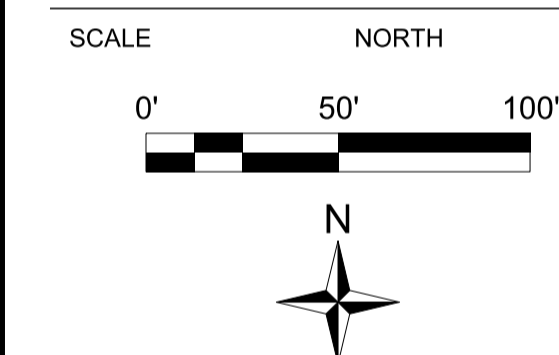
LEGEND

DESCRIPTION	
PROPERTY BOUNDARY	—————
PHASE LINE	-----
EXISTING LOT LINE	-----
EXISTING RIGHT-OF-WAY LINE	-----
RIGHT-OF-WAY LINE	-----
PROPOSED LOT LINE	-----
WETLAND BUFFER	XXXXXX

SEAL

Christopher J. Allen
FL BE # 77719
9/3/2018

KEY PLAN



REVISIONS

No.	DATE	BY	DESCRIPTION
1	7-20-18	KJK	REV PER CITY

PROJECT # 50101346
DRAWN BY ER
APPROVED BY CJA
CHECKED BY CJA
DATE JUNE 2018
DATUM NAVD 88

TITLE

PRELIMINARY SITE PLAN

PROJECT: CARR_50101346\CAD\Civil\PSP
SHEET NO.

C05

SITE DATA

TOTAL PDP AREA: 10.31 AC
TOTAL DEVELOPABLE AREA: 8.89 AC
NUMBER OF LOTS: 15
DENSITY: 1.69 DU/AC
EXISTING ZONING: R1AA (4.56 AC)
R-1(5.75 AC)
EXISTING LAND USE: VACANT
FUTURE LAND USE: RESIDENTIAL LOW SUBURBAN
LAND USE AREAS:
RESIDENTIAL (LOTS) 3.85 AC
PUBLIC RIGHT-OF-WAY 0.88 AC
STORMWATER POND (TRACT K) 1.69 AC
BUFFER/OPEN SPACE (TRACT I/H) 2.47 AC
WETLAND/WETLAND BUFFER 1.42 AC
TOTAL: 10.31 AC

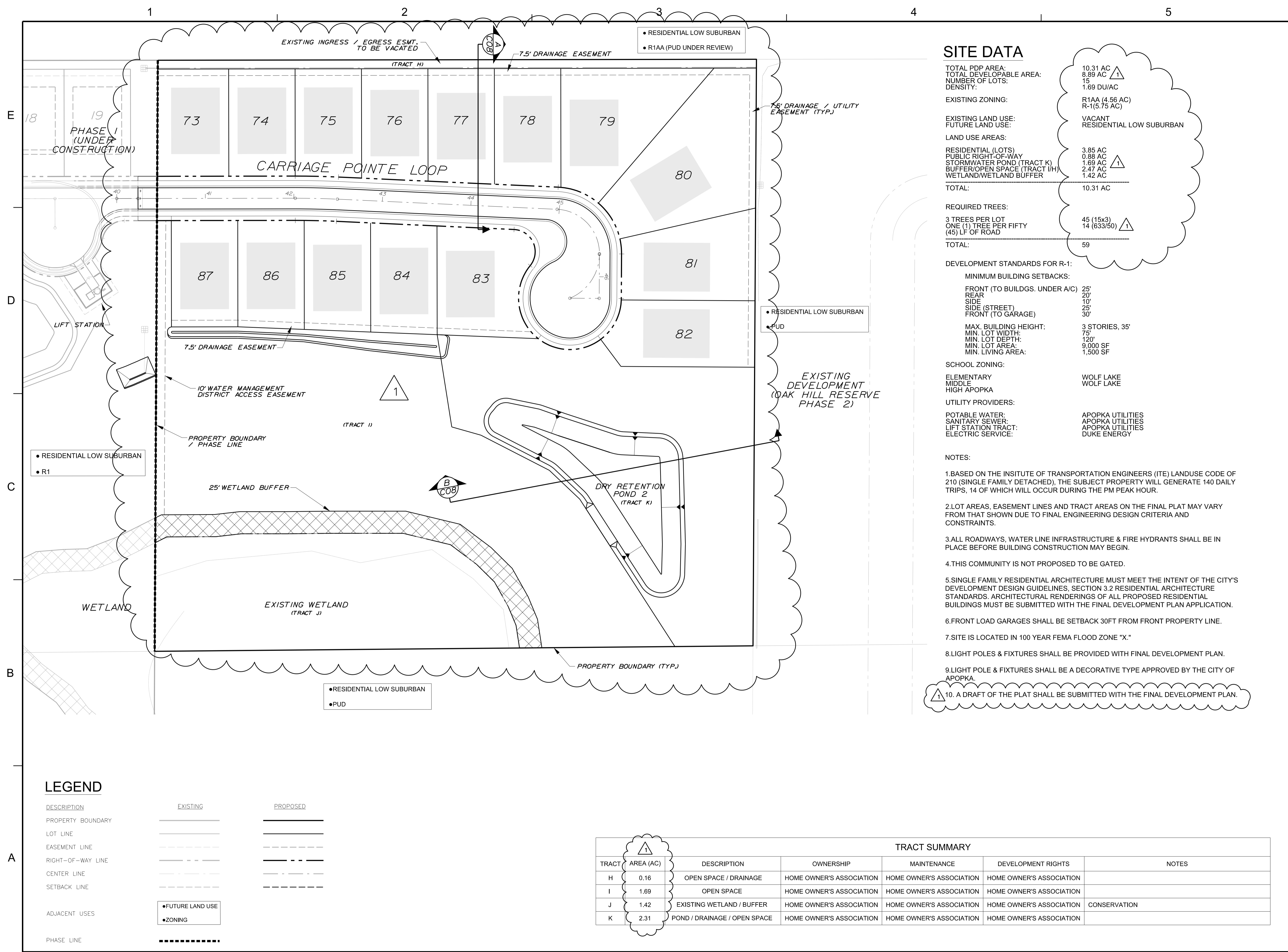
REQUIRED TREES:
3 TREES PER LOT
ONE (1) TREE PER FIFTY (45) LF OF ROAD
TOTAL: 59
45 (15x3)
14 (633/50)

DEVELOPMENT STANDARDS FOR R-1:

MINIMUM BUILDING SETBACKS:
FRONT (TO BUILDG. UNDER A/C) 25'
REAR 20'
SIDE 10'
SIDE (STREET) 25'
FRONT (TO GARAGE) 30'
MAX. BUILDING HEIGHT: 3 STORIES, 35'
MIN. LOT WIDTH: 75'
MIN. LOT DEPTH: 120'
MIN. LOT AREA: 9,000 SF
MIN. LIVING AREA: 1,500 SF
SCHOOL ZONING: WOLF LAKE
ELEMENTARY WOLF LAKE
MIDDLE WOLF LAKE
HIGH APOPKA
UTILITY PROVIDERS:
POTABLE WATER: APOPKA UTILITIES
SANITARY SEWER: APOPKA UTILITIES
LIFT STATION TRACT: APOPKA UTILITIES
ELECTRIC SERVICE: DUKE ENERGY

NOTES:

- BASED ON THE INSITUTE OF TRANSPORTATION ENGINEERS (ITE) LANDUSE CODE OF 210 (SINGLE FAMILY DETACHED), THE SUBJECT PROPERTY WILL GENERATE 140 DAILY TRIPS, 14 OF WHICH WILL OCCUR DURING THE PM PEAK HOUR.
- LOT AREAS, EASEMENT LINES AND TRACT AREAS ON THE FINAL PLAT MAY VARY FROM THAT SHOWN DUE TO FINAL ENGINEERING DESIGN CRITERIA AND CONSTRAINTS.
- ALL ROADWAYS, WATER LINE INFRASTRUCTURE & FIRE HYDRANTS SHALL BE IN PLACE BEFORE BUILDING CONSTRUCTION MAY BEGIN.
- THIS COMMUNITY IS NOT PROPOSED TO BE GATED.
- SINGLE FAMILY RESIDENTIAL ARCHITECTURE MUST MEET THE INTENT OF THE CITY'S DEVELOPMENT DESIGN GUIDELINES, SECTION 3.2 RESIDENTIAL ARCHITECTURE STANDARDS. ARCHITECTURAL RENDERINGS OF ALL PROPOSED RESIDENTIAL BUILDINGS MUST BE SUBMITTED WITH THE FINAL DEVELOPMENT PLAN APPLICATION.
- FRONT LOAD GARAGES SHALL BE SETBACK 30FT FROM FRONT PROPERTY LINE.
- SITE IS LOCATED IN 100 YEAR FEMA FLOOD ZONE "X."
- LIGHT POLES & FIXTURES SHALL BE PROVIDED WITH FINAL DEVELOPMENT PLAN.
- LIGHT POLE & FIXTURES SHALL BE A DECORATIVE TYPE APPROVED BY THE CITY OF APOPKA.
- A DRAFT OF THE PLAT SHALL BE SUBMITTED WITH THE FINAL DEVELOPMENT PLAN.



LEGEND

DESCRIPTION	EXISTING	PROPOSED
PROPERTY BOUNDARY	—	—
LOT LINE	—	—
EASEMENT LINE	- - -	- - -
RIGHT-OF-WAY LINE	—	- - -
CENTER LINE	- - -	- - -
SETBACK LINE	- - -	- - -
ADJACENT USES	● FUTURE LAND USE	● ZONING
PHASE LINE	—	—

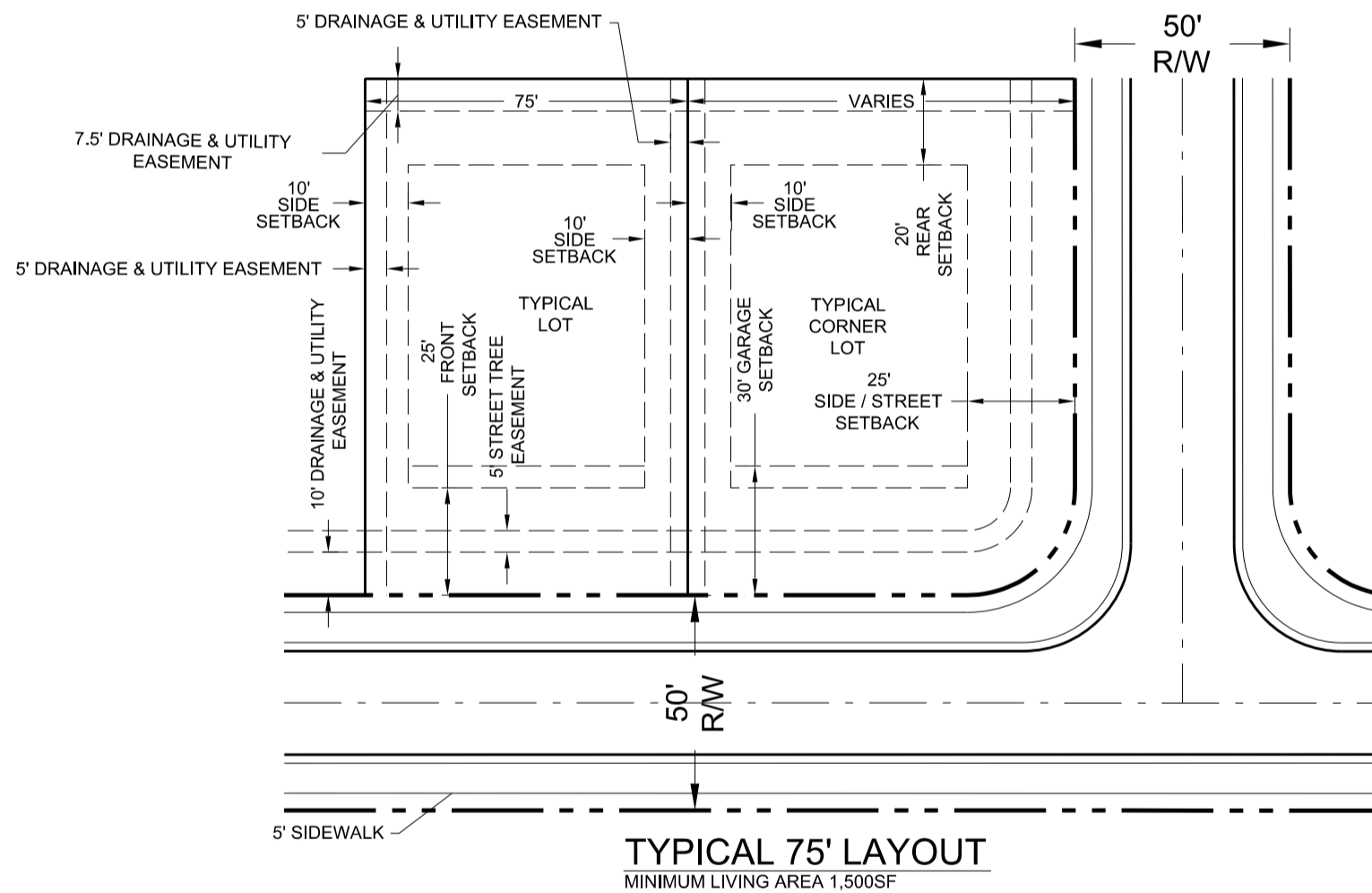
TRACT	AREA (AC)	DESCRIPTION	OWNERSHIP	MAINTENANCE	DEVELOPMENT RIGHTS	NOTES
H	0.16	OPEN SPACE / DRAINAGE	HOME OWNER'S ASSOCIATION	HOME OWNER'S ASSOCIATION	HOME OWNER'S ASSOCIATION	
I	1.69	OPEN SPACE	HOME OWNER'S ASSOCIATION	HOME OWNER'S ASSOCIATION	HOME OWNER'S ASSOCIATION	
J	1.42	EXISTING WETLAND / BUFFER	HOME OWNER'S ASSOCIATION	HOME OWNER'S ASSOCIATION	HOME OWNER'S ASSOCIATION	CONSERVATION
K	2.31	POND / DRAINAGE / OPEN SPACE	HOME OWNER'S ASSOCIATION	HOME OWNER'S ASSOCIATION	HOME OWNER'S ASSOCIATION	

LEGEND

DESCRIPTION	
PROPERTY BOUNDARY	—————
LOT LINE	—————
EASEMENT LINE	- - - - -
RIGHT-OF-WAY LINE	—————
CENTER LINE	—————
PHASE LINE	—————

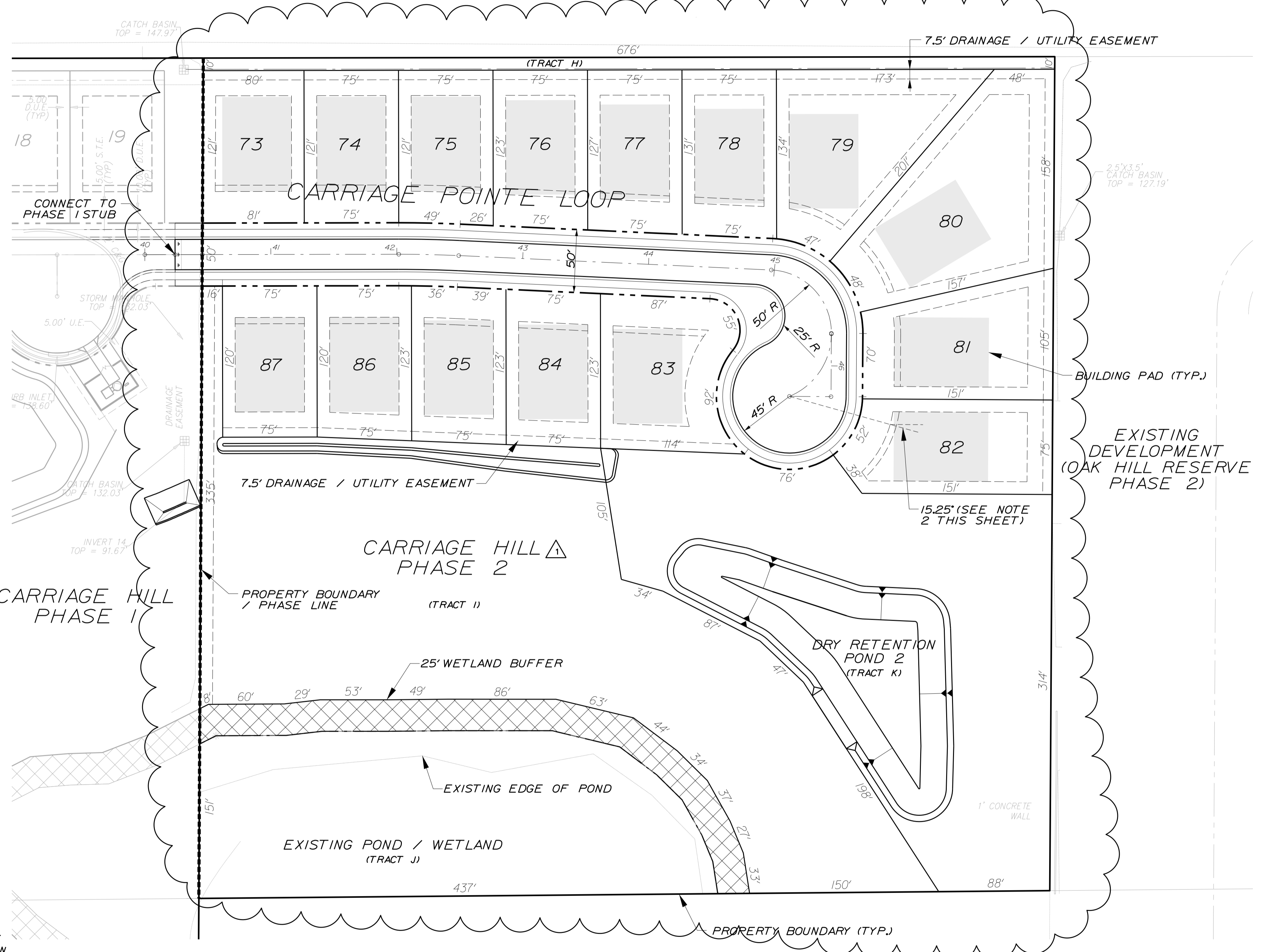
LOT AREAS		
LOT NUMBER	LOT FRONTAGE (FT)	AREA (SF)
73	81	9730
74	75	9075
75	75	9141
76	75	9390
77	75	9658
78	75	9926
79	*47	15876
80	*48	21046
81	*70	13155
82	*52	11996
83	87	12315
84	75	9224
85	75	9252
86	75	9116
87	75	9000

*SEE NOTE 1 THIS SHEET



TYPICAL 75' LAYOUT
MINIMUM LIVING AREA 1,500SF

- NOTES:
1. LOTS LOCATED ON CUL-DE-SACS AND CURVES SHALL BE PERMITTED UP TO A 40 PERCENT REDUCTION OF THE MINIMUM WIDTH AT THE PROPERTY LINE, BUT SHALL BE REQUIRED TO MAINTAIN THE MINIMUM LOT WIDTH AT THE BUILDING LINE.
 2. THE FRONT ELEVATION OF ANY HOME CONSTRUCTED ON A CUL-DE-SAC OR A CURVE SHALL BE NO MORE THAN A 30 DEGREE DEFLECTION FROM A LINE PERPENDICULAR TO A RADIAL LINE FROM THE CENTER OF THE CUL-DE-SAC OR THE RADIUS POINT OF THE CURVE THROUGH A MID-POINT OF THE LOT FRONTAGE. THIS PERPENDICULAR LINE SHALL BE DRAWN FROM THE INTERSECTION OF THE RADIAL LINE AND THE CORNER OF THE PROPOSED STRUCTURE. ALL MINIMUM LOT WIDTH AND STRUCTURE SETBACKS MUST BE ACCOMPLISHED. EVIDENCE OF COMPLIANCE WITH THESE STANDARDS SHALL BE EVIDENCED ON THE DEVELOPMENT PLANS, PLOT PLANS, FOUNDATION SURVEYS AND FINAL SURVEYS ASSOCIATED WITH THE BUILDING PERMIT AND INSPECTION.
 3. RIGHTS OF WAY TO BE PUBLIC.
 4. EASEMENT ON PRIVATE LOTS TO BE MAINTAINED BY THE HOMEOWNER.
 5. LOT AREAS, EASEMENT LINES AND TRACT AREAS ON THE FINAL PLAT MAY VARY FROM THAT SHOWN DUE TO FINAL ENGINEERING DESIGN CRITERIA AND CONSTRAINTS.
 6. A 10' DRAINAGE & UTILITY EASEMENT SHALL BE DEDICATED ACROSS THE FRONT OF ALL LOTS (SEE TYPICAL 75' LOT LAYOUT FOR EASEMENT DEPICTION).
 7. A 7.5' DRAINAGE & UTILITY EASEMENT SHALL BE DEDICATED ACROSS THE REAR OF ALL LOTS (SEE TYPICAL 75' LOT LAYOUT FOR EASEMENT DEPICTION).
 8. A 5' DRAINAGE & UTILITY EASEMENT SHALL BE DEDICATED ALONG THE SIDES OF ALL LOTS (SEE TYPICAL 75' LOT LAYOUT FOR EASEMENT DEPICTION).



Dewberry
 Dewberry Engineers Inc.
 800 NORTH MAGNOLIA AVE
 SUITE 1000
 ORLANDO, FL 32803
 PHONE: 407.843.5120
 ENGINEERING BUSINESS -8794

CARRIAGE HILL
 (PHASE 2)
 PRELIMINARY
 DEVELOPMENT PLAN
 NOT FOR CONSTRUCTION

SEAL
 Christopher J. Allen
 FL PE # 77719
 9/3/2016

KEY PLAN
 SCALE NORTH
 0' 50' 100'
 N

REVISIONS

No.	DATE	BY	DESCRIPTION
1	7-20-18	KJK	REV PER CITY

PROJECT # 50101346
 DRAWN BY ER
 APPROVED BY CJA
 CHECKED BY CJA
 DATE JUNE 2018
 DATUM NAVD 88

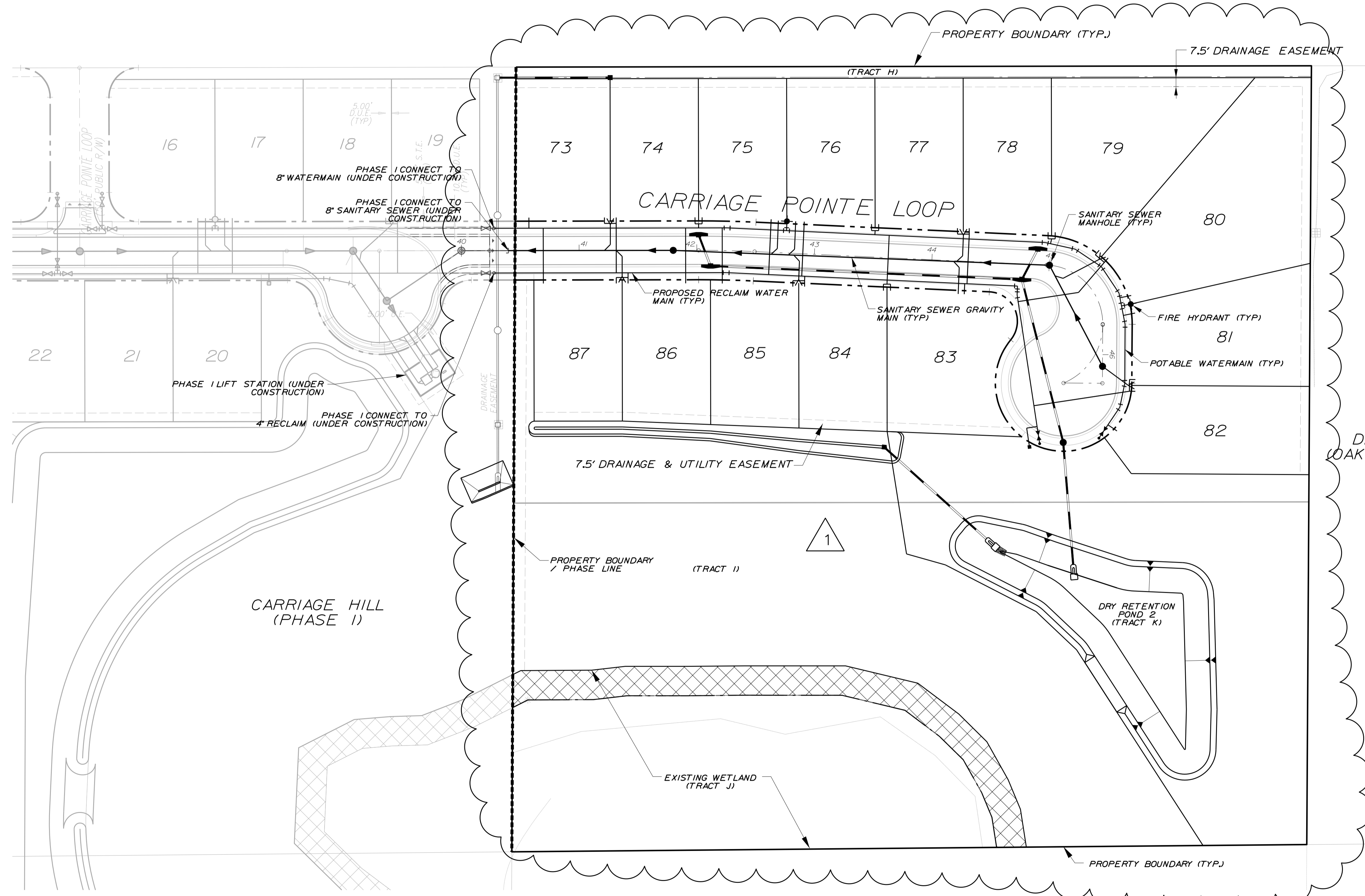
PRELIMINARY
 GEOMETRY
 PLAN

PROJECT: CARR_50101346\CAD\Civil\PSP\Civil Plans\CARR2-PSP_Geometry.dgn
 SHEET NO.

C06

LEGEND

	UNDER CONSTRUCTION	PROPOSED
PROPERTY BOUNDARY	—	—
LOT LINE	—	—
EASEMENT LINE	- - -	- - -
RIGHT-OF-WAY LINE	- - -	- - -
CENTER LINE	—	—
POTABLE WATER	—	—
RECLAIM WATER	—	—
SANITARY GRAVITY SEWER	—	—
PHASE LINE	—	—



- NOTES:**
1. FIRE HYDRANTS SHALL BE LOCATED WITHIN 500' OF ALL HOMES.
 2. FIRE HYDRANTS SHALL BE MARKED WITH A BLUE ROAD REFLECTOR.
 3. ALL LIGHT FRAME CONSTRUCTION SHALL BE LABELED IN ACCORDANCE WITH FLORIDA STATUE 633.027.
 4. ALL CONSTRUCTION SHALL FOLLOW CURRENT NFPA AND FLORIDA FIRE PREVENTION CODE CONCERNING FIRE AND LIFE SAFETY.

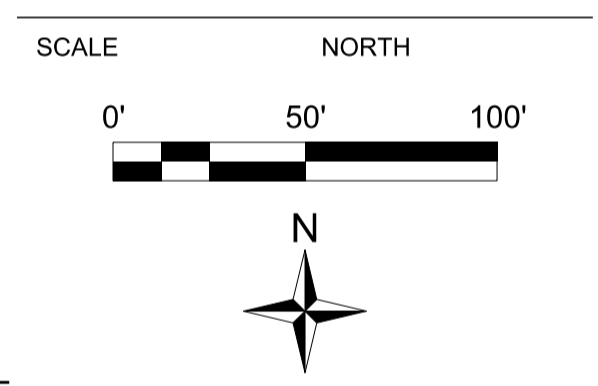
Dewberry
 Dewberry Engineers Inc.
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 SUITE 1000
 ORLANDO, FL 32803
 PHONE: 407.843.5120
 ENGINEERING BUSINESS -8794

**CARRIAGE HILL (PHASE 2)
 PRELIMINARY DEVELOPMENT PLAN
 *NOT FOR CONSTRUCTION***

APOPKA, FLORIDA

SEAL
 Christopher J. Allen
 FL PE # 77719
 8/3/2018

KEY PLAN



REVISIONS

No.	DATE	BY	DESCRIPTION
1	7-20-18	KJK	REV PER CITY

PROJECT # 50101346
 DRAWN BY ER
 APPROVED BY CJA
 CHECKED BY CJA
 DATE JUNE 2018
 DATUM NAVD 88

PRELIMINARY UTILITY PLAN

PROJECT: CARR_50101346\CAD\Civil\PSP
 SHEET NO.

C07

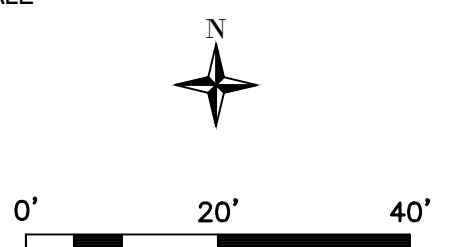
**CARRIAGE HILL
PHASE 2
PRELIMINARY
DEVELOPMENT PLAN**
APOPKA, FLORIDA

SEAL

Michael J. Urchuk
FL RLA # 6666675
Aug 03, 2018

KEY PLAN

SCALE



No.	DATE	BY	Description

REVISIONS

DRAWN BY _____
APPROVED BY _____
CHECKED BY _____
DATE February 15, 2018

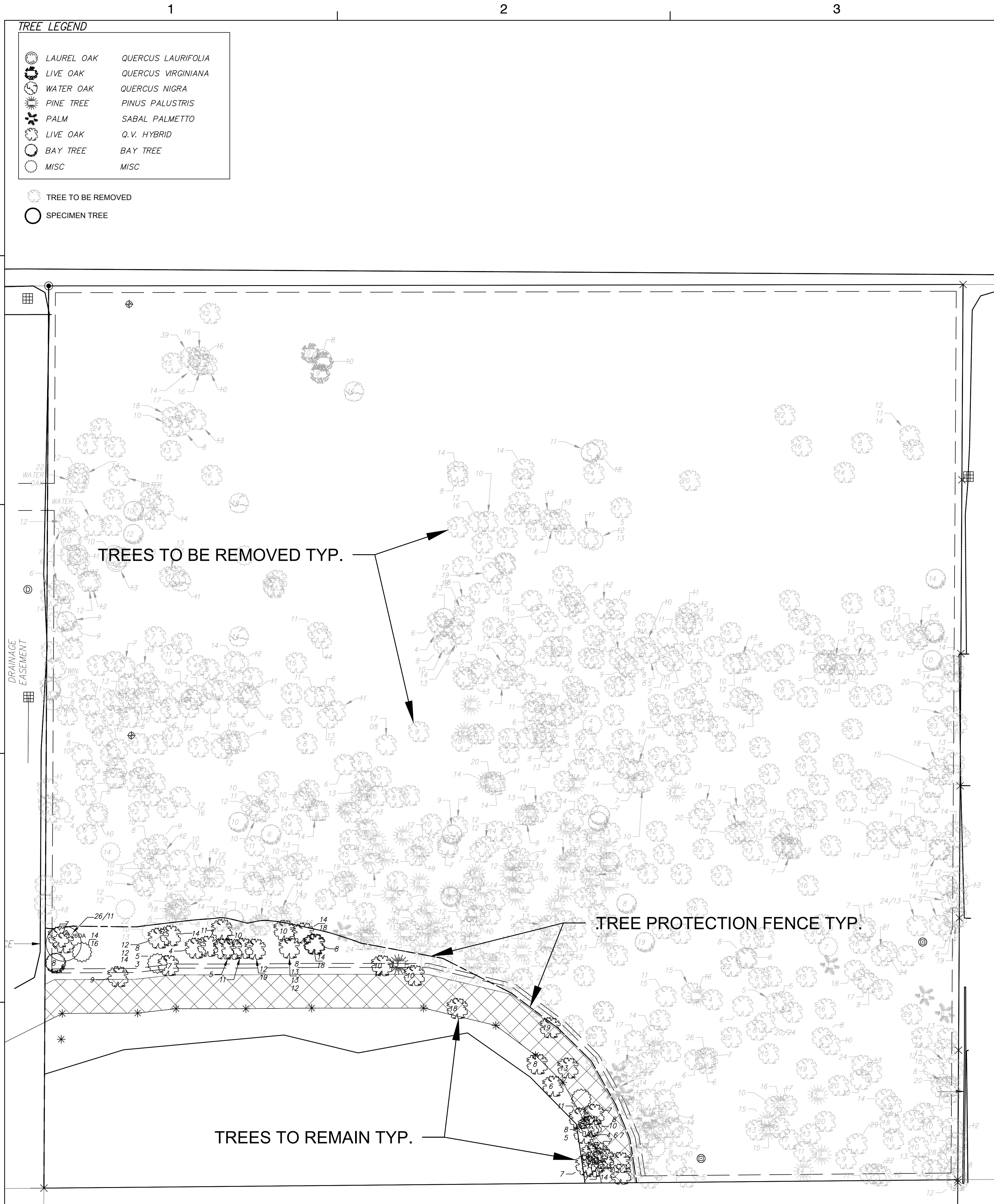
TITLE

**TREE REMOVAL
PLAN**

PROJECT NO. 50101346

L2.01

SHEET NO. OF

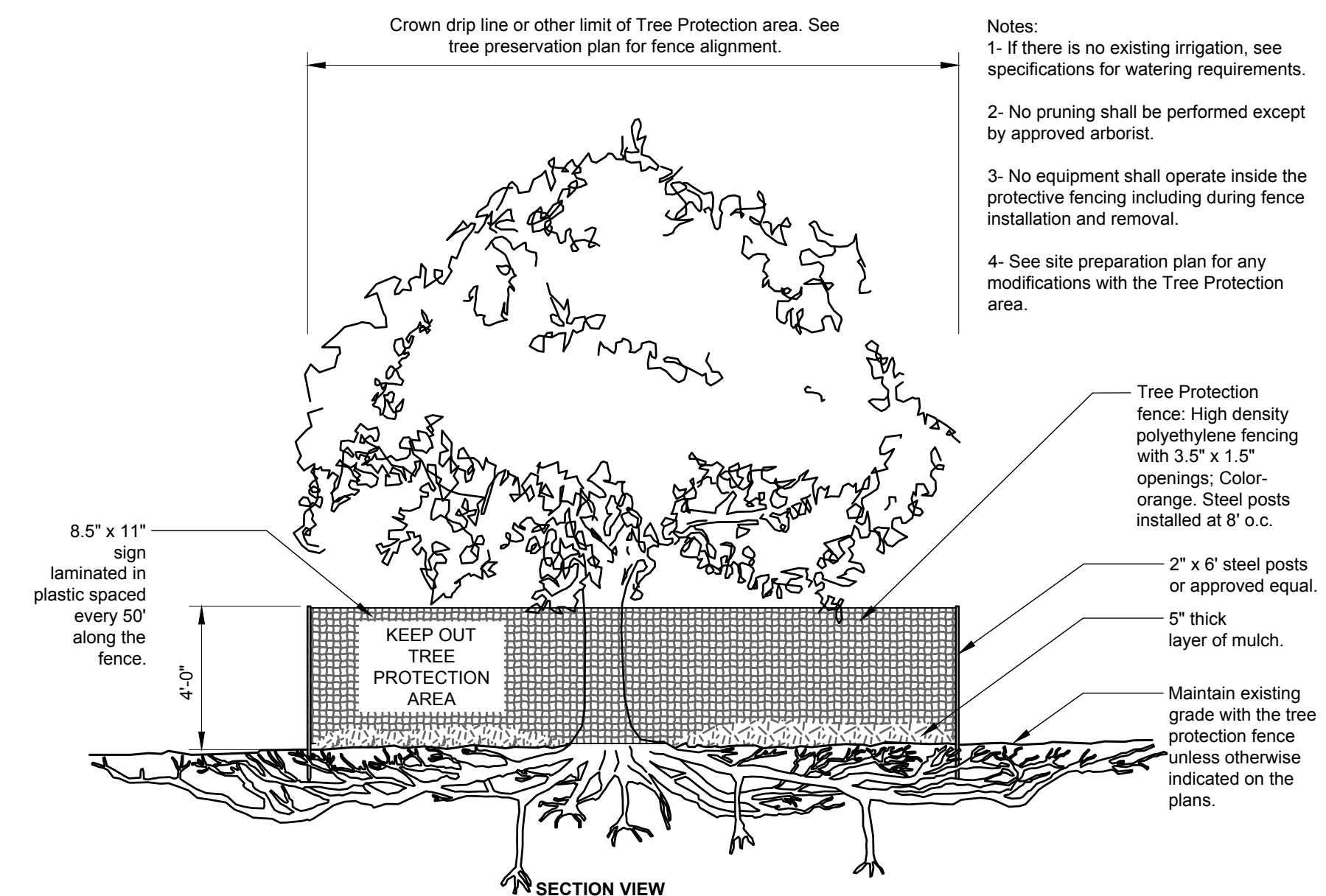


TREE DATA:

- TREE INCHES ON-SITE: 10447.5 INCHES
 - SITE CLEARING AREA: 8.65 ± ACRES (376,729 SF)
 - TOTAL TREE INCHES REMOVED: 9,908.5 INCHES
 - TOTAL INCHES RETAINED: 576 INCHES
 - TOTAL TREE INCHES TO BE REPLACED: 222.5 INCHES
 - 2.5" DBH TREES (42): 105 INCHES
 - 2.5" DBH LOT TREES: 3 PER LOT, 15 LOTS: 112.5 INCHES
 - TOTAL INCHES POST DEVELOPMENT: 793.5 INCHES
 - QUANTITY OF SPECIMEN TREES REMOVED: 664 INCHES (25 TREES)
 - MAXIMUM TREE STOCK: (DEVELOPABLE AREA) 8.88 ACRES 387,125 SF
-
- SPECIMEN/HISTORIC TREES: 30 INCHES
 - 30" DBH FOR 6,000 SF: 30 INCHES
 - 5" DBH PER 1,000 SF ABOVE 6,000 SF: 1,905.62 INCHES
 - OTHER PROTECTED TREES: 21 INCHES
 - 21" DBH FOR 6,000 SF: 21 INCHES
 - 3.5" DBH PER 1,000 SF ABOVE 6,000 SF: 1,333.9 INCHES
 - TOTAL MAXIMUM REPLACEMENT: 3,290.5 INCHES
 - DBH REPLACEMENT: 222.5 INCHES
 - TOTAL BALANCE REQUIRED: 3,068 INCHES
 - MITIGATION RATE PER DBH INCH: 10
 - TREE MITIGATION FEE: \$30,680.00

TREE PROTECTION NOTE:

1. A PROTECTIVE BARRIER SHALL BE PLACED AROUND ALL PROTECTED TREES PRIOR TO LAND PREPARATION OR CONSTRUCTION ACTIVITIES, IN ACCORDANCE WITH LDC 5.01.11.



1 TREE PROTECTION
1/4" = 1'-0"

URBAN TREE FOUNDATION © 2014
OPEN SOURCE: TREE TO USE
FX-PL-FX-TRMT-02

TREE REMOVAL PLAN

SCALE: 1"=40'-0"

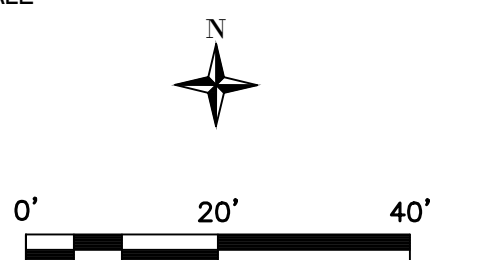
**CARRIAGE HILL
 PHASE 2
 PRELIMINARY
 DEVELOPMENT PLAN**
 APOPKA, FLORIDA

SEAL

Michael J. Urchuk
 FL RLA # 666675
 Aug 03, 2018

KEY PLAN

SCALE



No.	DATE	BY	Description

REVISIONS

DRAWN BY _____

APPROVED BY _____

CHECKED BY _____

DATE February 15, 2018

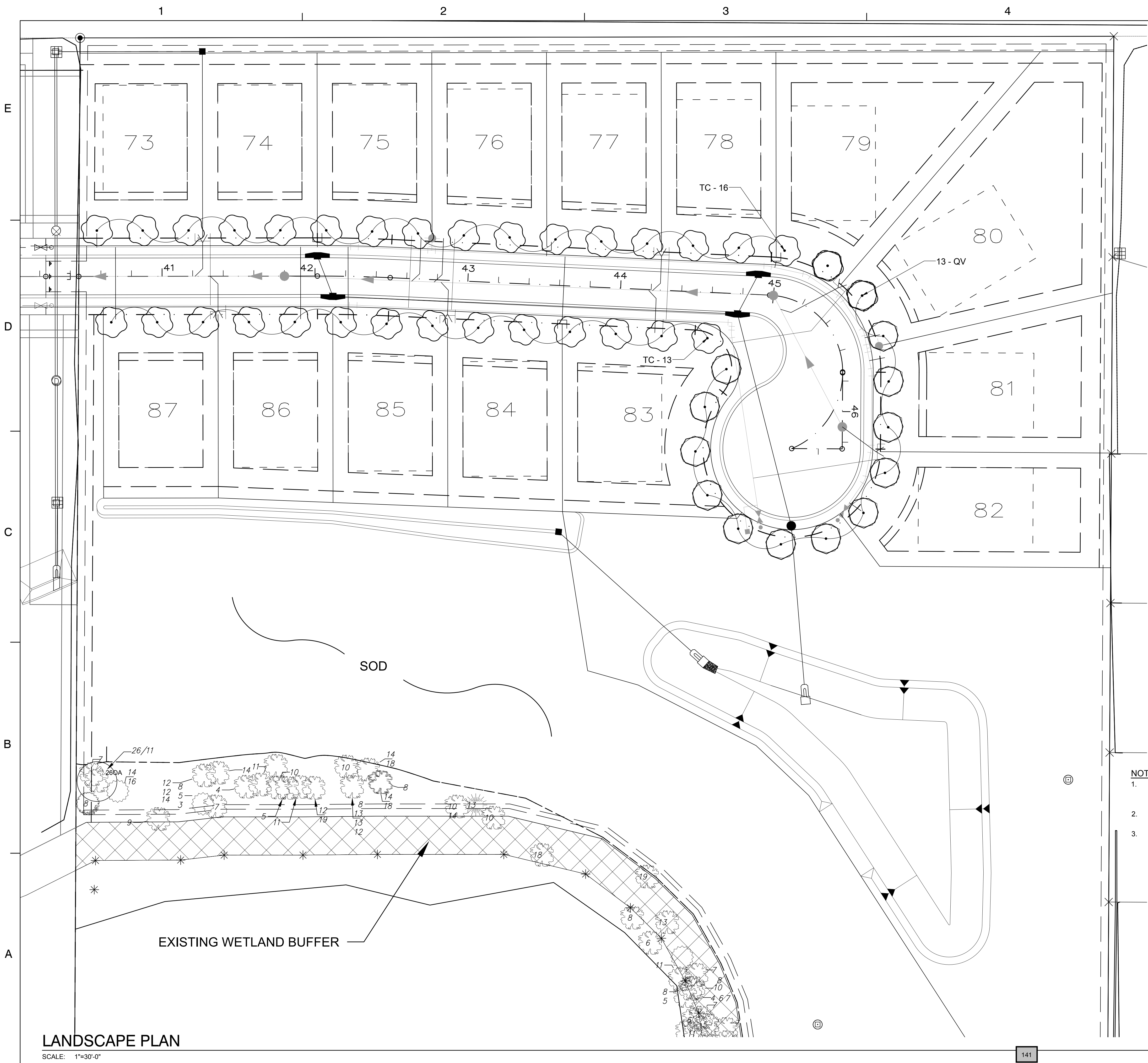
TITLE

LANDSCAPE PLAN

PROJECT NO. 50101346

L2.10

SHEET NO. OF



- NOTES:**
- DISRUPTED AREAS THAT ARE NOT PAVED OR MULCHED SHALL BE SODDED TO THE LIMITS OF SOD AND PROPERTY LINE WITH BAHIA SOD.
 - SOD POND SLOPES WITH BAHIA SOD AND SEED BASE OF POND WITH BAHIA GRASS
 - THE LANDSCAPING AND IRRIGATION PLANS MUST MEET THE REQUIREMENTS OF ORDINANCE 2069.

LANDSCAPE PLAN

SCALE: 1"=30'-0"



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: Final Development Plan

MEETING OF: September 5, 2018
 FROM: Community Development
 EXHIBITS: Vicinity Map
 Zoning Map
 Aerial Map
 AutoZone Store FDP
 Architectural Renderings
 Access & Utility Easement

SUBJECT: AUTOZONE STORE – FINAL DEVELOPMENT PLAN

REQUEST: APPROVE THE FINAL DEVELOPMENT PLAN FOR AUTOZONE STORE

SUMMARY:

OWNER/APPLICANT: Calmil Investment Group LP 95% Int Kenneth Lee Jureit Trust 5% Int
 ENGINEER: Rogers Engineering, LLC, c/o Wallace L. Brinkman III, P.E.
 LOCATION: 1120 West Orange Blossom Trail
 PARCEL ID #s: 05-21-28-0000-00-025 (portion)
 FUTURE LAND USE: Commercial
 ZONING: C-2 (General Commercial)
 EXISTING USE: Vacant
 PROPOSED USE: Restaurant
 TRACT SIZE: 2.25 +/- acres
 BUILDING SIZE: 4,500 square feet
 FLOOR AREA RATIO 0.046 (0.25 Maximum)

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Commercial	PUD (Commercial)	Automobile Service Station and Multi-tenant Center
East (City)	Commercial	C-1 (Retail Commercial)	Retention Pond
South (County and City)	Residential	County Ind-4 (Heavy Industrial District) and City R-1 (Residential Single-Family District)	Railroad and Single Family Residential Subdivision
West (City)	Commercial	C-2 (General Commercial District)	Retail Sales

PROJECT SUMMARY: This is a request to approve the AutoZone Store Final Development Plan that includes a building size of 6,815 square feet. A preliminary development plan is not required for development proposing less than 10,000 sq. ft. of building floor area. The site plan takes into consideration the future potential to plat the property into separate lots.

PARKING: Per Land Development Code parking requirements, 35 parking spaces are required while the applicant is proposing 42 parking spaces, two of which are reserved as a handicapped accessible spaces.

ACCESS/TRANSPORTATION: The site will have access to U.S. 441 via a cross-access easement through the Verizon Store to Lake Doe Boulevard. Two other access points will be available through cross-access easement across the IHOP property.

AutoZone and IHOP are proposed on a single parcel and will share all access; accordingly, a single transportation impact analysis (TIA) was submitted to evaluate the combined impacts of AutoZone and IHOP on the surrounding roadway segments and intersections. Included in the analysis were segments of U.S 441/W Orange Blossom Trail, Errol Parkway, Lake Doe Boulevard, and Old Dixie Highway. Intersections analyzed were U.S. 441/W Orange Blossom Trail and Vick Road; U.S. 441/W Orange Blossom Trail and Errol Parkway; Old Dixie Highway and Errol Parkway; Old Dixie Highway and Vick Road; Lake Doe Boulevard site entrance; and U.S. 441/W Orange Blossom Trail site entrances.

The projects will generate 503 daily and 44 P.M. Peak Hour Net New trips. The addition of these project trips to the study roadways and intersections will not cause the Level of Service (LOS) to fall below the City’s adopted LOS standard.

Right and left turn warrant analyses were conducted for the site entrances on U.S. 441 and concluded that turn lanes are not needed to safely accommodate project traffic.

Both access driveways on U.S. 441/W Orange Blossom Trail are required for the site at the time of development of either project if they are not developed simultaneously.

EXTERIOR ELEVATIONS: The height of the proposed building is 25 feet, well below the maximum allowable height of 35 feet. Staff has found the proposed building elevations meet the intent of the City’s Development Design Standards\Guidelines.

STORMWATER: The stormwater management system includes an on-site retention area, on the southern portion of the project site. The stormwater pond design meets the City’s Land Development Code requirements.

BUFFER/SCREENING/LANDSCAPING/TREE PROGRAM: As part of the development plan approval, Ligustrum and Crepe Myrtles, and Indian Hawthorn shrubs line the 10-foot wide buffer adjacent to the U.S. Highway 441. Magnolias are placed in the parking landscaped islands

Arbor Assessment

Total inches on-site (before removal):	163
Total specimen inches removed	110
Total inches retained:	17
Total inches added:	174
Total inches post development:	97

CONDITION OF APPROVAL: All access driveways must be constructed and all associated cross access easements must be recorded across both the IHOP and AutoZone sites prior to issuance of a certificate of occupancy on either site.

PUBLIC HEARING SCHEDULE:

August 14, 2018 – Planning Commission, 5:30 pm
September 5, 2018 – City Council, 1:30 pm

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the AutoZone Store – Final Development Plan, subject to the findings of this staff report.

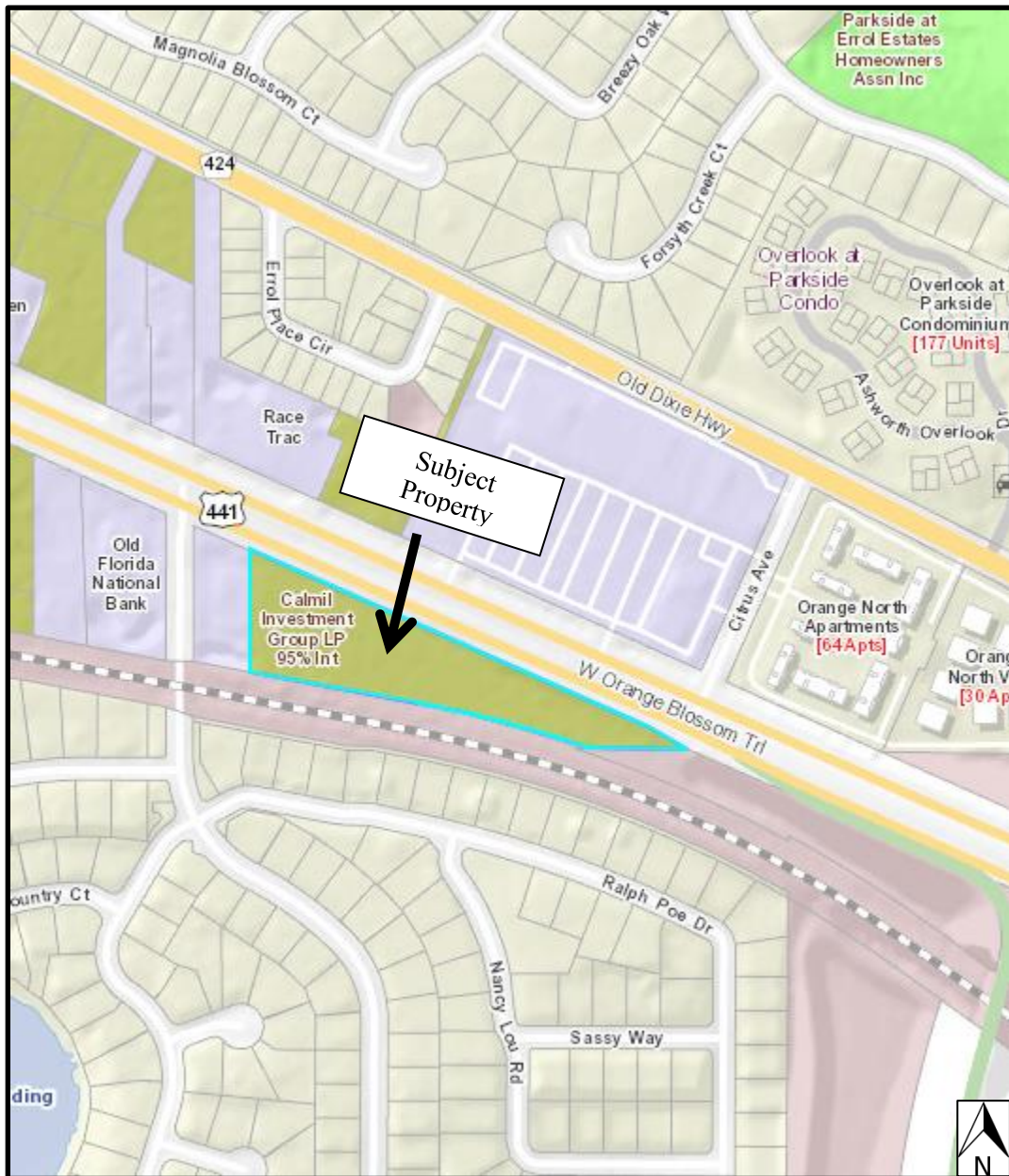
The **Planning Commission**, at its meeting on August 14, 2018, found the AutoZone Store – Final Development Plan consistent with the Land Development Code and Comprehensive Plan; and unanimously recommended approval of Final Development Plan, subject to the findings of this staff report.

City Council: Approve the AutoZone Store – Final Development Plan.

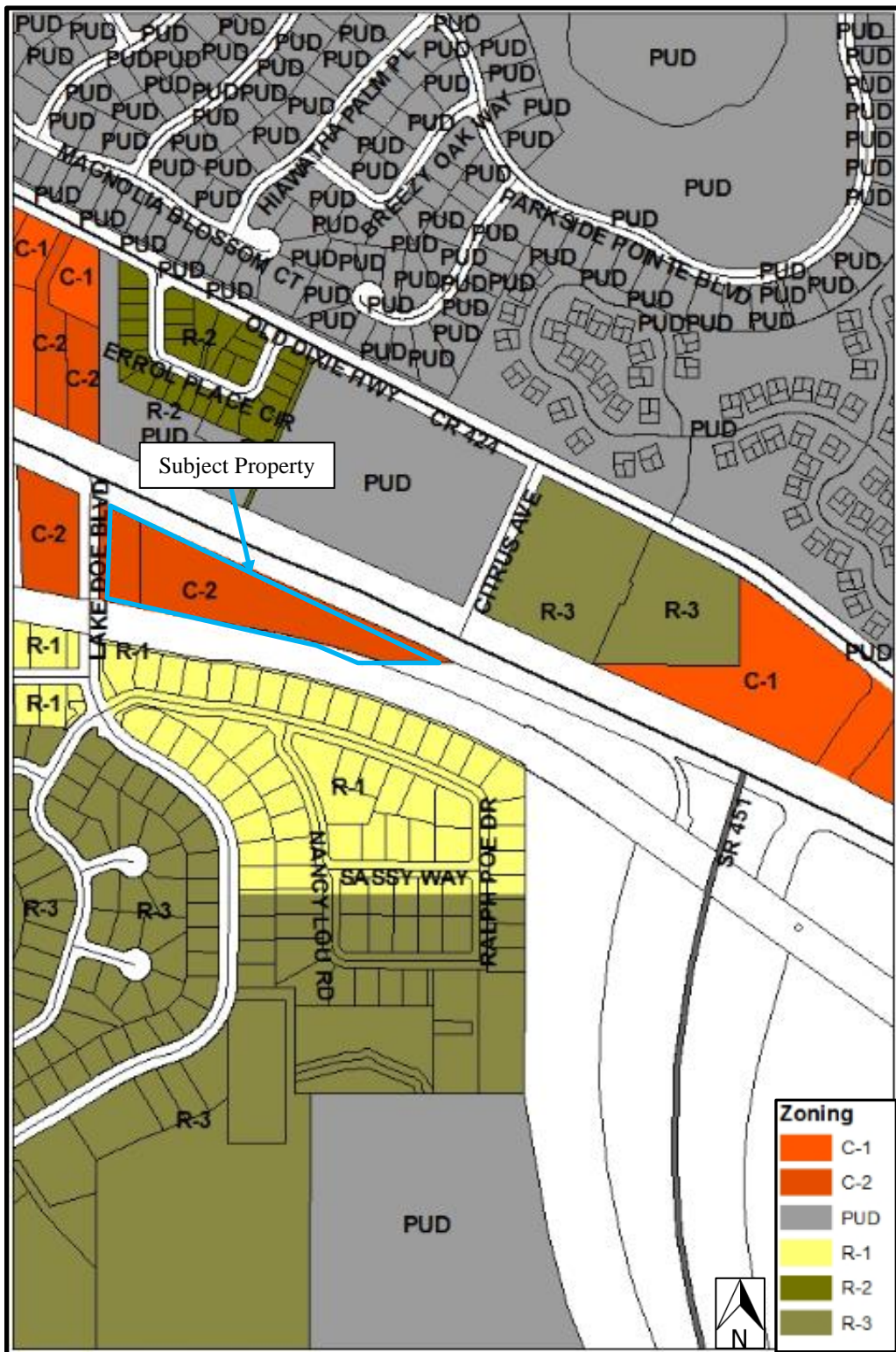
Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Application: AutoZone Final Development Plan
Owner/Applicant: Calmil Investment Group LP 95% Int; Kenneth Lee Jureit Trust 5% Int
Engineer: Rogers Engineering, LLC, c/o Wallace L. Brinkman III, P.E.
Location: 1120 West Orange Blossom Trail
Parcel I.D. #: 05-21-28-0000-00-025
Total Site Area: 3.30 acres +/-

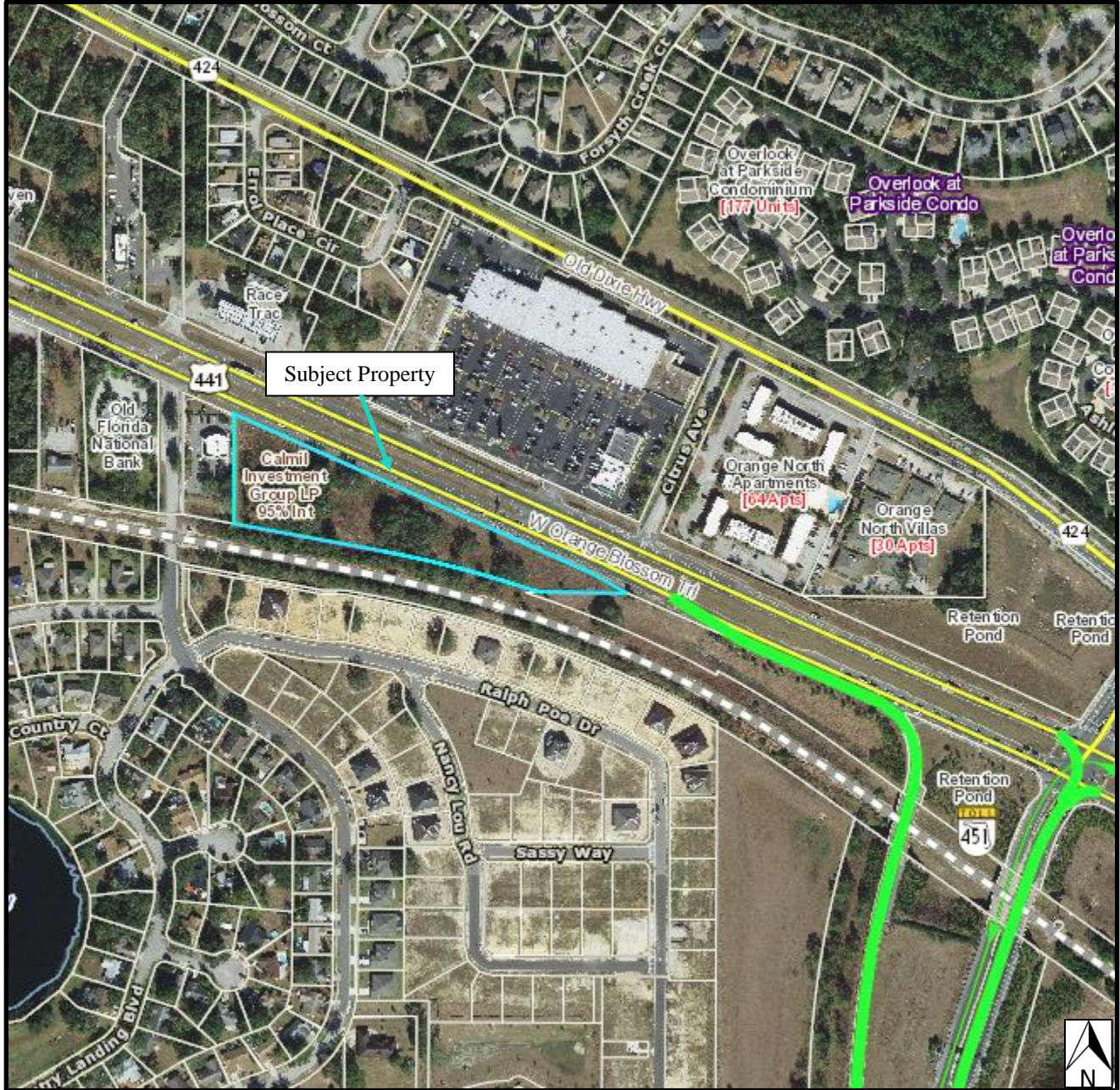
VICINITY MAP

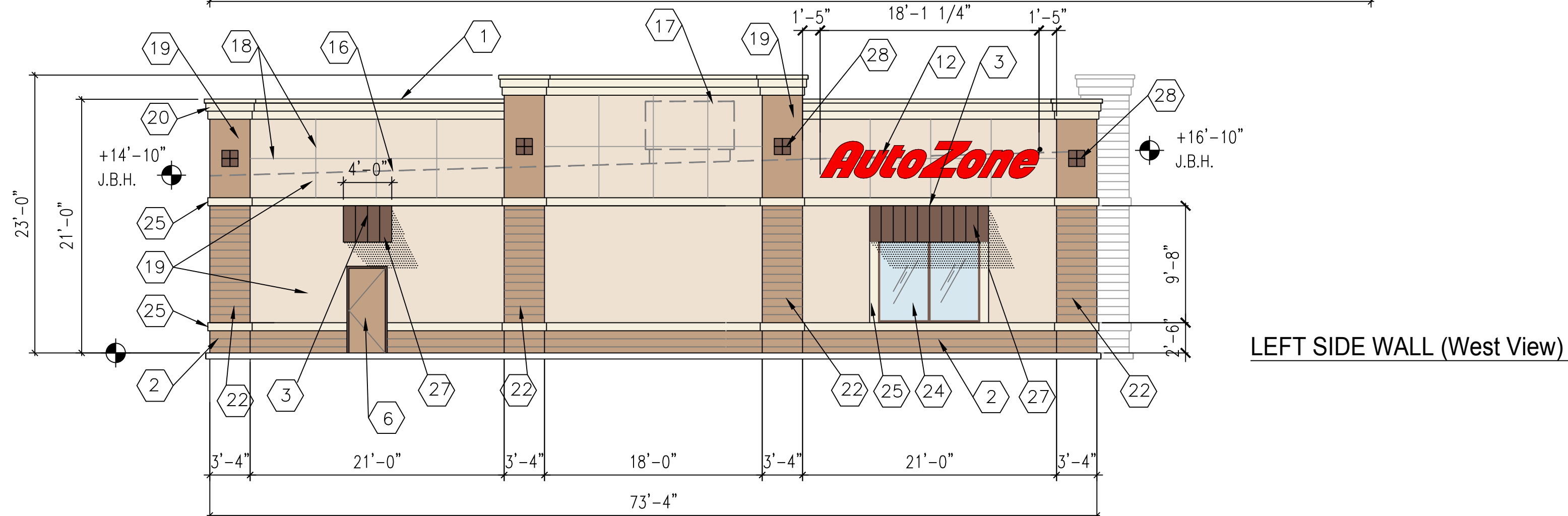
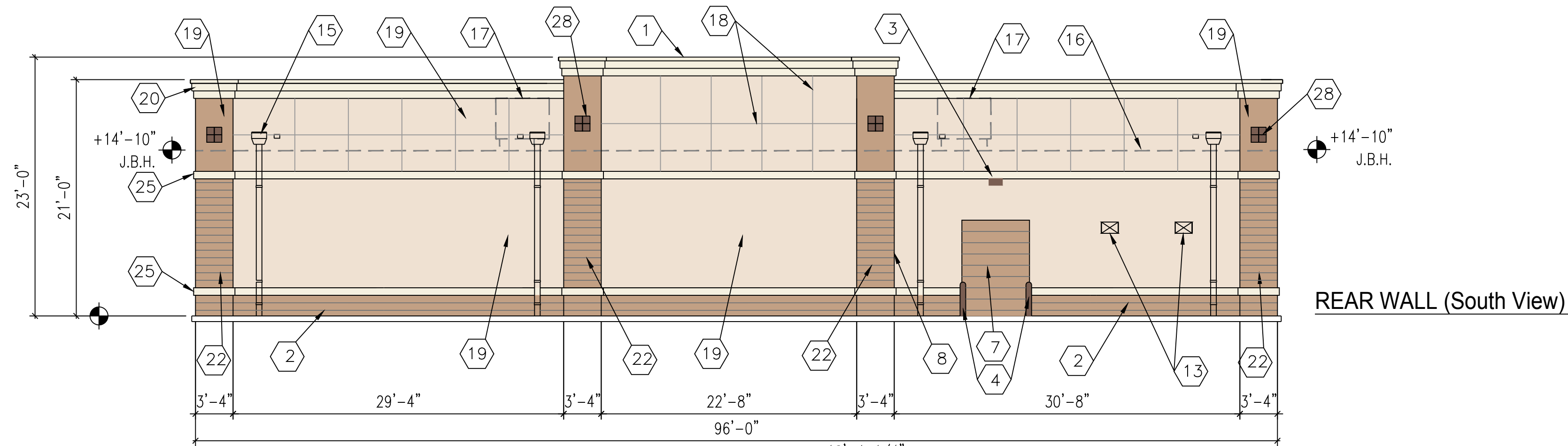
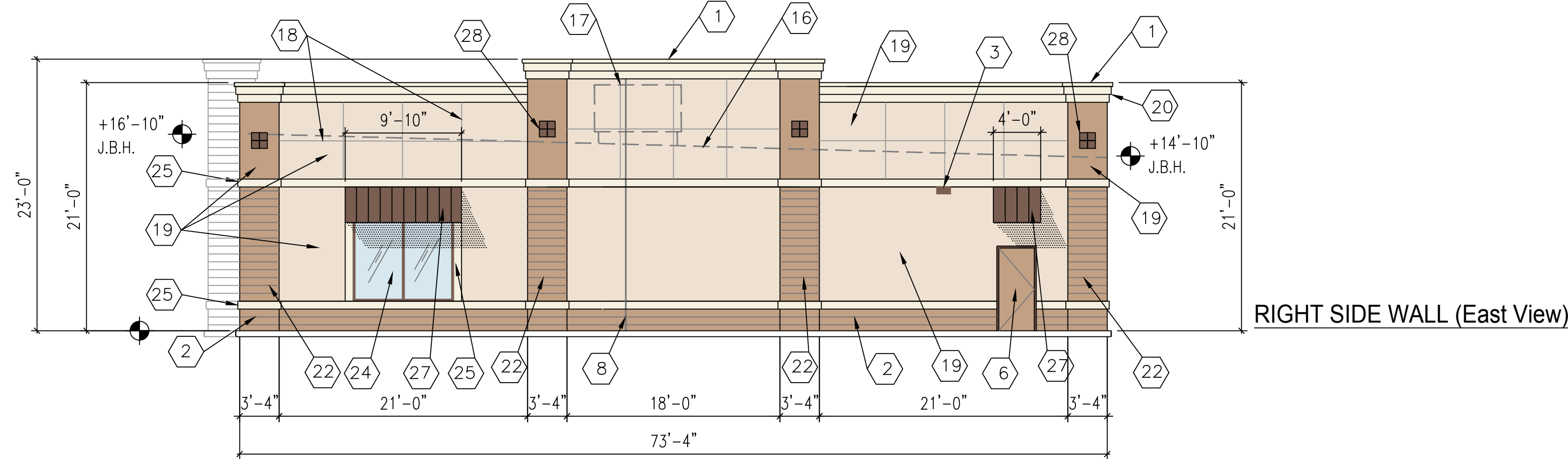
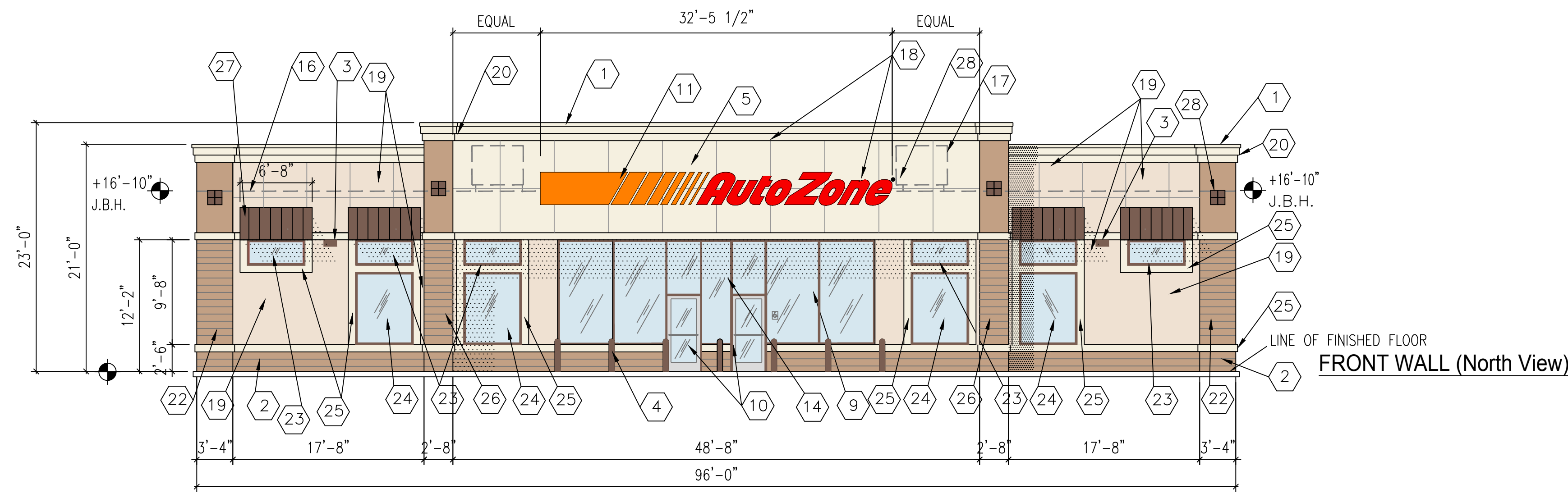


ZONING MAP



AERIAL MAP

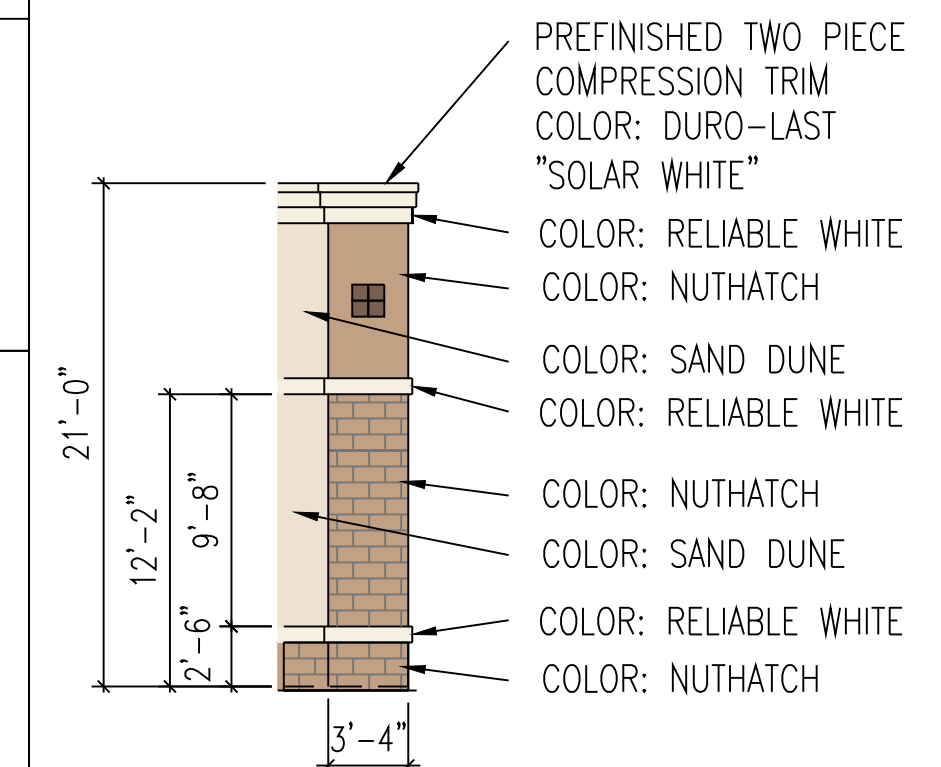




- 1 PREFINISHED TWO PIECE COMPRESSION TRIM
COLOR: DURO-LAST "SOLAR WHITE"
- 2 SPLIT FACE CONCRETE MASONRY UNITS SEE PAINT
DETAIL SCHEME THIS SHEET
- 3 WALL MOUNTED LIGHT FIXTURE - BRONZE FINISH
- 4 PIPE GUARD WITH ARCHITECTURAL BROWN SLEEVE
- 5 MFG. EXTERIOR INSULATED FINISH SYSTEM
COLOR: SW 6091 "RELIABLE WHITE"
- 6 PAINT MAN DOOR COLOR: SW 6088 "NUTHATCH",
PAINT METAL FRAMES COLOR: SW "ANTIQUÉ BRONZE"
- 7 PAINT OVERHEAD DOOR COLOR: SW 6088 "NUTHATCH"
PAINT ANGLE COLOR: SW "ANTIQUÉ BRONZE"
- 8 EXPANSION JOINT
- 9 ALUMINUM STOREFRONT - BRONZE FINISH
TINTED GLASS WINDOWS VISIBLE LIGHT TRANSMITTANCE=66%
VISIBLE LIGHT REFLECTANCE=6%
- 10 GLASS AND ALUMINUM DOORS - CLEAR ANODIZED FINISH
- 11 FRONT WALL SIGN - 36" HIGH CHANNEL LETTERS
- 12 SIDE WALL SIGN - 36" HIGH CHANNEL LETTERS
- 13 TOILET WALL VENTS PAINT TO MATCH WALL
- 14 STORE ADDRESS - 6" WHITE REFLECTIVE NUMBERS
- 15 SCUPPERS AND DOWNSPOUTS, PAINTED TO MATCH
BACKGROUND WALL COLOR. ADJACENT 4" H. X 6" W.
OVERFLOW SCUPPER. FLOWLINE 2" ABOVE ROOF.
- 16 BOND BEAM AT ROOF LINE
- 17 HVAC UNITS SCREENED BEHIND PARAPET WALL
- 18 1" WIDE SCORED JOINT (TYP.)
- 19 CMU BLOCK W/ STUCCO FINISH - SEE PAINT
SCHEME DETAIL THIS SHEET
- 20 DECORATIVE FOAM CORNICE COLOR: RELIABLE WHITE
- 21 N/A
- 22 SPLIT FACE CMU PILASTER (8" PROJECTION)
ALUMINUM STOREFRONT - BRONZE FINISH
TINTED CLERESTORY GLASS WINDOWS
VISIBLE LIGHT TRANSMITTANCE=66%
VISIBLE LIGHT REFLECTANCE=6"
- 23 ALUMINUM STOREFRONT - BRONZE FINISH
TINTED OPAGUE GLASS FAUX WINDOWS
VISIBLE LIGHT TRANSMITTANCE=66%
VISIBLE LIGHT REFLECTANCE=6"
- 24 8" HIGH X 2" DEPTH FOAM BOARD TRIM WITH E.F.S.
- 25 SPLIT FACE CMU PILASTER (3'-4" PROJECTION)
- 26 3'-0" HIGH X 3'-0" DEEP STANDING SEAM METAL AWNING
COLOR: DARK BRONZE
- 27 (4) 8" X 8" GLAZED CERMIC TILE RECESSED 1/2"
COLOR: DARK BRONZE

2 ELEVATION KEYNOTES

COLORS:
SHERWIN WILLIAMS "RELIABLE WHITE" - SW 6091
SHERWIN WILLIAMS "SAND DUNE" - SW 6086
SHERWIN WILLIAMS "NUTHATCH" - SW 6088



- GENERAL NOTES:
1. REFER TO SECTION 09900 OF THE SPECIFICATIONS FOR PAINT AND EXTERIOR COATINGS. ALL COLORS ARE BY SHERWIN-WILLIAMS PAINT COMPANY.
 2. PAINT RESTROOM WALL VENTS TO MATCH THE ADJACENT WALL COLOR.
 3. SEALANT AT EXPANSION JOINTS TO MATCH ADJACENT WALL COLOR.
 4. ALL MASONRY JOINTS TO BE CONCAVE TOOLED.

4 GENERAL NOTES

- SIGNAGE NOTES:
1. AUTOZONE'S SIGN VENDOR WILL FURNISH AND INSTALL ALL SIGNS UNLESS SPECIFICALLY NOTED ON THE DRAWINGS OTHERWISE. WALL SIGNS TO BE INSTALLED ON SURFACES THAT ARE FURNISHED AND PREPARED BY GENERAL CONTRACTOR.
 2. SIGN INSTALLER SHALL OBTAIN SIGN PERMITS AND INSTALL ALL FREESTANDING SIGNS AND THEIR FOUNDATIONS UNLESS NOTED OTHERWISE. GENERAL CONTRACTOR SHALL INSURE SIGN LOCATION IS TO GRADE AND SHALL MARK WHERE SIGN IS TO BE LOCATED.
 3. GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF PRIMARY ELECTRICAL, AND FINAL ELECTRICAL HOOK-UP. SEE "SN" SHEETS FOR ADDITIONAL INFORMATION.
 4. SEE SHEET E3 FOR LOCATIONS OF J-BOXES TERMINATING EACH WALL SIGN CIRCUIT.

5 SIGNAGE NOTES - BUILDING

REVISIONS

1	4	5	6
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AutoZone Store No. 3666
US HIGHWAY 441

APOPKA FL 32726

EXTERIOR ELEVATIONS AND NOTES

Architect: George Callow
123 South Front Street
Memphis, Tennessee 38103
TEL: 901-495-8705 FAX: (901) 495-8969
For Bidding & Contractor Information Contact:
McGrav-Hill Construction Tel. 615-884-1017
www.construction.com

02/09/18

65W2-L

CE1

A FINAL DEVELOPMENT PLAN
FOR

AutoZone

STORE # 3666

1120 W. Orange Blossom Trail
Apopka, Florida

PROJECT TEAM

DEVELOPER:

RETAIL DEVELOPMENT PROPERTIES, LLC
140 E. MORSE BLVD. #J
WINTER PARK, FLORIDA 32789
PHONE: 407-766-1000
CONTACT: ROBERT GIERKE
EMAIL: rgierke@retaildevelopmentproperties.com

CIVIL ENGINEER:

ROGERS ENGINEERING, LLC
1105 S.E. 3RD AVE.
OCALA, FLORIDA 34471
PHONE: 352-622-9214
CONTACT: WALLY BRINKMAN, P.E.
EMAIL: wbrinkman@rogerseng.com

OWNER:

CALMIL INVESTMENT GROUP LP (95% INT.)
KENNETH LEE JUREIT TRUST (5% INT.)
5905 MORAY CT NW
CONCORD, NC 28027
PHONE: 704-787-9017
CONTACT: KENNETH JUREIT
EMAIL: kj54@carolina.rr.com

SURVEYOR:

ROGERS ENGINEERING, LLC
1105 S.E. 3RD AVE.
OCALA, FLORIDA 34471
PHONE: 352-622-9214
CONTACT: RODNEY ROGERS, P.S.M.
EMAIL: rrogers@rogerseng.com

ARCHITECT/CONSTRUCTION MANAGER:

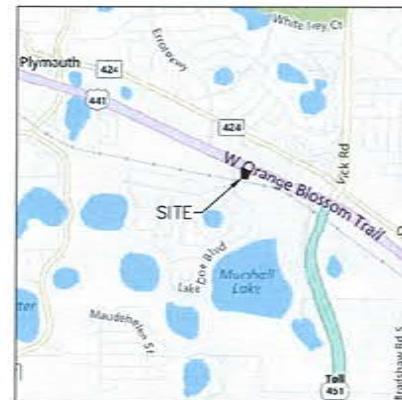
AUTOZONE STORES, LLC
123 S. FRONT STREET, 3RD FLOOR
MEMPHIS, TENNESSEE 38103
PHONE: 901-495-8701
CONTACT: WADE DAVIS
EMAIL: wade.davis@autozone.com

LANDSCAPE ARCHITECT:

EDK - ENVIRONMENTAL DESIGN
1920 S.E. 8TH ST.
OCALA, FLORIDA 34478
PHONE: 352-622-8899
CONTACT: ANDY KESSELING, P.L.A., A.S.L.A., I.S.A.
EMAIL: akesselin@aol.com

GENERAL NOTES:

1. ALL GROUND AREAS DISTURBED BY CONSTRUCTION SHALL BE IMMEDIATELY SODDED FOLLOWING FINAL GRADING. ALLOW FOR THICKNESS OF SOD WITH A 2-INCH UNDERCOAT. SOD SHALL BE ARGENTINA BAHIA UNLESS OTHERWISE NOTED ON LANDSCAPE PLAN, AND SHALL BE REGULARLY WATERED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION DURATION.
2. TO PREVENT EROSION DURING CONSTRUCTION, SILT FENCING SHALL BE INSTALLED AS INDICATED ON THE TREE REMOVAL & EROSION CONTROL PLAN AND MAINTAINED UNTIL THE COMPLETION OF SODDING AND LANDSCAPING.
3. ALL STRIPING SHALL BE 6" WIDE TRAFFIC PAINT, UNLESS OTHERWISE INDICATED, APPLIED WITH DOUBLE COAT A MINIMUM OF 24 HOURS APART. ALL STOP BARS SHALL BE LEAD FREE THERMOPLASTIC.
4. ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT THE SITE VIA THE GRAVEL CONSTRUCTION ENTRANCE SHOWN ON THE TREE REMOVAL & EROSION CONTROL PLAN.
5. IRRIGATION SHALL BE PROVIDED FOR 100% OF THE SITE'S OPEN SPACE THROUGH THE ESTABLISHMENT PERIOD.
6. ALL STORM WATER MANAGEMENT SYSTEMS SHALL BE COMPLETED PRIOR TO THE CONSTRUCTION OF IMPERVIOUS AREAS.
7. ALL UTILITY CONSTRUCTION SHALL MEET THE CURRENT CITY OF APOPKA STANDARDS.
8. LIGHT POLE FIXTURES CANNOT EXCEED THE HEIGHT OF THE BUILDING.
9. LIGHT POLE FOOTERS CANNOT BE EXPOSED ABOVE FINISH GRADE.
10. NO OUTDOOR STORAGE OR DISPLAY WILL OCCUR UNLESS AN AREA IS DESIGNATED AS SUCH.



SCALE: 1" = 2,000 S.F.

SECTION 5, TOWNSHIP 21 S., RANGE 28 E.
LOCATION MAP

SHEET INDEX

SHEET NO.	TITLE SHEET
C0.0	TITLE SHEET
C1.0	BOUNDARY & TOPOGRAPHIC SURVEY
C2.0	EROSION CONTROL & TREE REMOVAL PLAN
C2.1	STORMWATER POLLUTION PREVENTION PLAN
C3.0	SITE LAYOUT PLAN
C4.0	PAVING, GRADING, & DRAINAGE PLAN
C5.0	UTILITY PLAN
C6.0	GENERAL CONSTRUCTION DETAILS
C6.1	PRIVATE LIFT STATION DETAILS
C7.0-C7.1	CITY OF APOPKA STANDARD DETAILS
C8.0	VEHICLE ROUTING PLAN
C9.0	EASEMENT PLAN
L001	LANDSCAPE PLAN
L002	IRRIGATION PLAN
L003	LANDSCAPE & IRRIGATION DETAILS
LP.1	SITE PHOTOMETRIC PLAN
LP.2	PHOTOMETRIC DETAILS

SITE DATA:

PROJECT NAME: AUTOZONE - STORE #3666
PARCEL NO.: 05-21-28-0000-00-025
OVERALL PARCEL AREA: 3.32 ACRES (144,593 S.F.)
PROJECT AREA: 1.07 ACRES (46,681 S.F.)
LAND USE/ZONING: COMMERCIAL/C-2
PROPOSED USE: RETAIL SALES
THIS SITE IS NOT LOCATED IN A FLOOD ZONE PER FEMA MAP NUMBER 12095C0120F

PARKING CALCULATIONS:

GENERAL COMMERCIAL:
1 SPACE/200 S.F. OF GROSS FLOOR AREA
6815/200 = 35 SPACES
TOTAL PARKING REQUIRED: 35 SPACES
PARKING SPACES PROVIDED: 42 SPACES
HANDICAP PARKING REQUIRED:
1 SPACE/25 SPACES = 2 H/C SPACE
HANDICAP PARKING PROVIDED:
2 H/C SPACE

IMPERVIOUS AREA CALCULATIONS:

PROJECT AREA: 46,681 S.F. (1.07 ACRES)
PROPOSED IMPERVIOUS AREA
BUILDING 6,815 S.F.
PVT & CONC 21,769 S.F.
TOTAL = 28,584 S.F. (61.2%)
PERVIOUS = 18,097 S.F. (38.8%)

SITE DATA TABLE			
PARCEL ID NUMBER	05-21-28-000-00-025		
FUTURE LAND USE	COMMERCIAL		
ZONING	C-2		
ACREAGE/S.F.	1.07/46,681		
BUILDING HEIGHT	25 FT		
FLOOR AREA RATIO	6,815/46,681 = 0.146		
BUILDING SETBACKS	PROPOSED	FRONT: 75 FT	REAR: 75 FT
	REQUIRED	FRONT: 10 FT	REAR: 10 FT
PARKING SPACES	PROVIDED: 42	REQUIRED: 35 (1 SPACE / 200 SF GFA)	
TREE BANK MITIGATION FEE	N/A		
NUMBER OF EMPLOYEES	8		
WAVYER REQUEST	YES: TWO		
VARIANCE REQUEST	NO		

DRAINAGE CERTIFICATION:

THE REQUIRED DRAINAGE PATTERNS AND STORAGE CAPACITY OF THE RETENTION AREAS ARE NOT ADVERSELY AFFECTED BY THE ADDITIONAL USE OF LAND WITHIN THE BUFFER YARDS.

STATEMENT OF INTENDED USE:

THIS PROJECT CONSISTS OF CONSTRUCTING A 6,815 S.F. BUILDING FOR AUTO PARTS SALES WITH PAVED PARKING AND DRIVEWAY ACCESS TO US 441 AND LAKE DOE BOULEVARD THROUGH ADJACENT DEVELOPMENTS.

NOTICE!

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE THE MOST CURRENT APPROVED PLANS PRIOR TO CONSTRUCTION.



150



WALLACE L. BRINKMAN III
PROFESSIONAL ENGINEER
REGISTRATION NO. 82306
STATE OF FLORIDA
DATE: 06/29/18

NO.	DATE	REVISION

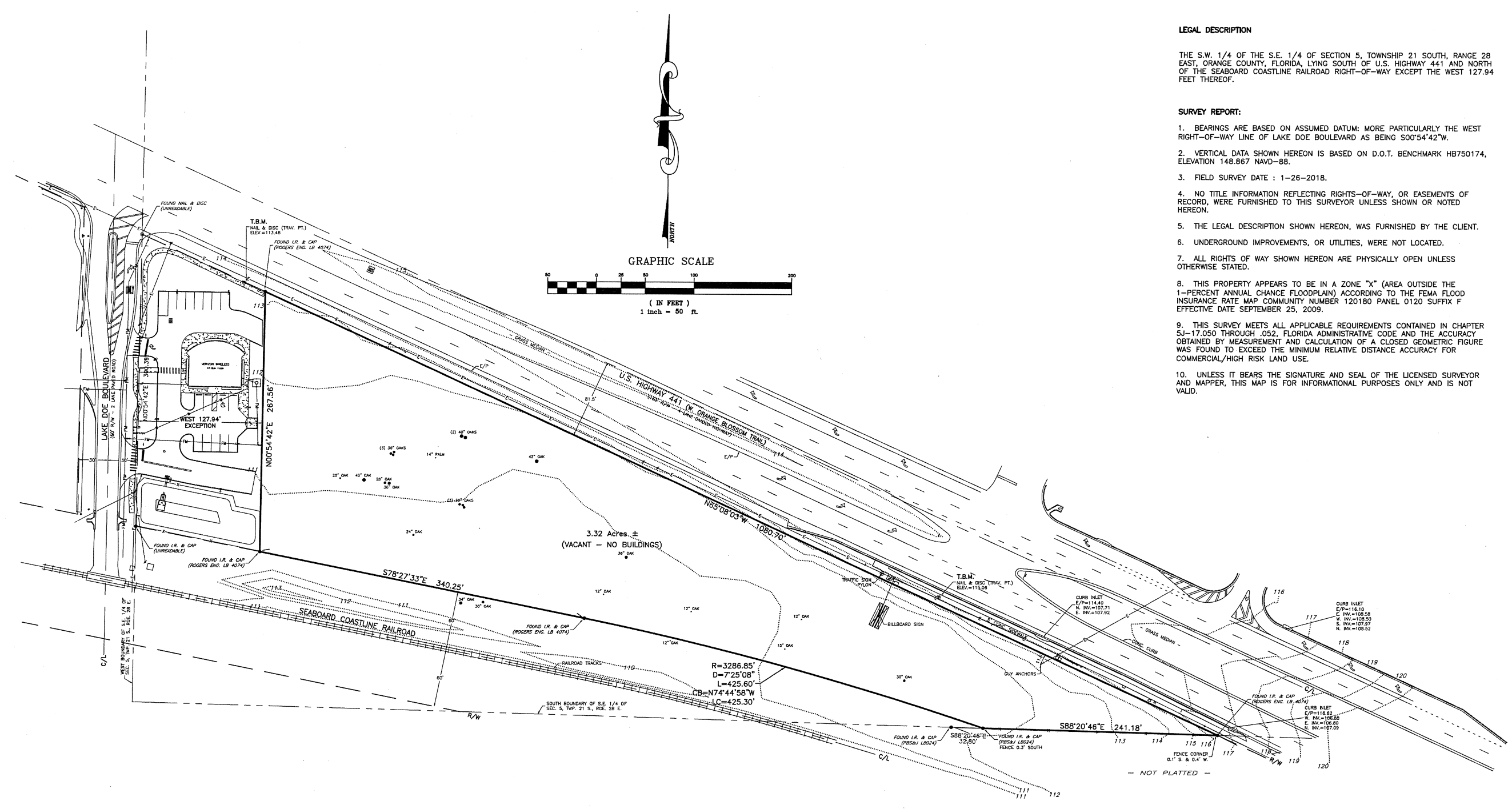
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Rodney K. Rogers, PSM
F.L. Reg. No. 5274
rrogers@rogerseng.com
Robert L. Rogers, PE
F.L. Reg. No. 10027
rrogers@rogerseng.com

ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying
1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 622-9214 • Lic. Bus. #4074

A FINAL DEVELOPMENT SITE PLAN
FOR
AUTOZONE
CITY OF APOPKA, FL
Title Sheet

JOB No. 18_052128000000025
DATE 06-29-2018
SCALE AS SHOWN
SHEET C0.0

- LEGEND**
- C.M. CONCRETE MONUMENT
 - I.R. IRON ROD
 - R/W RIGHT OF WAY
 - E/P EDGE OF PAVEMENT
 - C/L CENTERLINE
 - R/C/R CENTRAL ANGLE
 - R RADIUS
 - L ARC LENGTH
 - LC LENGTH OF CHORD
 - CB CHORD BEARING
 - SEC SECTION
 - TWP TOWNSHIP
 - RNG RANGE
 - PLAT MEASUREMENT
 - FIELD MEASUREMENT
 - UTILITY POLE AND GUY ANCHOR
 - OVERHEAD WIRES
 - FENCE
 - CONC CONCRETE
 - TREE (SEE TREE SCHEDULE)
 - GROUND CONTOUR
 - TEMPORARY BENCHMARK
 - FINISH FLOOR
 - ELEV ELEVATION
 - INV. INVERT
 - ES-1 EXISTING STRUCTURE
 - RS-1 REMOVED STRUCTURE
 - CMP CORRUGATED METAL PIPE
 - RCP REINFORCED CONCRETE PIPE
 - C.D. CLEAN-OUT
 - G.I. GREASE INTERCEPTOR
 - PVC POLYVINYL CHLORIDE



LEGAL DESCRIPTION

THE S.W. 1/4 OF THE S.E. 1/4 OF SECTION 5, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, LYING SOUTH OF U.S. HIGHWAY 441 AND NORTH OF THE SEABOARD COASTLINE RAILROAD RIGHT-OF-WAY EXCEPT THE WEST 127.94 FEET THEREOF.

SURVEY REPORT:

1. BEARINGS ARE BASED ON ASSUMED DATUM; MORE PARTICULARLY THE WEST RIGHT-OF-WAY LINE OF LAKE DOE BOULEVARD AS BEING S00°54'42"W.
2. VERTICAL DATA SHOWN HEREON IS BASED ON D.O.T. BENCHMARK HB750174, ELEVATION 148.867 NAVD-88.
3. FIELD SURVEY DATE : 1-26-2018.
4. NO TITLE INFORMATION REFLECTING RIGHTS-OF-WAY, OR EASEMENTS OF RECORD, WERE FURNISHED TO THIS SURVEYOR UNLESS SHOWN OR NOTED HEREON.
5. THE LEGAL DESCRIPTION SHOWN HEREON, WAS FURNISHED BY THE CLIENT.
6. UNDERGROUND IMPROVEMENTS, OR UTILITIES, WERE NOT LOCATED.
7. ALL RIGHTS OF WAY SHOWN HEREON ARE PHYSICALLY OPEN UNLESS OTHERWISE STATED.
8. THIS PROPERTY APPEARS TO BE IN A ZONE "X" (AREA OUTSIDE THE 1-PERCENT ANNUAL CHANCE FLOODPLAIN) ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP COMMUNITY NUMBER 120180 PANEL 0120 SUFFIX F EFFECTIVE DATE SEPTEMBER 25, 2009.
9. THIS SURVEY MEETS ALL APPLICABLE REQUIREMENTS CONTAINED IN CHAPTER 5J-17.050 THROUGH .052, FLORIDA ADMINISTRATIVE CODE AND THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THE MINIMUM RELATIVE DISTANCE ACCURACY FOR COMMERCIAL/HIGH RISK LAND USE.
10. UNLESS IT BEARS THE SIGNATURE AND SEAL OF THE LICENSED SURVEYOR AND MAPPER, THIS MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.

- LEGEND**
- C.M. CONCRETE MONUMENT
 - I.R. IRON ROD
 - R/W RIGHT OF WAY
 - E/P EDGE OF PAVEMENT
 - C/L CENTERLINE
 - D or Δ CENTRAL ANGLE
 - R RADIUS
 - L ARC LENGTH
 - LC LENGTH OF CHORD
 - CB CHORD BEARING
 - SEC. SECTION
 - TWP. TOWNSHIP
 - RGE. RANGE
 - (P) PLAT MEASUREMENT
 - (F) FIELD MEASUREMENT
 - UTILITY POLE AND GUY ANCHOR
 - OVERHEAD WIRES
 - FENCE
 - CONC. CONCRETE
 - GROUNDO CONTOUR
 - T.B.M. TEMPORARY BENCHMARK
 - F.F. FINISH FLOOR
 - ELEV. ELEVATION
 - INV. INVERT

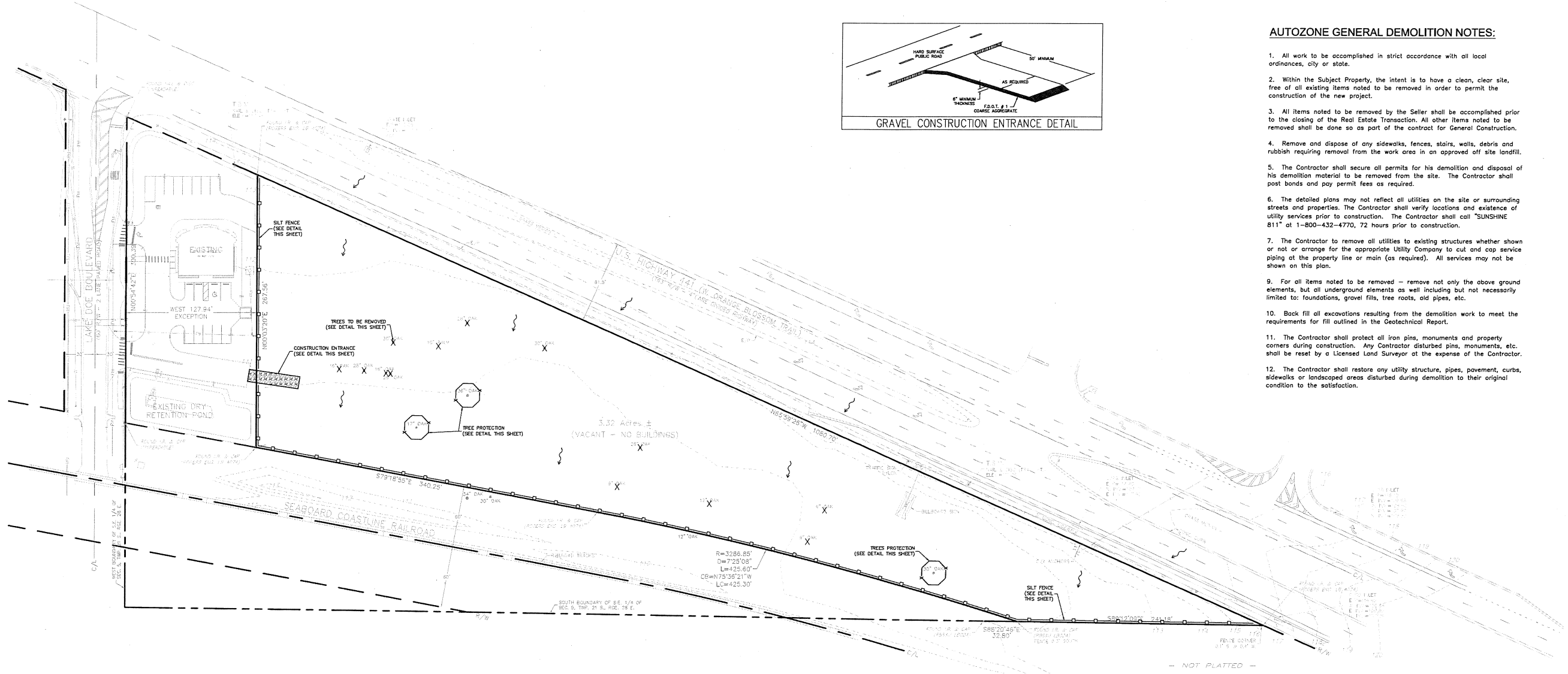
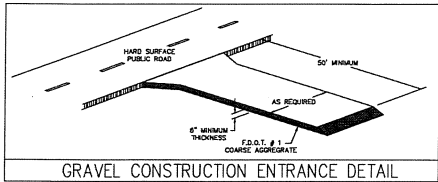
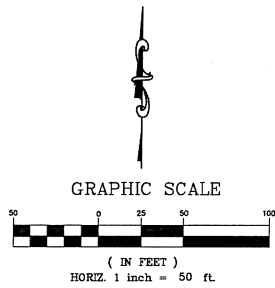
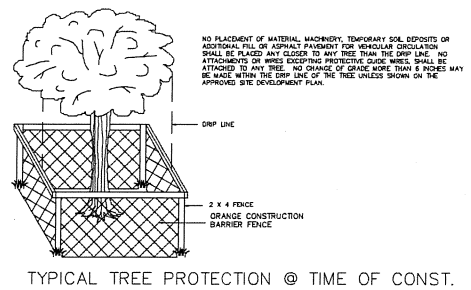
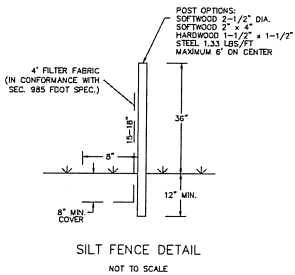
REVISION	
DATE	

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 rrogers@rogerseng.com
 Rodney K. Rogers, PSM
 FL. Reg. No. 5274
 rkrogers@rogerseng.com

ROGERS ENGINEERING, LLC
 Civil Engineering & Land Surveying
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A BOUNDARY AND TOPOGRAPHIC SURVEY
 FOR
 RETAIL DEVELOPMENT PROPERTIES, LLC

JOB No.	
DATE	1-29-2018
SCALE	1" = 50'
SHEET	C1.0



AUTOZONE GENERAL DEMOLITION NOTES:

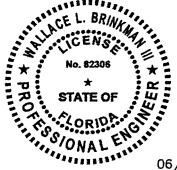
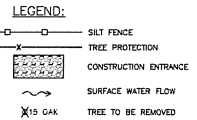
- All work to be accomplished in strict accordance with all local ordinances, city or state.
- Within the Subject Property, the intent is to have a clean, clear site, free of all existing items noted to be removed in order to permit the construction of the new project.
- All items noted to be removed by the Seller shall be accomplished prior to the closing of the Real Estate Transaction. All other items noted to be removed shall be done so as part of the contract for General Construction.
- Remove and dispose of any sidewalks, fences, stairs, walls, debris and rubbish requiring removal from the work area in an approved off site landfill.
- The Contractor shall secure all permits for his demolition and disposal of his demolition material to be removed from the site. The Contractor shall post bonds and pay permit fees as required.
- The detailed plans may not reflect all utilities on the site or surrounding streets and properties. The Contractor shall verify locations and existence of utility services prior to construction. The Contractor shall call "SUNSHINE 811" at 1-800-432-4770, 72 hours prior to construction.
- The Contractor to remove all utilities to existing structures whether shown or not or arrange for the appropriate Utility Company to cut and cap service piping at the property line or main (as required). All services may not be shown on this plan.
- For all items noted to be removed - remove not only the above ground elements, but all underground elements as well including but not necessarily limited to: foundations, gravel fills, tree roots, old pipes, etc.
- Back fill all excavations resulting from the demolition work to meet the requirements for fill outlined in the Geotechnical Report.
- The Contractor shall protect all iron pins, monuments and property corners during construction. Any Contractor disturbed pins, monuments, etc. shall be reset by a Licensed Land Surveyor at the expense of the Contractor.
- The Contractor shall restore any utility structure, pipes, pavement, curbs, sidewalks or landscaped areas disturbed during demolition to their original condition to the satisfaction.

EROSION CONTROL NOTES:

- PRIOR TO ANY CLEARING ACTIVITIES, THE CONTRACTOR SHALL HAVE ALL ON-SITE UTILITIES LOCATED.
- THE SILT FENCE SHALL BE INSTALLED BEFORE ANY CONSTRUCTION ACTIVITIES AND MAINTAINED UNTIL ALL DISTURBED AREAS ARE SODDED.
- ALL CONSTRUCTION VEHICLES SHALL ENTER THE PROJECT AREA VIA THE GRAVEL CONSTRUCTION ENTRANCE. THERE SHALL BE NO CONSTRUCTION ACTIVITIES, MACHINERY, OR VEHICLES BEYOND THE INTERIOR OF THE PROJECT AREA.
- THE CONTRACTOR SHALL PERIODICALLY SWEEP EXISTING ON-SITE PAVED SURFACES AS WELL AS ALL ABUTTING CITY STREETS, COUNTY ROADS, AND STATE HIGHWAYS TO KEEP THOSE SURFACES IN A SUBSTANTIALLY SEDIMENT-FREE CONDITION. SWEEPING SHALL BE DONE ON A PERIODIC, AS-NEEDED BASIS THROUGHOUT THE WORK WEEK INCLUDING, MOST IMPORTANTLY, AFTER EVERY RAIN EVENT AND EVERY FRIDAY AFTERNOON PRIOR TO CEASING WORK FOR THE WEEK.
- ALL MATERIALS, MACHINERY, AND VEHICLES SHALL BE STORED ON-SITE IN AN ORDERLY, ORGANIZED FASHION.
- CONTRACTOR SHALL DEVELOP AND IMPLEMENT A PLAN TO ASSURE THAT ALL DEBRIS RESULTING FROM THE CLEARING, SUCH AS LIMBS, STUMPS AND UNDERBRUSH, ARE PROPERLY CONTROLLED WHILE ON-SITE AND TRANSPORTED AND DISPOSED OF (OFF-SITE) IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. NO WASTE MATERIALS OF ANY KIND ARE PERMITTED TO BE BURIED ON-SITE OR DISCHARGED TO SURFACE WATERS OF THE STATE OR TO THE FDOT STORM WATER SYSTEM.

PRE-CONSTRUCTION TREE PROTECTION:

- THE OWNER SHALL BE RESPONSIBLE FOR INSURING THAT ALL MEASURES ARE TAKEN TO AVOID DAMAGE TO TREES NOT APPROVED FOR REMOVAL.
- PRIOR TO ANY CLEARING, GRUBBING, OR ANY CONSTRUCTION, TREE PROTECTION BARRICADES SHALL BE ERECTED AROUND ALL TREES, OR GROUPS OF TREES, WITHIN THE CONSTRUCTION AREA WHICH ARE TO BE PRESERVED.
- TREE PROTECTION SHALL CONTINUE DURING THE COURSE OF CONSTRUCTION. THE FOLLOWING REQUIREMENTS SHALL BE CONDITIONS OF TREE REMOVAL PERMITS, ALL PERMITS FOR CONSTRUCTION IN PUBLIC RIGHTS-OF-WAY, AND ALL DEVELOPMENT PERMITS ISSUED UNDER AND PURSUANT TO THIS CODE:
 - THE CLEANING OF CONSTRUCTION EQUIPMENT OR MATERIAL OR THE DISPOSAL OF WASTE MATERIALS INCLUDING BUT NOT LIMITED TO, PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, AND MORTAR WITHIN THE TPZ OF ANY TREE WHICH IS BEING PROTECTED IS NOT ALLOWED.
 - THE MOVEMENT OF EQUIPMENT OR THE STORAGE OF EQUIPMENT, MATERIALS, DEBRIS, OR FILL WITHIN THE TPZ OF ANY TREE WHICH IS BEING PROTECTED IS NOT ALLOWED.
 - THE CONTRACTOR SHALL INSPECT ALL TREE PROTECTION BARRICADES AND SIGNS ON A WEEKLY BASIS DURING THE COURSE OF CONSTRUCTION. ANY BARRICADE OR SIGN WHICH HAS BEEN DAMAGED OR IS MISSING SHALL BE REPLACED IMMEDIATELY.
 - IF ANY TREE WHICH HAS NOT BEEN APPROVED TO BE REMOVED IS DESTROYED, OR RECEIVES MAJOR DAMAGE DURING THE EXCEPTION OF NATURAL EVENTS, SO AS TO PLACE ITS LONG TERM SURVIVAL IN QUESTION, THE TREE(S) MUST BE REPLACED ON A INCH-TO-INCH BASIS OF THE TOTAL (COMBINED) DBH OF THE TREE(S) SO DESTROYED OR DAMAGED. THE REPLACEMENT SHALL BE OF A COMPARABLE SPECIES OF THE DESTROYED OR DAMAGED TREE(S) WITH A MINIMUM REPLACEMENT SIZE OF 3.5-INCH CALIPER. THE RIGHT TO ESTABLISH A REPLACEMENT VALUE FOR SUCH TREES AND PAYMENT INTO THE TREE MITIGATION FUND MAY BE AT THE DISCRETION OF THE CITY'S LANDSCAPE ARCHITECT.



WALLACE L. BRINKMAN III
PROFESSIONAL ENGINEER
REGISTRATION NO. 82306
STATE OF FLORIDA

06/29/18
DATE

JOB No.
18_05212800000025

DATE
06-29-2018

SCALE
AS SHOWN

SHEET
C2.0

ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying
1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 622-9214 • Lic. Bus. #4074

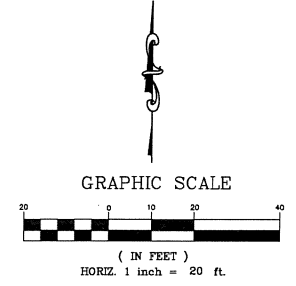
A FINAL DEVELOPMENT SITE PLAN
FOR
AUTOZONE
CITY OF APOPKA, FL
Erosion Control & Tree Removal Plan

REVISION

DATE

AUTOZONE GENERAL NOTES:

- Property line and right-of-way monuments shall not be disturbed by construction. If disturbed, they shall be reset to their original locations at the Contractor's expense by a Registered Land Surveyor.
- Proof Roll Building and all parking areas. Notify AutoZone Inc. of any unacceptable areas.
- Building dimensions shown on the Civil Engineering Plans are for reference purposes only. Contractor shall use the Architectural and Structural Plans for exact Building dimensions.
- All site dimensions are referenced to the face of curbs or edge of paving unless otherwise noted.
- All sidewalks, curb and gutter, street paving, curb cuts, driveway approaches, handicap ramps, etc. constructed outside the property line in the right-of-way shall conform to all municipal and/or State specifications and requirements.
- All disturbance incurred to any adjoining property due to construction or demolition shall be restored to the previous condition or better, and to the satisfaction of the City or State Authority.
- The Contractor shall provide As-Built records of all construction (including underground utilities) to AutoZone Inc. at the end of construction.
- Information on existing utilities has been compiled from available information including utility company and municipal record maps and field survey and is not guaranteed correct and complete. Utilities are shown to alert the Contractor to their presence and the Contractor is solely responsible for determining actual locations and elevations of all utilities including services. Prior to demolition or construction, the Contractor shall contact "SUNSHINE 811" 72 hours before commencement of work at 1-800-432-4770 and verify all utility locations.
- The Contractor shall abide by all OSHA, Federal, State and Local Regulations when operating cranes, booms, hoists, ETC., in close proximity to overhead electric lines. If Contractor must operate equipment close to electrical lines, contact Power Company to make arrangements for proper safeguards.
- The Contractor shall obtain Florida Department of Transportation permits for work within the road right-of-ways, including local curb cut permit, sewer and water connection permit and erosion control bond if required before the start of any activity. The Contractor shall post all bonds, pay all fees, provide proof of insurance, and provide traffic protection necessary for the work.
- The Contractor shall provide and maintain traffic devices for protection of vehicles and pedestrians consisting of drums, barriers, signs, lights, fences and uniformed traffic officers as required, ordered by AutoZone or required by the Local Governing Authority.
- All material schedules shown on the plans are for general information only. The Contractor shall prepare his own material schedules based upon his plan review. All schedules shall be verified in the field by the Contractor prior to ordering materials or performing work.

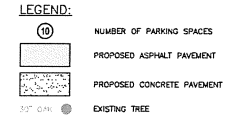


KEYNOTES

- Building & Paving**
- Concrete curb - Type "D" per FDOT Index #300
 - Concrete paving - see detail 4/C1.A. Expansion and Control joints - see details 21 & 22/C6.0. Maximum spacing for Control joints is 15'-0" o.c. each way.
 - Asphalt paving - see detail 5/C6.0
 - Handicap parking area - see details 6 & 7/C6.0
 - Handicap parking sign - see detail 12/C6.0
 - Pipe guard - see details 14, 15 & 16/C6.0
 - Concrete sidewalk - see detail 19 & 20/C6.0 for sidewalks around building.
 - Dumpster layout - 6' high wood enclosure w/ gates - see details 8, 9, 10 & 11/C6.0
 - 6'-0" long concrete wheel stop, pinned to pavement - see detail 17/C6.0. Locate 2'-0" from face of curb or sidewalk.
 - Monument Sign. See signage drawings (Under separate permit)
 - 4" wide parking stripe painted white (typ.)
 - 4" wide diagonal stripes painted white @ 2 ft. o.c.
 - Concrete handicap ramp - maximum slope 1:12 (8.33%) (per A.D.A. requirements). Maximum cross slope 1:50 (2.00%)
 - New landscape area - provide sod and 3" topsoil - see sheet L001 for additional information
 - Drainage downspout connection location - see detail 3/C6.0
 - 5' x 5' concrete pad
 - Stop Sign - see detail 26/C6.0
 - Pavement markings - see detail 24 & 25/C6.0
 - New sidewalk to meet all local & state D.O.T. requirements
 - Crosswalk pavement markings - 12" white 3' O/C
 - Concrete transformer pad
 - Concrete light pole bases - see sheet LP-1 for lighting specifications. Locate 3'-0" from back of curb or sidewalk to center of base. Aim light fixture in direction as indicated.
 - Asphalt speed bump - 18" wide x 3.5" max. height
 - Segmental retaining wall with safety railing - see Paverscape plans (separate permit required)
 - 4' decorative fence - see Note #1
 - 3-loop wave style bike rack (5-bike capacity) (or approved equal)

NOTES:

- ALL REQUIRED FENCING SHALL BE OF A DECORATIVE TYPE AND SHALL BE IN KEEPING WITH THE REQUIRED BUFFER TREATMENTS, CHARACTER, AND ARCHITECTURE OF THE PROJECT. CHAIN-LINK AND/OR STOCKADE FENCING SHALL NOT BE USED.
- THE WALL AND GROUND SIGNS ARE TO BE PERMITTED SEPARATELY.



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06/29/18
DATE

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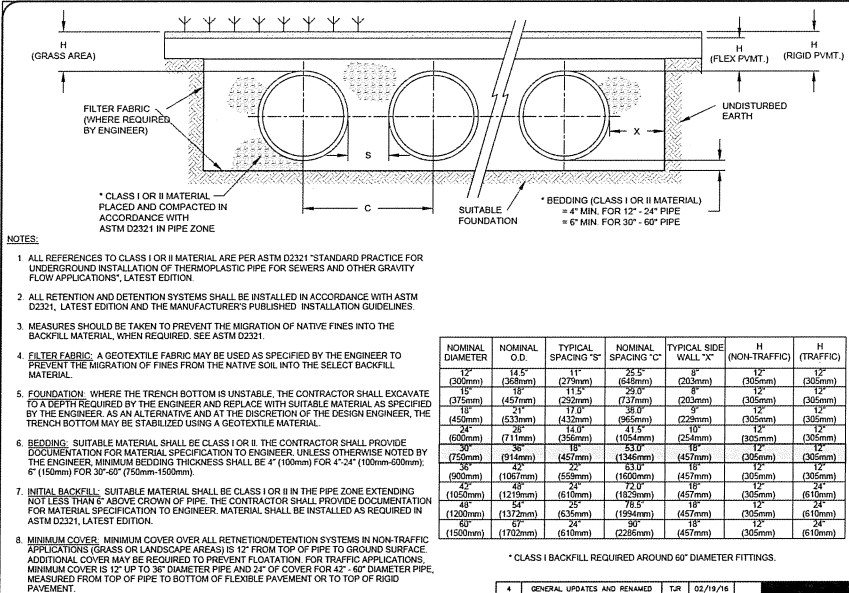
A FINAL DEVELOPMENT SITE PLAN
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Site Layout Plan

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SCALE
AS SHOWN

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NOTES:

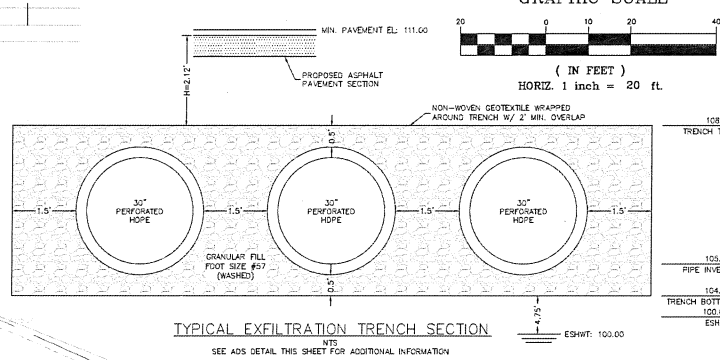
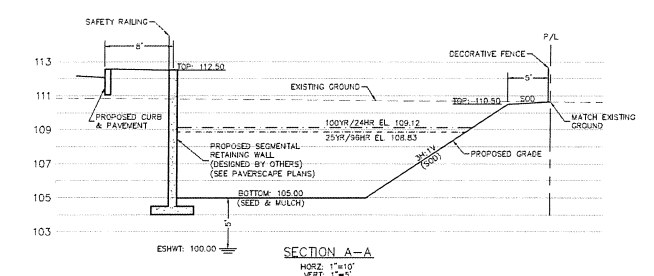
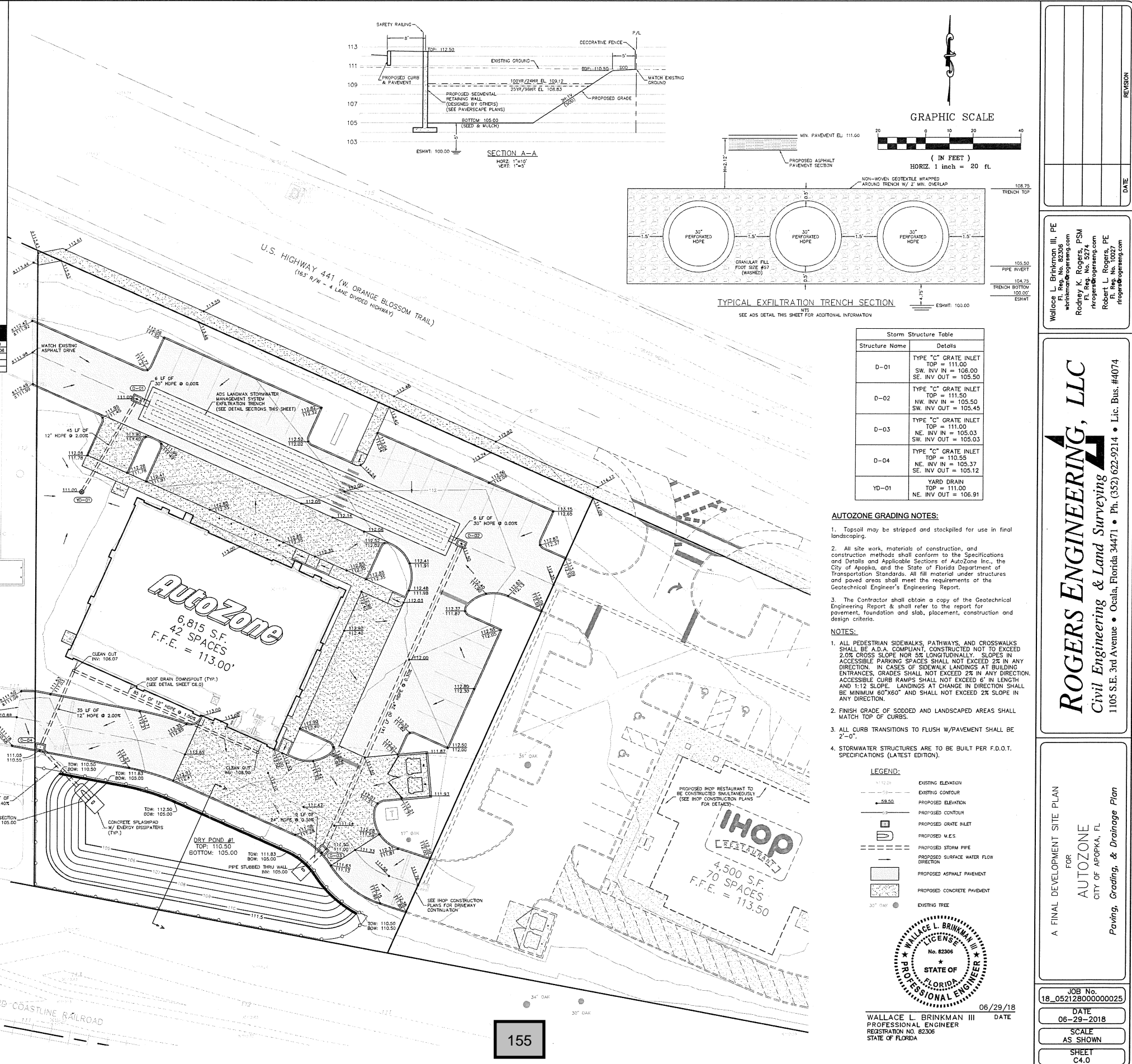
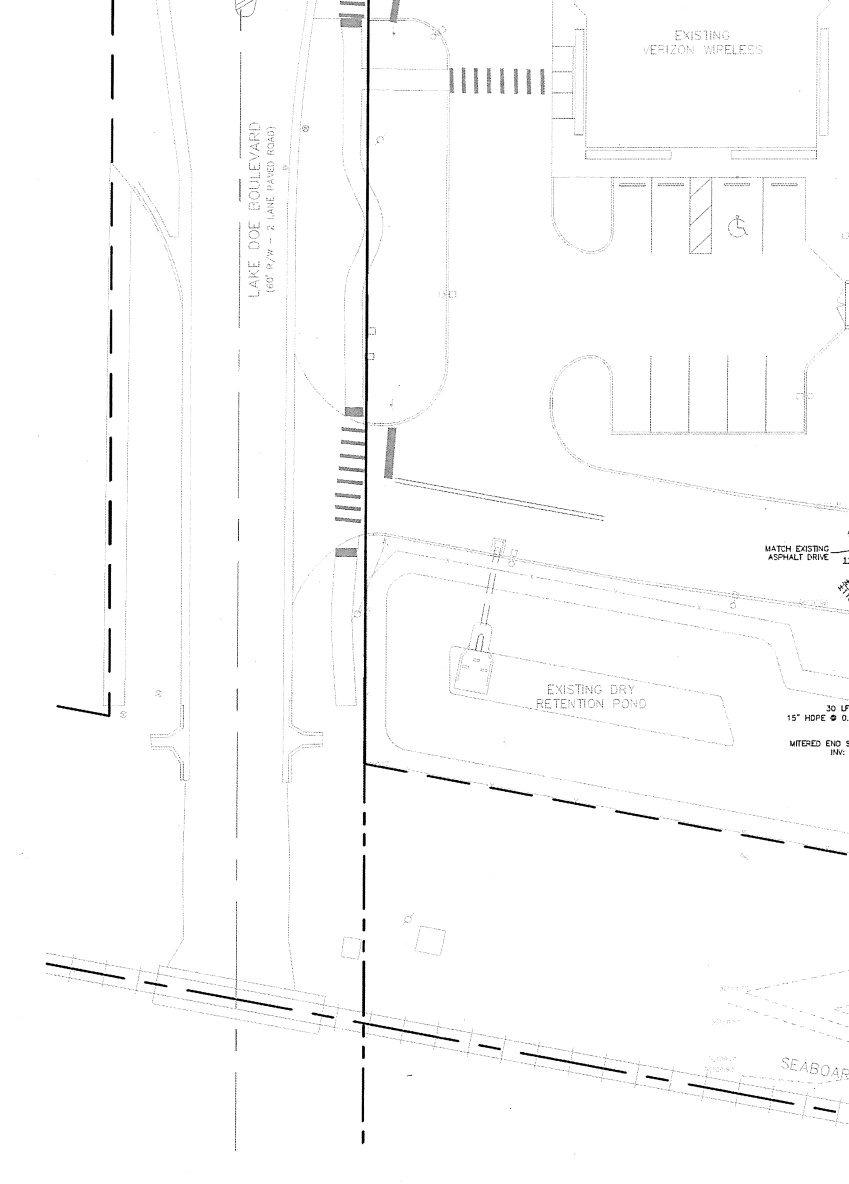
- ALL REFERENCES TO CLASS I OR II MATERIAL ARE PER ASTM D2321 "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
- ALL RETENTION AND DETENTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, LATEST EDITION AND THE MANUFACTURER'S PUBLISHED INSTALLATION GUIDELINES.
- MEASURES SHOULD BE TAKEN TO PREVENT THE MIGRATION OF NATIVE FINES INTO THE BACKFILL MATERIAL WHEN REQUIRED. SEE ASTM D2321.
- FILTER FABRIC: A GEOTEXTILE FABRIC MAY BE USED AS SPECIFIED BY THE ENGINEER TO PREVENT THE MIGRATION OF FINES FROM THE NATIVE SOIL INTO THE SELECT BACKFILL MATERIAL.
- FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
- BEDDING: SUITABLE MATERIAL SHALL BE CLASS I OR II. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4" (100mm-300mm), 6" (150mm) FOR 30" (750mm-1500mm).
- INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I OR II IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
- MINIMUM COVER: MINIMUM COVER OVER ALL RETENTION/DETENTION SYSTEMS IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER IS 12" UP TO 36" DIAMETER PIPE AND 24" OF COVER FOR 42" - 60" DIAMETER PIPE. MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

NOMINAL DIAMETER	NOMINAL O.D.	TYPICAL SPACING "C"	NOMINAL SPACING "C"	TYPICAL SIDE WALL "X"	H (NON-TRAFFIC)	H (TRAFFIC)
12" (300mm)	14.5" (368mm)	11" (279mm)	25.5" (648mm)	8" (203mm)	12" (305mm)	12" (305mm)
15" (375mm)	18" (457mm)	11.5" (292mm)	29" (737mm)	8" (203mm)	12" (305mm)	12" (305mm)
18" (450mm)	21" (533mm)	12" (305mm)	33" (838mm)	8" (203mm)	12" (305mm)	12" (305mm)
24" (600mm)	28" (711mm)	13" (330mm)	41.5" (1054mm)	8" (203mm)	12" (305mm)	12" (305mm)
30" (750mm)	36" (914mm)	14" (354mm)	51" (1296mm)	8" (203mm)	12" (305mm)	12" (305mm)
36" (900mm)	42" (1067mm)	15" (381mm)	61" (1549mm)	8" (203mm)	12" (305mm)	12" (305mm)
42" (1050mm)	48" (1219mm)	16" (406mm)	71" (1791mm)	8" (203mm)	12" (305mm)	12" (305mm)
48" (1200mm)	54" (1372mm)	17" (432mm)	81" (2057mm)	8" (203mm)	12" (305mm)	12" (305mm)
54" (1350mm)	60" (1524mm)	18" (457mm)	91" (2309mm)	8" (203mm)	12" (305mm)	12" (305mm)
60" (1500mm)	66" (1676mm)	19" (483mm)	101" (2561mm)	8" (203mm)	12" (305mm)	12" (305mm)

* CLASS I BACKFILL REQUIRED AROUND 60" DIAMETER FITTINGS.

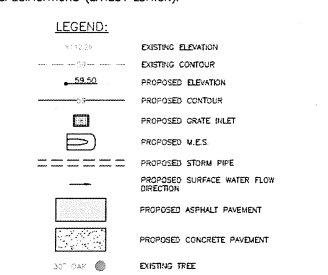
REV.	DESCRIPTION	DATE	BY	CHK'D	APP'D
1	GENERAL UPDATES AND RENAMED	02/19/16	MM/20/YY	CHD	WLS
2	RETENTION-DETENTION SYSTEM (CROSS-SECTION)	02/25/06			WLS

DRAWING NUMBER: STD-702



Structure Name	Details
D-01	TYPE "C" GRATE INLET TOP = 111.00 SW. INV. IN = 106.00 SE. INV. OUT = 105.50
D-02	TYPE "C" GRATE INLET TOP = 111.50 NW. INV. IN = 105.50 SW. INV. OUT = 105.45
D-03	TYPE "C" GRATE INLET TOP = 111.00 NE. INV. IN = 105.03 SW. INV. OUT = 105.03
D-04	TYPE "C" GRATE INLET TOP = 110.55 NE. INV. IN = 105.37 SE. INV. OUT = 105.12
YD-01	YARD DRAIN TOP = 111.00 NE. INV. OUT = 106.91

- AUTOZONE GRADING NOTES:**
- Topsell may be stripped and stockpiled for use in final landscaping.
 - All site work, materials of construction, and construction methods shall conform to the Specifications and Details and Applicable Sections of AutoZone Inc., the City of Apopka, and the State of Florida Department of Transportation Standards. All fill material under structures and paved areas shall meet the requirements of the Geotechnical Engineer's Engineering Report.
 - The Contractor shall obtain a copy of the Geotechnical Engineering Report & shall refer to the report for pavement, foundation and slab, placement, construction and design criteria.
- NOTES:**
- ALL PEDESTRIAN SIDEWALKS, PATHWAYS, AND CROSSWALKS SHALL BE A.D.A. COMPLIANT, CONSTRUCTED NOT TO EXCEED 2.0% CROSS SLOPE NOR 5% LONGITUDINALLY. SLOPES IN ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2% IN ANY DIRECTION. IN CASES OF SIDEWALK LANDINGS AT BUILDING ENTRANCES, GRADES SHALL NOT EXCEED 2% IN ANY DIRECTION. ACCESSIBLE CURB RAMP SHALL NOT EXCEED 6' IN LENGTH AND 1:12 SLOPE. LANDINGS AT CHANGE IN DIRECTION SHALL BE MINIMUM 60"x60" AND SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
 - FINISH GRADE OF SODDED AND LANDSCAPED AREAS SHALL MATCH TOP OF CURBS.
 - ALL CURB TRANSITIONS TO FLUSH W/PAVEMENT SHALL BE 2'-0".
 - STORMWATER STRUCTURES ARE TO BE BUILT PER F.D.O.T. SPECIFICATIONS (LATEST EDITION).



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A FINAL DEVELOPMENT SITE PLAN
FOR
AUTOZONE
CITY OF APOPKA, FL
Paving, Grading, & Drainage Plan

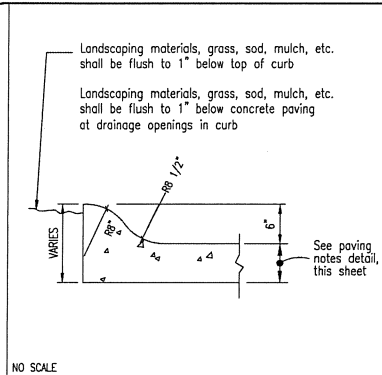
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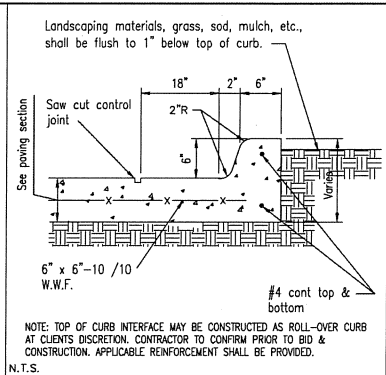
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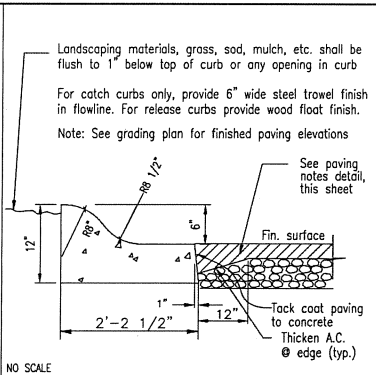
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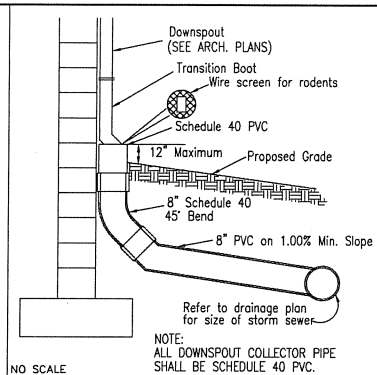
1 TYPICAL ROLL-OVER CURB



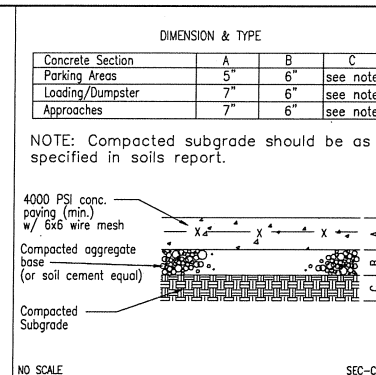
1A CONCRETE MONOLITHIC CURB



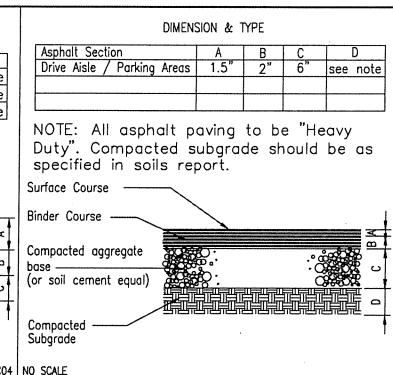
2 ROLL-OVER CURB at ASPHALT PAVING



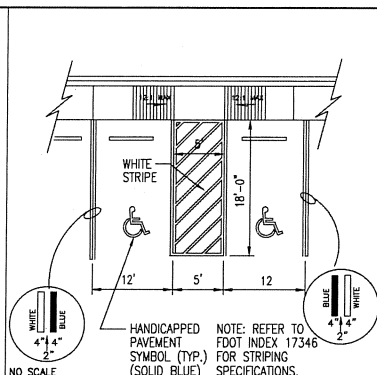
3 DOWNSPOUT DETAIL



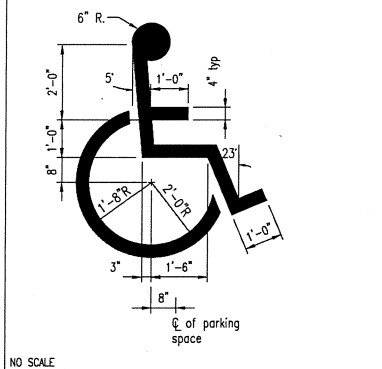
4 CONCRETE PAVING SECTION



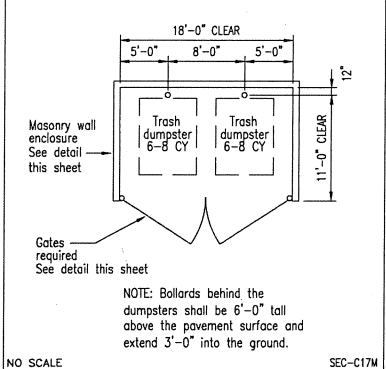
5 ASPHALT PAVING SECTION



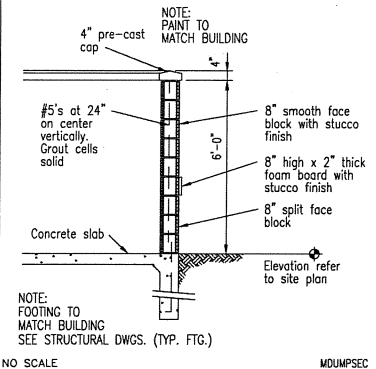
6 HANDICAP PARKING DETAIL



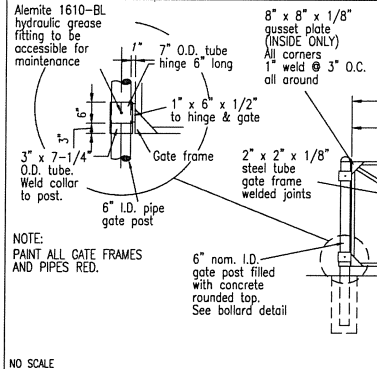
7 INT'L BARRIER FREE SYMBOL



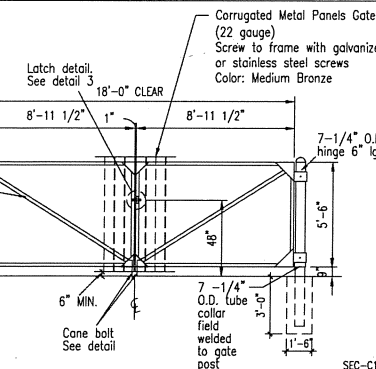
8 DUMPSTER LAYOUT



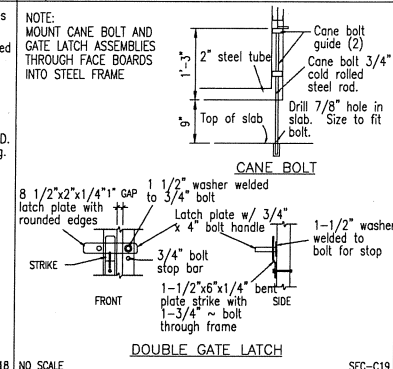
9 DUMPSTER SECTION



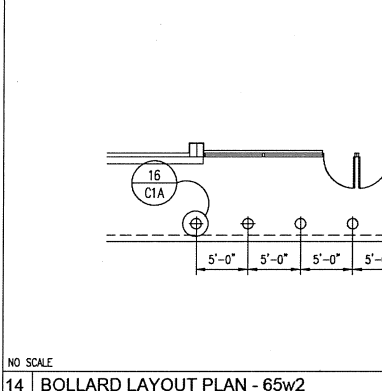
10 GATE DETAIL FOR DUMPSTER ENCLOSURE



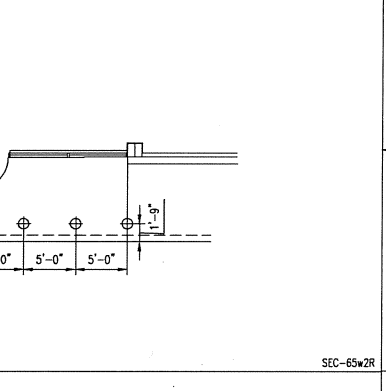
11 GATE LATCH / BOLT DETAILS



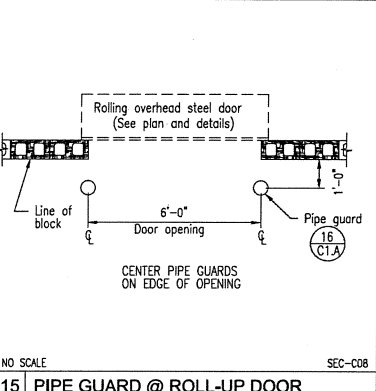
12 TYPICAL HANDICAP SIGN



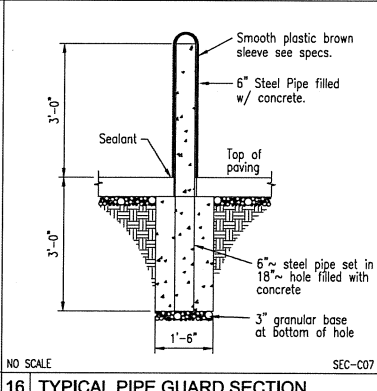
14 BOLLARD LAYOUT PLAN - 65w2



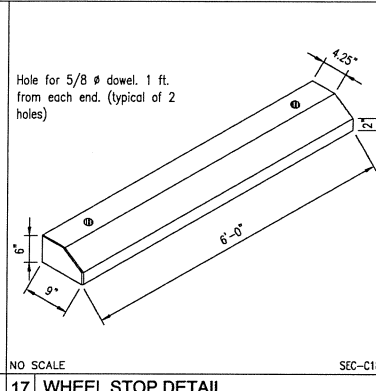
15 PIPE GUARD @ ROLL-UP DOOR



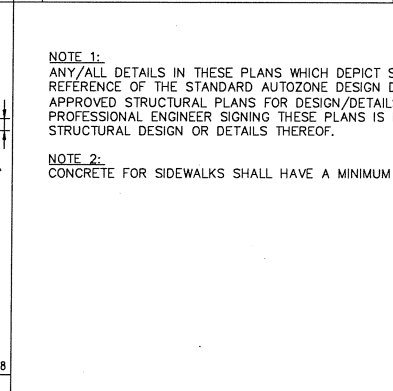
16 TYPICAL PIPE GUARD SECTION



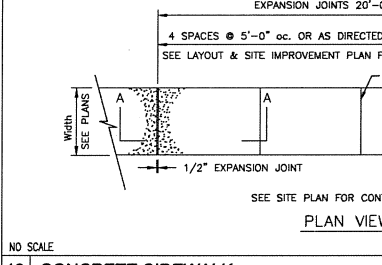
17 WHEEL STOP DETAIL



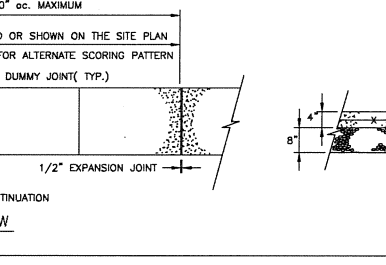
20 TYPICAL WALK SECTION



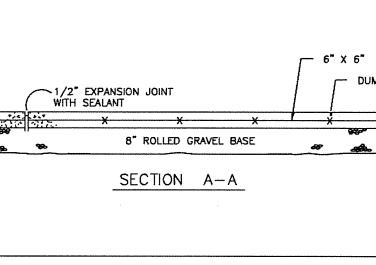
21 TYPICAL EXPANSION JOINT



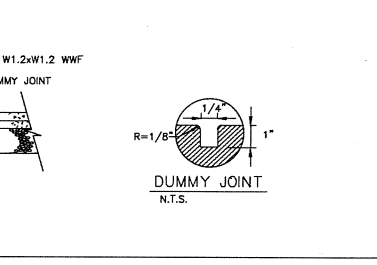
19 CONCRETE SIDEWALK



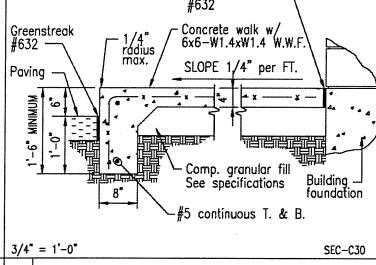
23 HANDICAP PARKING RAMP



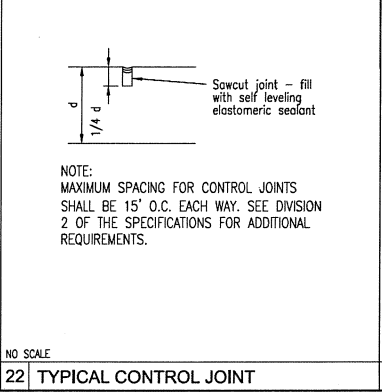
24 TYPICAL PAVEMENT MARKINGS



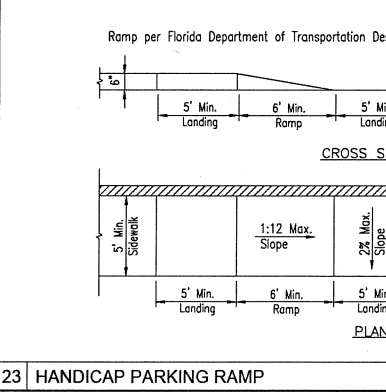
25 TYPICAL PAVEMENT MARKINGS



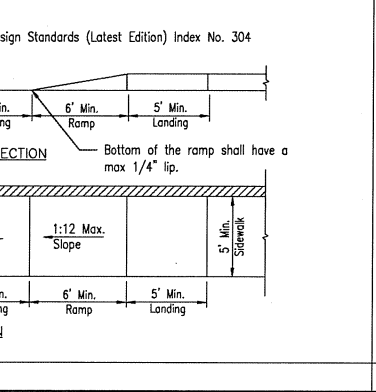
26 STOP SIGN DETAIL



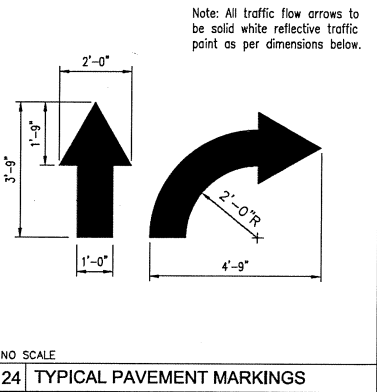
22 TYPICAL CONTROL JOINT



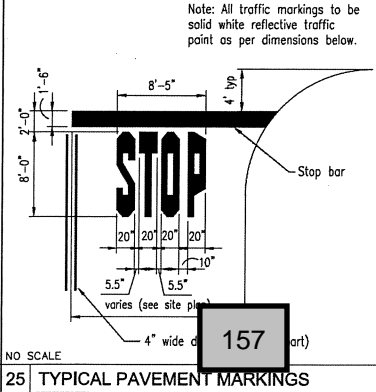
23 HANDICAP PARKING RAMP



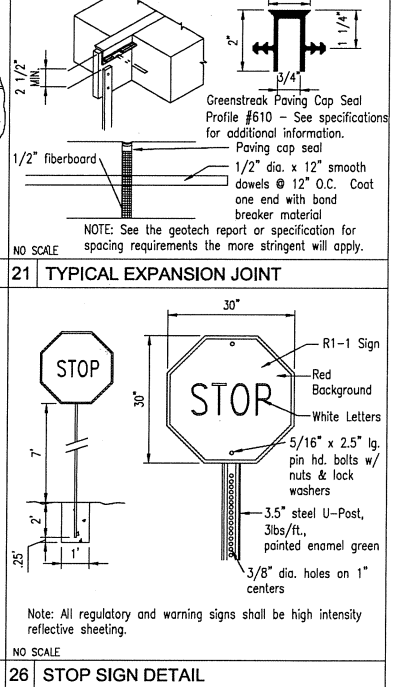
24 TYPICAL PAVEMENT MARKINGS



25 TYPICAL PAVEMENT MARKINGS



26 STOP SIGN DETAIL



26 STOP SIGN DETAIL

NO.	REVISION	DATE

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A FINAL DEVELOPMENT SITE PLAN
 FOR
AUTOZONE
 CITY OF APOPKA, FL
 General Construction Details

WALLACE L. BRINKMAN III
 LICENSE
 No. 82306
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER

06/29/18
 WALLACE L. BRINKMAN III
 PROFESSIONAL ENGINEER
 REGISTRATION NO. 82306
 STATE OF FLORIDA

JOB No.
 18_052128000000025

DATE
 06-29-2018

SCALE
 AS SHOWN

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RILEY & Company, Inc. (ECONO - GP) [©]

SCOPE: Supply one complete ECONO-GP Pre-Fab Lift Station, per design.

Pumps shall be capable of grinding and pumping domestic & commercial sewage.

Complete system shall be supplied by:

RILEY & Company, Inc.
Sanford, FL 32773 (Ph. 407-265-9963)

NO SUBSTITUTIONS - NO ALTERNATES

PUMPS: Submersible grinder pumps shall be HOMA Model GRP. The pumps shall be installed in the ECONO-GP FRP wetwell utilizing a dual slide rail system. The grinder unit shall be capable of macerating materials normally found in domestic and commercial sewage into a fine slurry which will pass through the pump and the Sch.80 PVC discharge piping.

Oil filled motors are not considered equal to air filled motors and therefore will not be considered an equal to the HOMA PUMPS.

Stator winding shall be open type with Class F insulation and shall be heat-shrink fitted into the stator housing. The use of pins, bolts, or other fastening devices is not acceptable.

A heat sensor thermostat shall be attached to the top end of the motor winding and shall be connected in series with the magnetic contactor coil in the control panel to stop motor if winding temperature exceeds 140 C., but shall automatically reset when the winding temperature returns to normal. Two heat sensor thermostats shall be used on three phase motors.

The pump motor grinder shaft shall be AISI 430F SS threaded to take the pump impeller and the grinder impeller.

Upper & lower mechanical seals shall be Silicon Carbide vs Silicon Carbide.

DUPLEX CONTROL PANEL:

Control panel shall be assembled and built by a TUV (UL508A CERTIFIED) manufacturing facility.

The Enclosure shall be NEMA 4X, Fiberglass, minimum 18" high x 16" wide x 6" deep with padlockable draw latches.

The enclosure shall have external mounting feet to allow for wall mounting. All hardware shall be stainless steel.

The following components shall be mounted through the enclosure:

- 1- ea. Red Alarm Beacon (Light)
- 1- ea. Alarm Horn
- 1- ea. Generator Receptacle w/ weatherproof cover
- 1- ea. Alarm Silence Pushbutton

The backpanel shall be fabricated from .125, 5052-H32 marine alloy aluminum. All components shall be mounted by machined stainless steel screws.

The following components shall be mounted to backpanel:

- 2- ea. Motor Contactors
- 1- ea. Silence Relay
- 1- ea. Duplex Alternator
- 20- ea. Terminals For Field Connections
- 6- ea. Terminals For Motor Connections (Single Phase Only)
- 3- ea. Grounding Lugs
- 1- ea. Battery Back-Up for HL Alarm

The following components shall be included:

- 1- ea. Main Circuit Breaker
- 1- ea. Emergency Circuit Breaker
- 1- ea. Mechanical Interlock For Emergency And Main Breakers
- 2- ea. Short Circuit Protectors
- 1- ea. Control Circuit Breaker
- 1- ea. Hand-Off-Auto Selector Switches
- 2- ea. Pump Run Pilot Lights

COMPONENT SPECIFICATIONS:

All circuit breakers shall be molded thermal magnetic. The mechanical interlock shall prevent the normal and emergency main breakers being energized at the same time.

An emergency generator receptacle shall be supplied in accordance with DEP standards. The generator receptacle shall be adequately sized to meet the equipment operating conditions.

All motor short circuit protection devices must provide for undervoltage release and class 10 overload protection on all three phases. Visible trip indication, test, and reset capability must be provided without opening inner door. Open frame, across the line, contactors shall be rated per IEC standards and properly sized per the motor requirements. Contactors shall provide for safe touch power and control terminals.

Lightning Arrestor shall meet or exceed the requirements of ANSI/IEEE Std. C62.21-1984 section 8.6.1. and 8.7.3 shall be supplied by electrician and mounted on the bottom side of the switch disconnect ahead of the pump control panel.

A green pilot light shall be supplied for each motor. The pilot light shall illuminate each time the motor is called to run. A red pilot light shall be supplied for control power. The pilot light shall illuminate when the control power is available inside the control panel.

Relays shall be ice-cube plug in type. Relay contacts shall be rated 10 amp minimum, DPDT. Twenty (20) terminals shall be supplied for field connections. The terminals shall be rated 25 amps minimum.

Each motor over-temperature contact shall be connected to the terminal strip and shall open a contact to de-energize the appropriate motor upon a high temperature within the motor. Ground lugs shall be supplied and appropriately sized for each motor and for service entrance.

MISCELLANEOUS:

The control panel shall be assembled by a TUV (UL508A Certified) manufacturing facility.

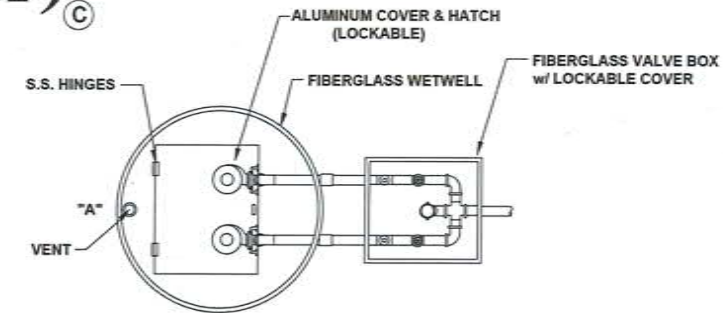
FASTNERS & APPURTANCES: All fasteners, lifting cables, float cable bracket, hinges, and appurtances shall be made of AISI 304SS.

A 304SS slide/latch assembly shall be provided for holding the doors open on the wetwell and valve box. Slide rails shall be made of SCH.40 AISI 304SS pipe. Pump lifting cables shall be made of AISI 304 SS. Pump lifting bales shall be made of AISI 304 SS.

EXECUTION:

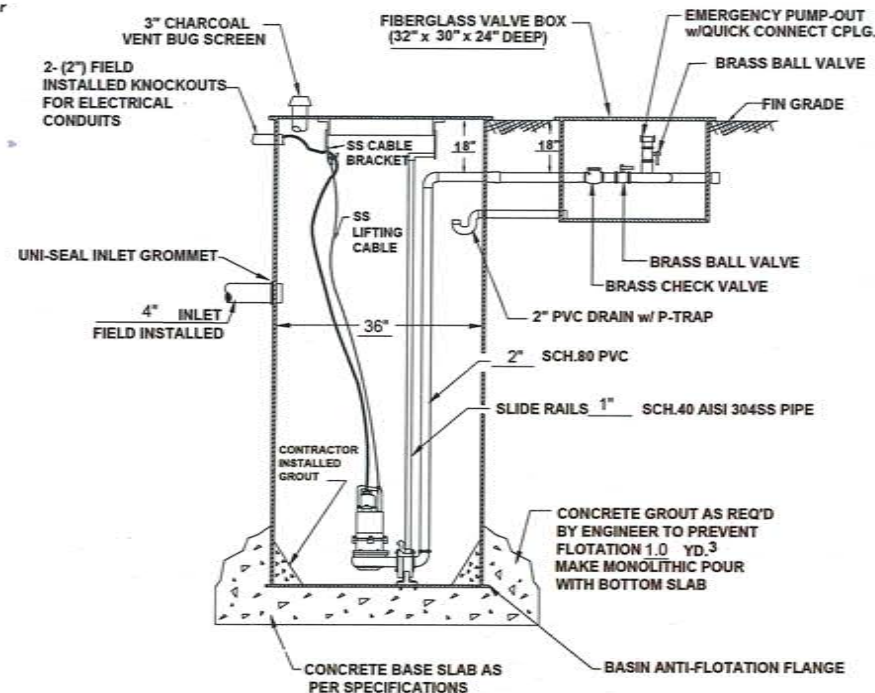
Installation shall be in strict accordance with the manufacturer's recommendations in the locations shown on the drawing.

INSPECTION & TESTING: A factory representative shall be provide for a one (1) time start-up and shall have complete knowledge of the proper operation and maintenance of complete system. Megger the motors. The pump motors shall be megged out prior to the start-up to ensure that the insulation of the pump motor/cable is intact. The pump controls and pumps shall be checked for mechanical reliability and proper operation.

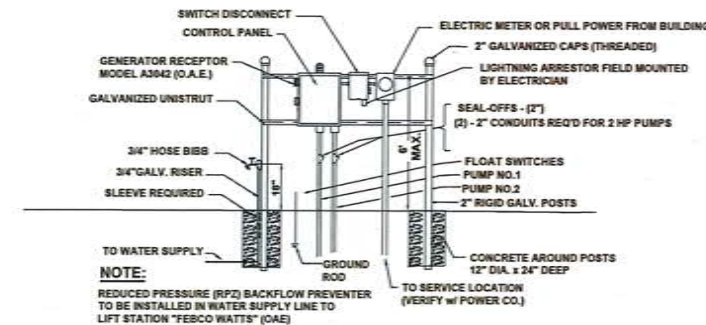


NOTE: PUMP CONTROL PANEL SHALL BE LOCATED 3 FEET FROM WETWELL PERIMETER AT POINT "A"

LIFT STATION PLAN



LIFT STATION SECTION



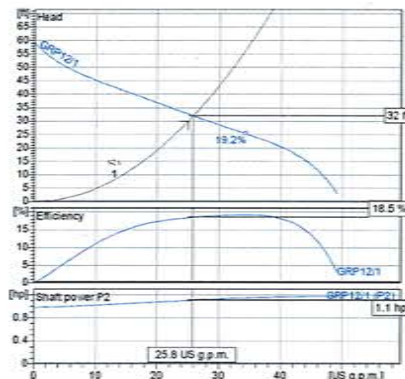
ELECTRICAL RISER FOR ILLUSTRATION ONLY

PUMP DATA		ELEVATIONS	
PRIMARY PUMP CAPACITY	26 GPM	TOP OF WETWELL	112.50
PRIMARY TDH	32 TDH	INLET INVERT	108.50
PUMP MANUFACTURER	HOMA	HIGH LEVEL ALARM	108.00
PUMP MODEL #	GRP12/1	2nd PUMP ON	107.50
R.P.M.	3450	1st PUMP ON	107.00
HORSEPOWER	1.2	PUMPS OFF	106.50
ELECTRICAL/ VOLTS / PHASE	230/1	BOTTOM OF WETWELL	105.50
PUMP DISCHARGE SIZE	1.25"	WETWELL DIAMETER	36"
IMPELLER DIAMETER	4.41"		

*** ELECTRICIAN NOTES:**

1. DRAWING NOT TO SCALE
2. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES
3. ELECTRICIAN SHALL SEAL OFF CONDUIT RUNS
4. ELECTRICIAN TO MOUNT LIGHTNING ARRESTOR AT SWITCH DISCONNECT
5. CONTRACTOR SHALL VERIFY POWER SOURCE PRIOR TO ORDERING EQUIPMENT

RILEY & CO. / ECONO - GP 06-11-18

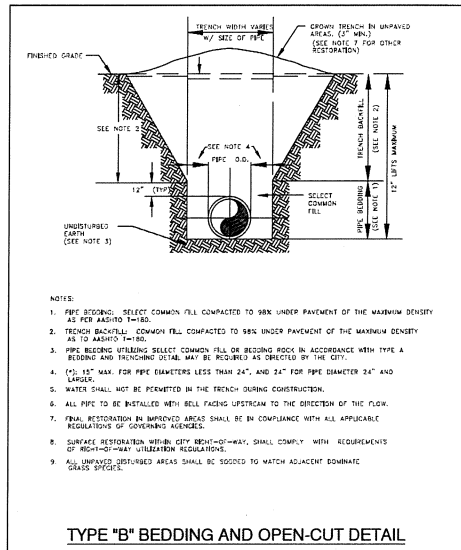


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 No. 82306
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER

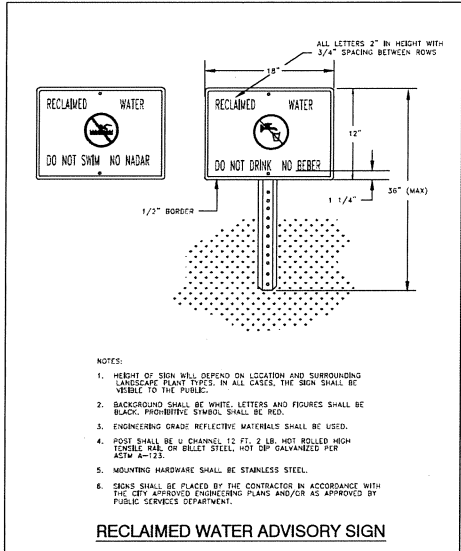
ROGERS ENGINEERING, LLC
 Civil Engineering & Land Surveying
 1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 622-9214 • Lic. Bus. #4074

A FINAL DEVELOPMENT SITE PLAN FOR AUTOZONE CITY OF APOPKA, FL Private Lift Station Details

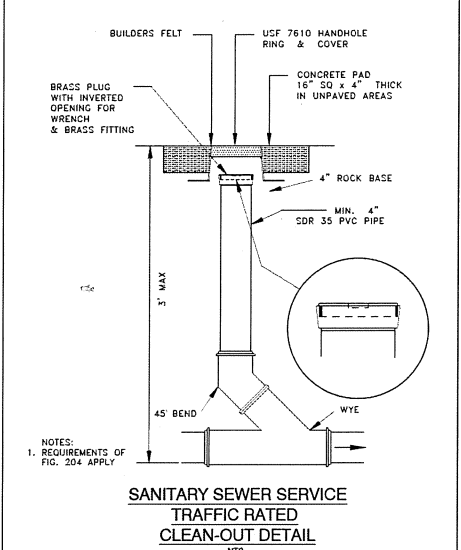
JOB No. 18_052128000000025
 DATE 06-29-2018
 SCALE AS SHOWN
 SHEET 06.1



CITY OF APOPKA JANUARY 2014 FIG. 100



CITY OF APOPKA JANUARY 2014 FIG. 115



CITY OF APOPKA JANUARY 2014 FIG. 205

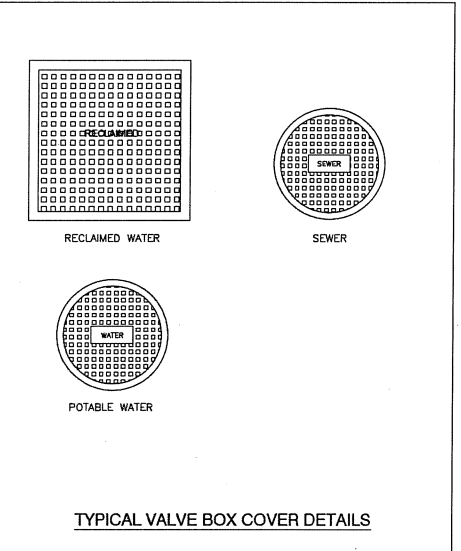
HORIZONTAL & VERTICAL SEPARATION REQUIREMENTS

PROPOSED UTILITY	HORIZONTAL SEPARATION REQUIREMENTS				VERTICAL SEPARATION REQUIREMENTS			
	SEWER	WATER	RECLAIMED WATER	TELEPHONE	SEWER	WATER	RECLAIMED WATER	TELEPHONE
SEWER	12"	12"	12"	12"	18"	18"	18"	18"
WATER	12"	12"	12"	12"	18"	18"	18"	18"
RECLAIMED WATER	12"	12"	12"	12"	18"	18"	18"	18"
TELEPHONE	12"	12"	12"	12"	18"	18"	18"	18"

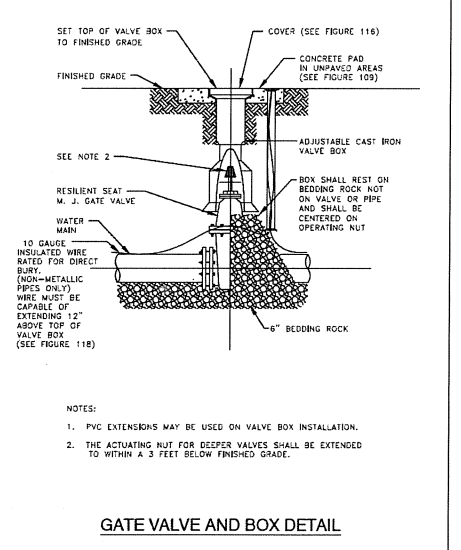
GENERAL NOTES:

- THE TABLE REPRESENTS THE MINIMUM SEPARATION REQUIREMENTS AS DESCRIBED IN F.P.C.A. RULES OF THE FLORIDA ADMINISTRATION CODE (F.A.C.). THESE SEPARATION REQUIREMENTS SHALL APPLY BETWEEN NEARLY ADJACENT UTILITY LINES AND EXISTING OR PROPOSED UTILITY LINES.
- FOR THE PURPOSE OF THIS TABLE, RECLAIMED WATER SHALL HAVE UNREINFORCED POLYETHYLENE GLASS REINFORCED PLASTIC (FRP) OR OTHER TYPE OF RECLAIMED WATER ARE CONSIDERED SANITARY AND SEPARATION DETAIL FOR SANITARY TRENCH SHALL APPLY.
- ALL SEPARATION DISTANCES ARE FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE UNLESS OTHERWISE SPECIFIED. SEPARATION PRODUCING GREATER CLEARANCE SHALL BE USED.
- C/S = DENOTES CENTER OF PIPE TO CENTER OF PIPE.
- S/O = DENOTES SURFACE OF PIPE TO CENTER OF PIPE.
- ACCEPTABLE VARIANCES:
 - WHERE HORIZONTAL SEPARATION IS NOT ATTAINABLE, PVC-1100 SDR-14 OR CONCRETE ENCASUREMENT MUST BE USED FOR THE SANITARY TRENCH FOR AT LEAST ONE OF THE PIPES. PER 202.14 OF CONCRETE ENCASUREMENT MUST BE USED UNTIL MINIMUM CLEARANCE IS OBTAINED.
 - WHERE 18 INCH VERTICAL SEPARATION IS NOT ATTAINABLE AT CROSSINGS, THE ONE FULL LENGTH OF PVC-1100 SDR-14 FOR SANITARY TRENCH OR UNREINFORCED FRP CONFINED AT THE POINT OF CROSSING SHALL BE USED.
- NO WATER PIPE SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF A SANITARY OR SEWER MAIN UNLESS APPROVED BY PUBLIC SERVICES DIRECTOR OR HIS DESIGNEE.
- CONCRETE ENCASUREMENT SHALL NOT BE USED UNLESS APPROVED BY PUBLIC SERVICES DIRECTOR OR HIS DESIGNEE.

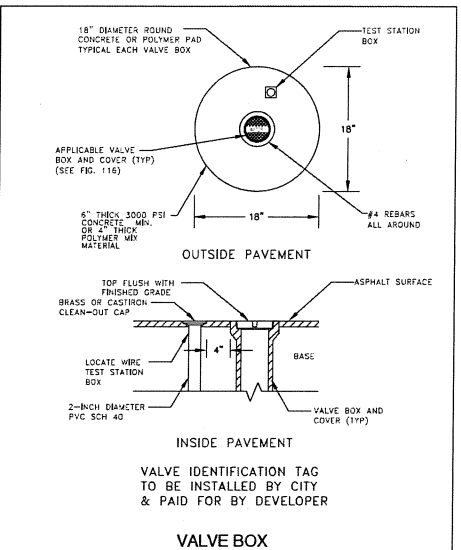
CITY OF APOPKA JUNE 2012 FIG. 104



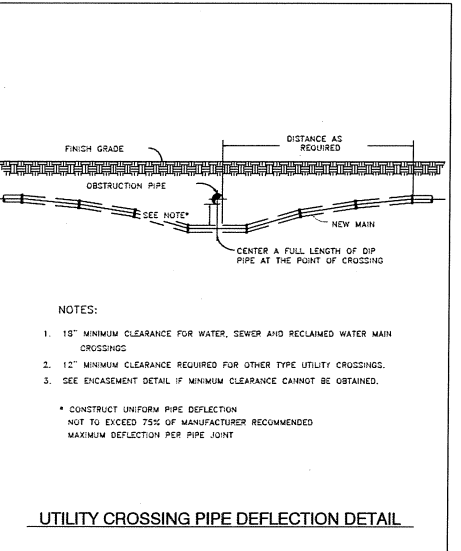
CITY OF APOPKA JANUARY 2014 FIG. 116



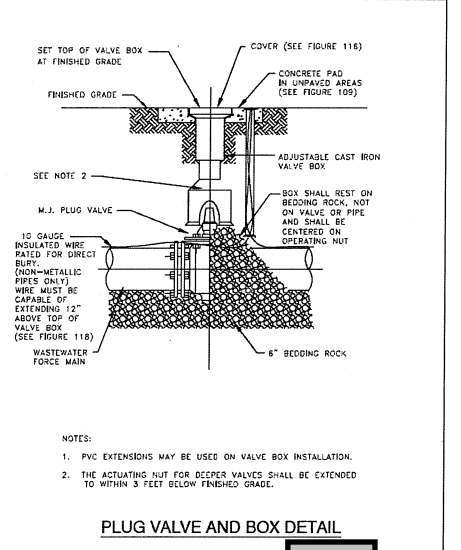
CITY OF APOPKA JANUARY 2014 FIG. 400



CITY OF APOPKA JANUARY 2014 FIG. 109



CITY OF APOPKA JANUARY 2014 FIG. 117



CITY OF APOPKA JANUARY 2014 159 400 A

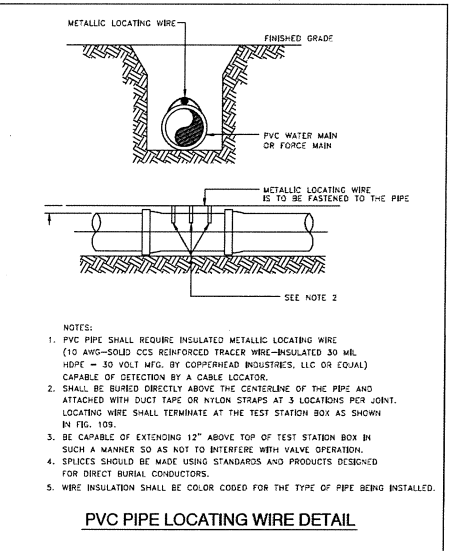
PIPE AND APPURTENANCES PRESSURE RATING

PSI	DI FITTINGS		PIPE MATERIAL*		GATE VALVE**		FORCE MAIN*
	≤24"	>24"	PVC	DI HDPE	≤12"	>12"	PVC HDPE
100							
150							
200							
250							
350							

* PVC SHALL HAVE A MAXIMUM DIMENSION RATIO (DR) OF 12 AND HDPE SHALL BE MAX DR11. FORCE MAIN: PVC SHALL BE MAX DR16 UNLESS DESIGN REQUIRES OTHERWISE AND HDPE SHALL BE MAX DR17.

** BUTTERFLY VALVES SHALL BE CLASS 150B

CITY OF APOPKA JANUARY 2014 FIG. 110



CITY OF APOPKA JANUARY 2014 FIG. 118

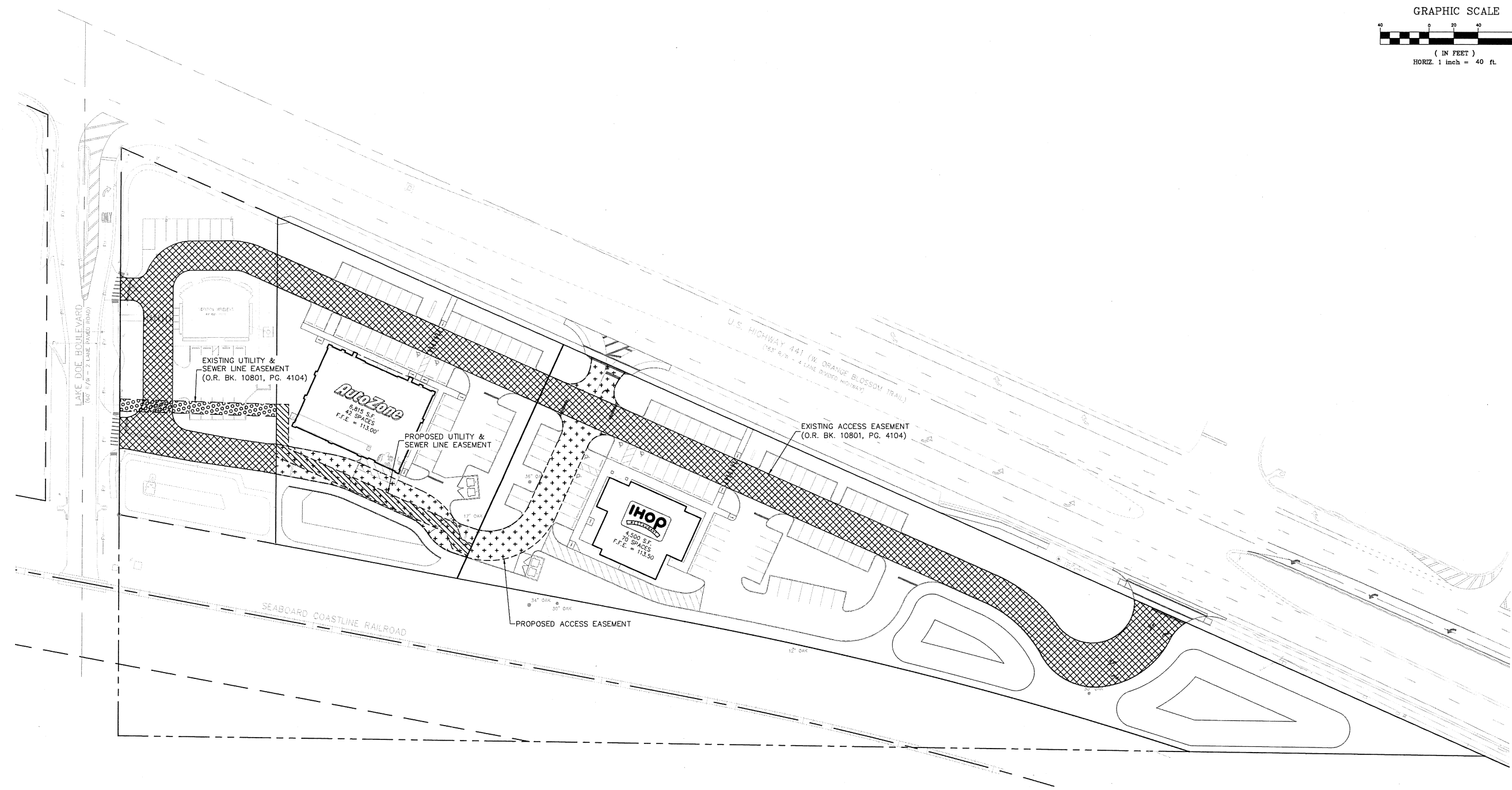
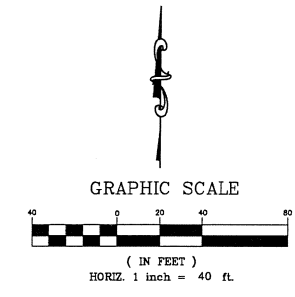
DATE	REVISION

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A FINAL DEVELOPMENT SITE PLAN FOR AUTOZONE CITY OF APOPKA, FL
 City of Apopka Standard Details

JOB No. 18_05212800000025
 DATE 06-29-2018
 SCALE AS SHOWN
 SHEET C7.0



- LEGEND:**
- EXISTING ACCESS EASEMENT
 - EXISTING UTILITY & SEWER LINE EASEMENT
 - PROPOSED ACCESS EASEMENT
 - PROPOSED UTILITY & SEWER LINE EASEMENT

162

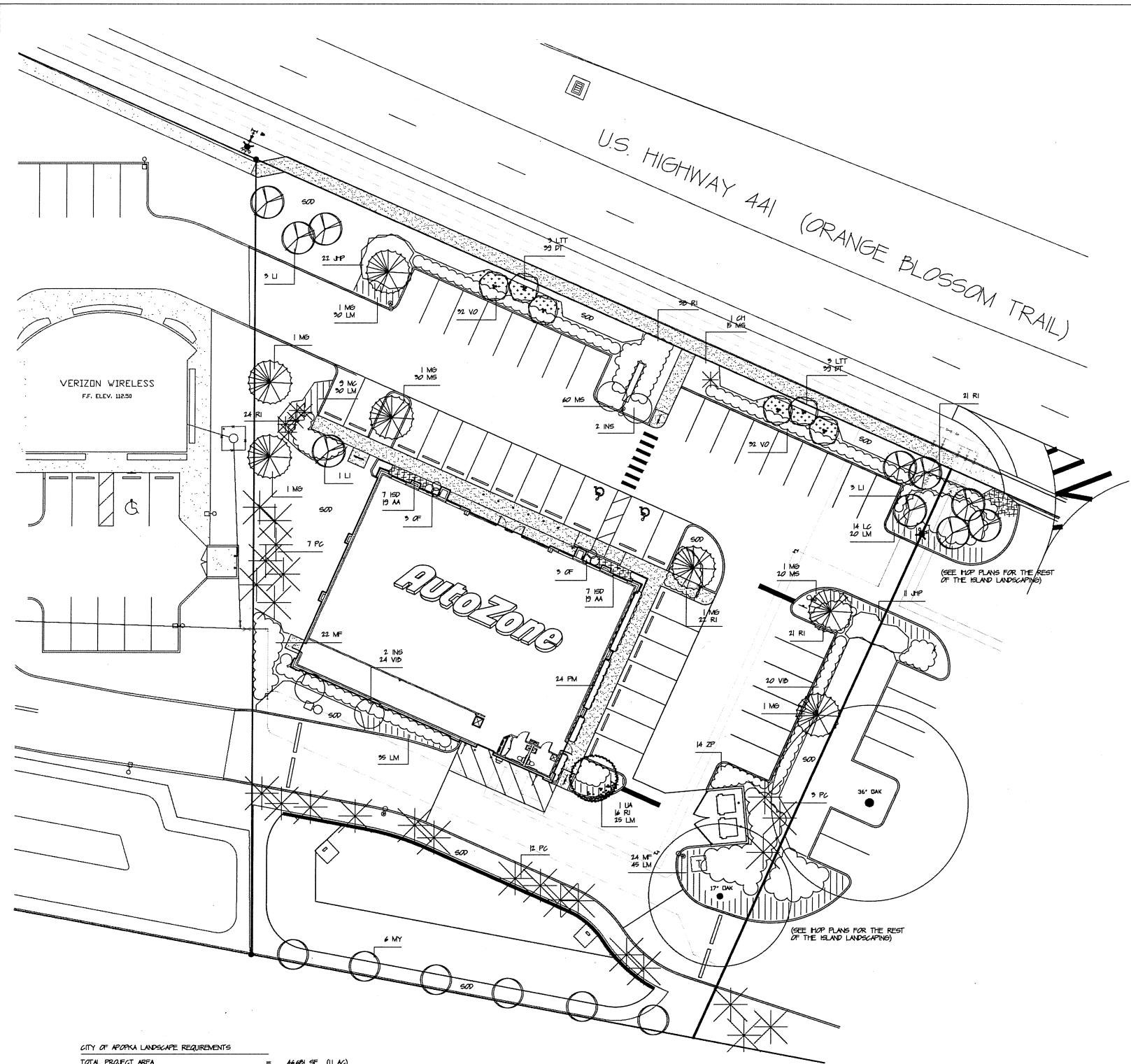
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A FINAL DEVELOPMENT SITE PLAN
 FOR
AUTOZONE
 CITY OF APOPKA, FL
 Easement Plan

JOB No.
 18_052128000000025
 DATE
 06-29-2018
 SCALE
 AS SHOWN
 SHEET
 C9.0



LANDSCAPE MATERIAL LIST

SHADE & ORNAMENTAL TREES

4	INS	LEX X NELLE STEVENS	NELLE STEVENS HOLLY	45	6AL 3" CAL 8" - 9" TALL SINGLE LEADER, 4' CT, FULL CANOPY
7	LI	LAGERSTRÖMIA INDICA 'TUSCARORA'	GRAPE NYRTLE	45	6AL 3" CAL 8" - 9" TALL MULTI-TRUNK, FULL CANOPY
8	LTT	LEUCOSTRUM JAPONICA TREE-TYPE	PRIVET TREE	45	6AL 3" CAL 8" - 9" TALL MULTI-TRUNK, FULL CANOPY
7	MS	MANGLOVA GRANDIFLORA 'DDLANGHARD'	SOUTHERN MAGNOLIA	N	45 6AL 3" CAL 10" - 11" TALL SINGLE LEADER, 5' CT, FULL CANOPY
6	MY	MYRTICA GONPERA	WAX MYRTLE	N	45 6AL 3" CAL 7" - 8" TALL MULTI-TRUNK, FULL CANOPY
22	PC	PNIS CLUSA	SAND PINE	N	45 6AL 3" CAL 10" - 11" TALL SINGLE LEADER, 6' CT, FULL CANOPY
1	LA	LLMUS ALATA	WINED ELM	N	45 6AL 3" CAL 10" - 11" TALL SINGLE LEADER, 5' CT, FULL CANOPY

SHRUBS

1	CH	CHAMEROPS HUMILIS	EUROPEAN FAN PALM	N	10 6AL 24" - 30" FULL SPECIMEN
14	ISD	LEX VICTORIA 'STOKES DWARF'	STOKES DWARF HOLLY	N	10 6AL 18" - 24" WELL-ROUNDED, SET 30" O.C.
33	JFP	JUNIPERUS CHINENSIS 'YUMPEYS PRIDE'	HUMPEYS PRIDE JUNPER	N	3 6AL 18" - 24" FULL SET 3' O.C.
14	LC	LOROPETALUM CHINENSIS	LOROPETALUM	N	3 6AL 18" - 24" FULL
2	NC	NELENDROSIA CAPILLARIS	NEELY GRASS	N	3 6AL 18" - 24" FULL
46	MF	MYRSANTHES FRANCES	SIMPSONS STOPPER	N	3 6AL 18" - 24" FULL
2	OF	OBANATHIS FRANGENS	TEA OLIVE	N	3 6AL 18" - 24" FULL
24	PM	PODOCARPUS MARGOPHYLLUM	FLORIDA YEW	N	3 6AL 18" - 24" FULL SET 25" O.C.
14	RI	RAPHIOLEPIS INDICA	INDIAN HAWTHORN	N	3 6AL 18" - 24" WELL-ROUNDED, SET 30" O.C.
44	VO	VIORNUM OBOVATUM	WALTERS VIORNUM	N	3 6AL 18" - 24" FULL SET 3' O.C.
14	VP	VIORNUM OBOVATISSIMUM	SWEET VIORNUM	N	3 6AL 24" - 30" FULL SET 3' O.C.
14	ZP	ZANIA FUNEA	COOTE	N	3 6AL 18" - 24" FULL

GRANDCOVERS

30	AA	AGAPATHUS AFRICANUS	BLUE NILE IRIS	1	6AL MIN 7-9 PPS, FULL SET 24" O.C. DOUBLE STAGGERED ROW
70	DT	DANIELLA TABANACA	FLUX LILY	1	6AL FULL SET 24" O.C. DOUBLE STAGGERED ROW
10	LN	LIRIOPE MARGARI 'DIO DILE'	POPPY GRASS	1	6AL MIN 7-9 PPS, FULL
15	MS	MIMOSA STROBILLOSA	SUNSHINE MIMOSA	N	1 6AL MIN 3-5 RUNNERS

4500 SF - ST AUGUSTINE PALMETTO 500
4200 SF - ARGENTINE-DANIA 500

- LANDSCAPE NOTES**
- ALL MATERIAL SHALL BE FLORIDA # GRADE OR BETTER
 - ALL LANDSCAPED AREAS SHALL BE MULCHED WITH 3" - 4" OF PINE DARK MULCH
 - MULCH SHALL NOT BE INSTALLED ON TOP OF THE ROOT BALLS OF ANY SHADE OR ORNAMENTAL TREES
 - ALL MATERIAL INSTALLED SHALL MEET THE 505 GRADES AND STANDARDS FOR LANDSCAPE INSTALLATION
 - CERTIFICATION IS REQUIRED FROM THE NURSERY AND/OR THE LANDSCAPE CONTRACTOR THAT THE TREE ROOT BALL HAS BEEN SHAVED PER GRADES AND STANDARDS
 - ALL TREES MUST BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ACCEPTANCE
 - ALL NEW TREES MUST BE GATED OR STAKED AS DETAILED
 - EXISTING TREES THAT ARE TO REMAIN MUST BE PROTECTED THROUGHOUT CONSTRUCTION
 - THE LANDSCAPE ARCHITECT SHALL REVIEW WITH THE CONTRACTOR ALL LANDSCAPING THAT IS TO BE DONE AND SHALL IDENTIFY THE SCOPE OF WORK
 - PLACEMENT OF ALL LANDSCAPE MATERIAL MUST BE APPROVED BY THE LANDSCAPE ARCHITECT
 - ALL LANDSCAPE MATERIAL MUST BE INSTALLED WITH NATIVE PEAT AND SLOW-RELEASE NITROGEN FERTILIZER
 - ALL MATERIAL SHALL BE GUARANTEED FOR 30 DAYS FROM THE DATE OF ACCEPTANCE
 - LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING IN ALL TREES AND REMOVING AIR-POCKETS DURING THE ESTABLISHMENT PERIOD (FIRST 30 DAYS) THE LANDSCAPE CONTRACTOR SHALL APPLY A MINIMUM OF 40 - 60 GPD TO ALL NEW TREES AS DIRECTED
 - LANDSCAPE CONTRACTOR MUST LOCATE ALL UNDERGROUND UTILITIES PRIOR TO ANY INSTALLATION
 - ALL MATERIAL SHALL BE GUARANTEED FOR 30 DAYS FROM THE DATE OF ACCEPTANCE
 - NO PLANTINGS OR OTHER OBSTRUCTIONS MAY BE WITHIN THE 2' VEHICULAR OVERHANG AREA
 - SOD SHALL BE INSTALLED IN ALL DISTURBED AREAS OUTSIDE OF THE PLANTING BEDS
 - SOD AROUND THE BUILDING AND PARKING ISLANDS SHALL BE ST AUGUSTINE PALMETTO AS DIRECTED
 - SOD ALONG THE ROW, AND THE DRA SHALL BE ARGENTINE-DANIA AS DIRECTED
 - ALL SOD SHALL BE INSTALLED WITH NO GAPS OR OVERLAPS AND SHALL BE SANDED AS NEEDED
 - SCODDING INSIDE THE DRA SHALL BE SHOWN ON THE CIVIL PLANS AND IS NOT PART OF THESE QUANTITIES
 - PLANTING SOIL USED FOR THE BUILDING PLANTERS AND BACKFILLING OF THE LANDSCAPE ISLANDS, ETC. MUST BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION ALL SOIL SHALL BE WEED-FREE, CONTAIN NO STICKS, ROCKS, OR OTHER FOREIGN OBJECTS, AND SHALL BE A MIXTURE OF 40% SAND, 50% LOAM, AND 10% TOP-SOIL
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL PLANT MATERIAL, ROOTS, SOIL, AND OTHER LANDSCAPE ITEMS REMOVED FROM THIS SITE
 - THE LANDSCAPE CONTRACTOR MUST PROVIDE AN AS-BUILT OF THE IRRIGATION SYSTEM TO THE LANDSCAPE ARCHITECT PRIOR TO REQUESTING ANY INSPECTIONS AND/OR APPROVALS
 - THE CONTRACTOR SHALL KEEP THE SITE CLEAN OF ALL DEBRIS, SEDIMENT, DIRT, ETC. AND ENSURE THAT THAT DRAINAGE SYSTEM REMAINS CLEAR AND THAT PEDESTRIAN WAYS ARE NOT PLUGGED
 - DO NOT PLANT NEW TREES TOO DEEP, UNCOVER THE TRUNK FLARE AND SET THIS AT OR ABOVE THE SURROUNDING SOIL LEVEL
 - REMOVE ANY TREE WRAP FROM AROUND THE TRUNK OF NEW TREES TO BE INSTALLED
 - ALL NEW TREES AND SHRUBS MUST MEET THE 'AMERICAN STANDARDS FOR NURSERY STOCK' (ANSI 240)
 - LANDSCAPE ARCHITECT MAY REQUIRE PRUNING OF NEW TREES AFTER INSTALLATION IF IT IS DETERMINED THAT THE TREES NEED A SINGLE DOMINANT LEADER ESTABLISHED OR CLUSTER BRANCHES REMOVED
 - ALL PLANT MATERIAL MUST MEET ALL OF THE SIZE SPECIFICATIONS, NOT JUST THE CONTAINER SIZE
 - HAVING THE LANDSCAPE ARCHITECT APPROVAL OF PLANT PLACEMENT IS ESSENTIAL FOR ACCEPTANCE
 - ALL SIZE SPECIFICATIONS SHOWN ON THE MATERIAL LIST ARE FOR THE HEIGHT OF THE MATERIAL UNLESS OTHERWISE NOTED MEASUREMENT SHALL BE AS PER THE CURRENT INDUSTRY GRADES AND STANDARDS
 - LANDSCAPE INSTALLATION MUST BE COORDINATED WITH THE INSTALLATION TO BE DONE ON THE ADJACENT HOP PROJECT
 - WORK MUST PROTECT THE EXISTING LANDSCAPE PLANTINGS ON THE ADJACENT VERIZON PROPERTY
 - ALL LANDSCAPE PLANTS ARE FLORIDA-FRIENDLY FOR CENTRAL FLORIDA PLANT HARDNESS ZONE
 - ALL LANDSCAPING MUST BE A MINIMUM OF 30' (15) FROM THE BUILDING FOUNDATION

CITY OF APOPKA LANDSCAPE REQUIREMENTS

TOTAL PROJECT AREA = 46,681 SF (1.1 AC)
PROPERTY ZONING = C-2 GENERAL COMMERCIAL

5.0107 TREE REPLACEMENT

TOTAL EXISTING TREE INCHES ON SITE = 146"
TOTAL TREE INCHES TO BE REMOVED = 146" (ALL TREES @ 95%)
TOTAL TREE INCHES REPLACEMENT REQUIRED = 174" (SEE PLANT SCHEDULE)
SPECIMEN TREES (14" & GREATER) TO BE REMOVED = 4 (107)
TOTAL PROJECT AREA = 46,681 SF

5.0107 A1 QUANTITY OF REPLACEMENT TREES

14 INCHES DBH PROPOSED FOR REMOVAL = 14 INCHES DBH REQUIRED FOR REPLACEMENT

5.0107 A1c MAXIMUM TREE STOCK REQUIRED

21 INCHES DBH PLUS 95 INCHES DBH PER 1000 SF OF SITE OVER 4000 SF
46,681 SF - 4,000 SF = 42,681 / 1000 = 42.681 X 95 = 4055
4055 + 21 + 107 OF SPECIMEN TREES REMOVED = 4183 MAXIMUM TREE STOCK
REPLACEMENT INCHES IS LESS THAN THE MAXIMUM TREE STOCK THEREFORE ALL REMOVED INCHES MUST BE REPLACED

5.0108 REQUIRED LANDSCAPING

5.0108 A MINIMUM TREE REQUIREMENTS

1 CANOPY SHADE TREE REQUIRED PER 8,000 SF OF SITE
46,681 SF / 8,000 = 5.8 CANOPY SHADE TREES REQUIRED
30 CANOPY SHADE TREES PROPOSED (SEE PLANT SCHEDULE)

5.0108 B1 NON-VEHICULAR OPEN SPACE

1 CANOPY SHADE TREE REQUIRED PER 95 LF OF PERIMETER LANDSCAPING NOT ABUTTING A STREET OR PARKING AREA

WEST PERIMETER (244 LF)
TREES REQUIRED = 2 (1 / 95 LF)
TREES PROPOSED = 2 (2 MS, 1 PC)

SOUTH PERIMETER (95 LF)
TREES REQUIRED = 1 (1 / 95 LF)
TREES PROPOSED = 1 (1 PC, 1 MY = 1)

EAST PERIMETER (109 LF)
TREES REQUIRED = 1 (1 / 95 LF)
TREES PROPOSED = 1 (1 EX, 1 MS, 1 PC, 1 LI = 0)

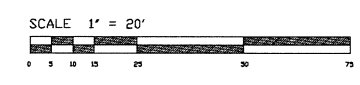
5.0108 B3 NON-VEHICULAR OPEN SPACE

1 CANOPY SHADE TREE AND 10 SHRUBS REQUIRED PER 95 LF OF PERIMETER LANDSCAPING ABUTTING A STREET

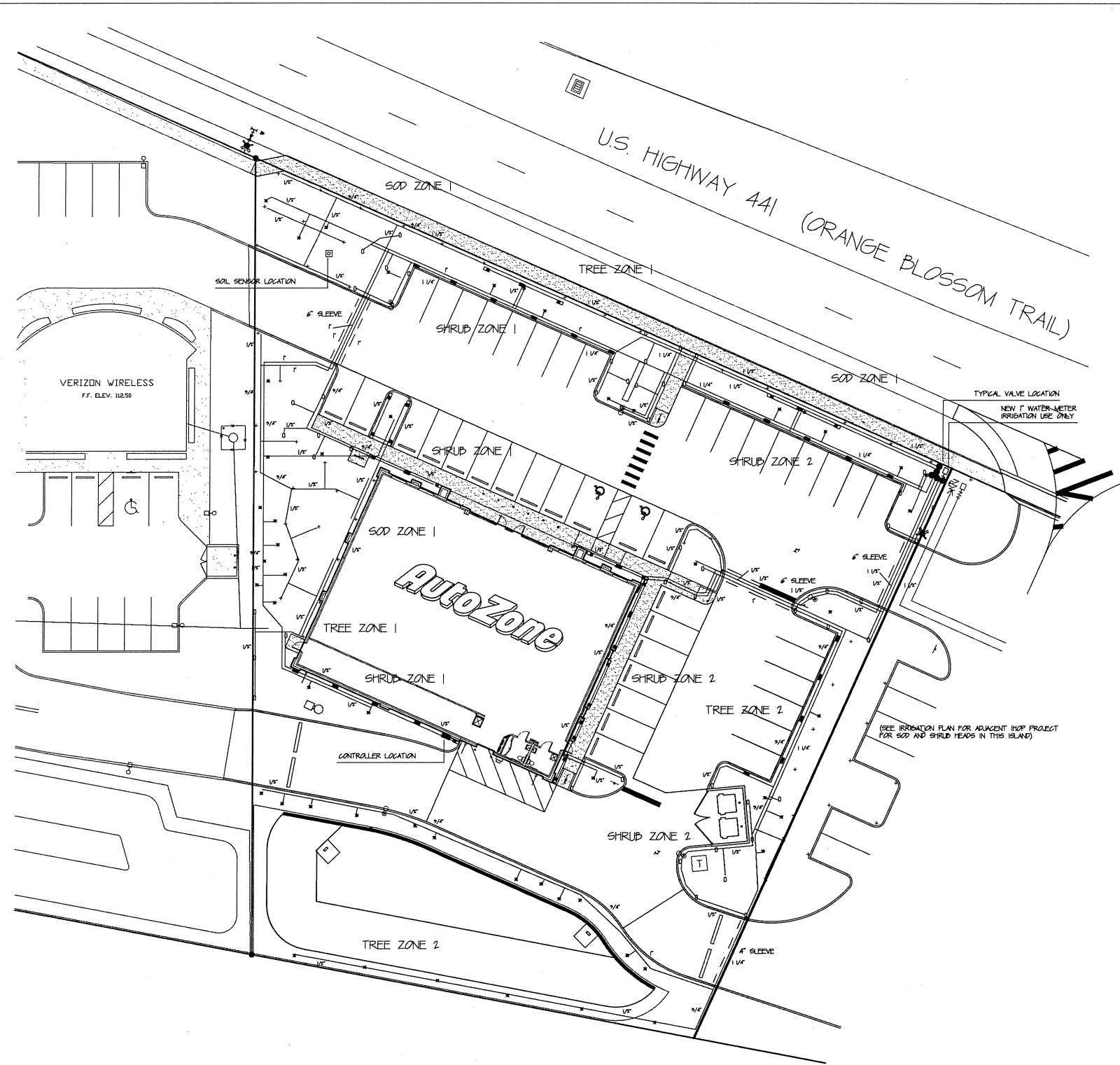
NORTH PERIMETER (255 LF)
TREES REQUIRED = 2 (1 / 95 LF)
TREES PROPOSED = 2 (1 MS, 1 MS, 1 LI, 1 LTT = 7)
SHRUBS REQUIRED = 20 (2 / 95 LF)
SHRUBS PROPOSED = 100 (22 JFP, 14 LC, 64 VO)

5.0108 C1 PARKING OR OTHER VEHICULAR USE AREAS

1 CANOPY SHADE TREE PLUS 1 CANOPY SHADE TREE FOR EVERY 20 SPACES
41 PARKING SPACES = 3 + 1 = 4 CANOPY SHADE TREES REQUIRED
6 CANOPY SHADE TREES PROPOSED (1 EX, 4 MS, 1 LA)



DATE:	5 / 18	DRAWING NO.:		NO.	DATE	DESCRIPTION	BY
DRAWN BY:	RAK	VIEW NAME:		1			
SCALE:	1" = 20'	JOB NO.:					
ENVIRONMENTAL DESIGN ARCHITECT ANDY KESSELRING, LANDSCAPE ARCHITECT 1920 SE 8TH STREET, SUITE 100 Ocala, Florida 34478 (352) 832-8899 LANDSCAPE ARCHITECTURE, SITE PLANNING, GOLF COURSE DESIGN, COMMERCIAL/RESIDENTIAL DESIGN							
LANDSCAPE PLAN AUTO ZONE APOPKA FLORIDA							
SHEET 1021 of 1021							



IRRIGATION LEGEND

- HUNTER MP 1000 SERIES SPRAY HEADS
- HUNTER MP 1000 SERIES SIDE-SPRAY POP-UP HEADS
- + HUNTER MP 1000 SERIES POP-UP SPRAY HEADS FOR SOD
- ✱ HUNTER P02 SERIES BUBBLER HEADS FOR TREES
- 1" WATER METER - IRRIGATION USE ONLY
- ⊗ SOL SENSOR LOCATION
- ⊞ HUNTER I-CORE (I-100-M-FL) CONTROLLER
- 1" NELSON VALVES IN WATER-RESISTENT BOXES
- == SLEEVING - SCH 40 P.V.C.

IRRIGATION ZONE DATA

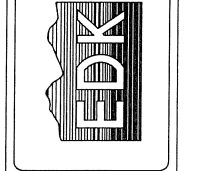
ZONE	GPM USAGE	VALVE SIZE	HEAD TYPE	APPLICATION	LANDSCAPE TYPE
TREE ZONE 1	280 GPM	1"	BUBBLER (5 GPM)	LOW-VOLUME	TREES ONLY
TREE ZONE 2	250 GPM	1"	BUBBLER (5 GPM)	LOW VOLUME	TREES ONLY
SHRUB ZONE 1	156 GPM	1"	SPRAY (4 GPM)	LOW VOLUME	SHRUBS ONLY
SHRUB ZONE 2	232 GPM	1"	SPRAY (4 GPM)	LOW-VOLUME	SHRUBS ONLY
SOD ZONE 1	204 GPM	1"	SPRAY (4 GPM)	LOW-VOLUME	SOD ONLY

- IRRIGATION NOTES**
- MINOR CHANGES MAY BE MADE IN THIS LAYOUT WITH APPROVAL BY THE LANDSCAPE ARCHITECT AND SHALL BE DOCUMENTED ON RECORD DRAWINGS PROVIDED TO CITY PRIOR TO C.O.
 - ALL HEAD LOCATIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION
 - HEADS SHALL BE 1/4, 1/2, OR FULL CIRCLE AS EACH LOCATION REQUIRES
 - SPRAYS PATTERNS SHALL BE SET TO MINIMIZE SPRAY ONTO ADJACENT WALKS, DRIVES, AND BUILDINGS
 - WATER SOURCE FOR SYSTEM SHALL BE A NEW 1" WATER METER INSTALLED IN THE GENERAL AREA SHOWN. METER SHALL BE FOR IRRIGATION USE ONLY AND PERMITTED AS SUCH
 - PRIOR TO ANY INSTALLATION, THE IRRIGATION CONTRACTOR SHALL REVIEW THE PLANS AND THE SITE AND PROVIDE WRITTEN VERIFICATION TO THE LANDSCAPE ARCHITECT THAT THE EXISTING COMPONENTS ARE SUFFICIENT FOR THE SYSTEM AS DESIGNED. ANY MODIFICATIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION
 - COORDINATE WITH THE CIVIL PLANS FOR THE WATER METER AND VALVE INSTALLATION
 - THE CONTROLLER SHALL BE LOCATED IN THE GENERAL AREA SHOWN AND SHALL BE MOUNTED AS APPROVED BY THE LANDSCAPE ARCHITECT IN A LOCKABLE CASE
 - THE OWNER WILL PROVIDE AN ELECTRICAL OUTLET IN THE CONTROLLER AREA
 - ALL VALVES SHALL BE INSTALLED IN WATER-RESISTENT BOXES
 - ALL SLEEVING MUST BE INSTALLED PRIOR TO THE LIMEROCKING OF THE PAVED AREAS
 - ALL SLEEVING SHALL BE SCH 40 P.V.C. AND INSTALLED A MINIMUM OF 18" DEEP
 - ALL FEEDER LINES SHALL BE INSTALLED A MINIMUM OF 12" DEEP
 - RANDBLOCK® DEVICE SHALL BE INSTALLED TO MINIMIZE IRRIGATION DURING SUFFICIENT RAINFALL (RSD SERIES). IN ADDITION, AN AQUAMA TDT SENSOR WITH SOX CONTROL MONITOR MUST BE INSTALLED AS LOCATED BY THE LANDSCAPE ARCHITECT FOR PROPER IRRIGATION AMOUNTS
 - THE ENTIRE SYSTEM MUST BE OPERATIONAL, REVIEWED, AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO FINAL ACCEPTANCE
 - THE CONTRACTOR SHALL RETURN WITHIN THE FIRST 90 DAYS TO ADJUST THE SYSTEM AS NECESSARY AND DIRECTED BY THE LANDSCAPE ARCHITECT
 - ALL LABOR AND MATERIALS SHALL BE GUARANTEED FOR 1 YEAR FOR FINAL ACCEPTANCE
 - THE CONTRACTOR MUST PROVIDE AN AS-BUILT DRAWING TO THE LANDSCAPE ARCHITECT PRIOR TO FINAL ACCEPTANCE
 - BACKFLOW PREVENTION DEVICE SHALL BE INSTALLED AT THE METER LOCATION PER APPLICABLE CODES
 - SLEEVES MUST BE INSTALLED IN ALL AREAS WHERE IRRIGATION PIPING IS INSTALLED UNDER PAVEMENT
 - ZONES ARE DESIGNED TO FUNCTION AT 35 GPM AND 40 PSI AT THE VALVE LOCATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR TESTING AT ALL HEADS TO INSURE PROPER PRESSURE AND WATER QUANTITY FOR THE DESIGNED COVERAGE
 - CONTRACTOR SHALL CONSULT WITH BOTH OWNER AND THE LANDSCAPE ARCHITECT FOR THE TIMING OF THE SYSTEM, BASED ON CURRENT WATER RESTRICTIONS
 - SYSTEM DOES NOT PROVIDE 100% COVERAGE OF THE ENTIRE PROJECT SITE. CONTRACTOR MUST ADJUST HEADS TO COVER NEW PLANT INSTALLATION AND SOD AREAS AS DIRECTED BY THE LANDSCAPE ARCHITECT
 - ALL LINE LOCATIONS MUST BE ADJUSTED ON-SITE TO INSURE THAT THEY DO NOT IMPACT THE MAJOR ROOT SYSTEMS OF THE TREES TO BE PRESERVED
 - ALL IRRIGATION HEADS SHALL BE LOW-VOLUME, MICRO-IRRIGATION TO MINIMIZE WATER CONSUMPTION
 - SET RUN TIMES FOR THE SYSTEM PER RECOMMENDATIONS BY FAS @ EDIS/FAJULFEDU/AE220
 - ON HEADS LOCATED BELOW THE VALVE LOCATIONS, INSURE CHECK VALVES ARE INSTALLED AT THE HEAD
 - POP-UP HEIGHTS WITHIN SOD AREAS SHALL BE SET AT 6"
 - ALL VALVES SHALL HAVE A FACTORY-INSTALLED FILTER SCREEN AND VERIFIED BY CONTRACTOR
 - VERIFY CONTROLLER SET-UP WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION
 - ALL IRRIGATION INSTALLATION SHALL MEET 2015 GRADES AND STANDARDS
 - NO IRRIGATION HEADS SHALL BE INSTALLED ON RISERS PER CITY CODE REQUIREMENTS
 - ALL AS-BUILTS, VERIFICATIONS, ETC. MUST BE SUBMITTED PRIOR TO FINAL INSPECTION AND ACCEPTANCE
 - BUBBLERS AT ALL TREES AND PALMS SHALL BE STAKED AT THEIR PROPER LOCATIONS
 - ALL IRRIGATION DISTRIBUTION EQUIPMENT SHALL BE A MINIMUM OF 24" FROM VERTICAL STRUCTURES

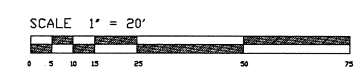
NO.	DATE	DESCRIPTION	RAK	BY
1	6/18			

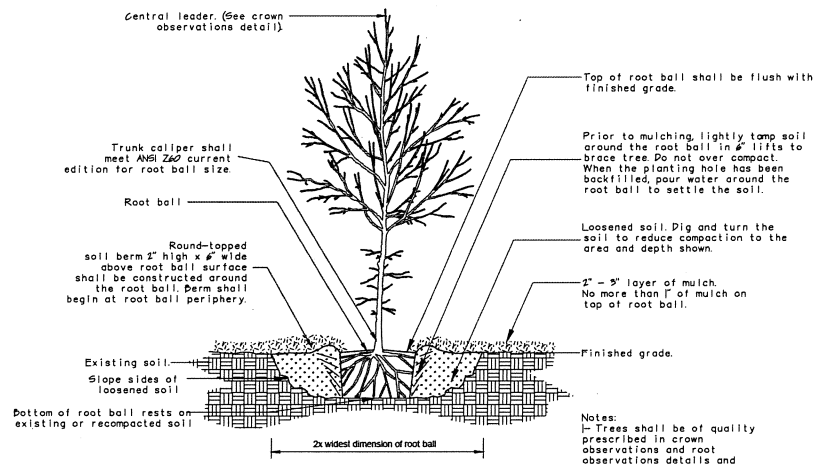
DATE: 5 / 18
 DRAWING NO.:
 NEW NAME:
 SCALE: 1" = 20'
 JOB NO.:
 DRAWN BY: RAK
 CHECKED BY: PC

ENVIRONMENTAL DESIGN ARCHITECT
 ANDY KESSELRING, LANDSCAPE ARCHITECT
 1920 SE 8th STREET
 OCALA, FLORIDA 34478
 (352) 622-8889
 LANDSCAPE ARCHITECTURE, SITE PLANNING
 6007 COURSE DESIGN, COMMERCIAL-RESIDENTIAL DESIGN

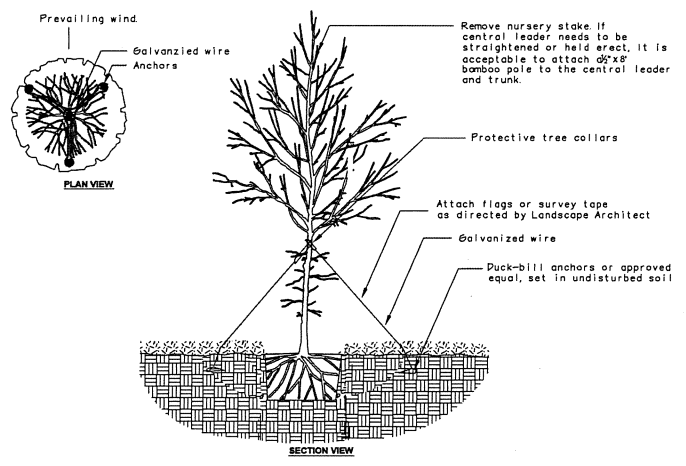


IRRIGATION PLAN
 AUTO ZONE
 APOPKA FLORIDA
 SHEET 002 of 002

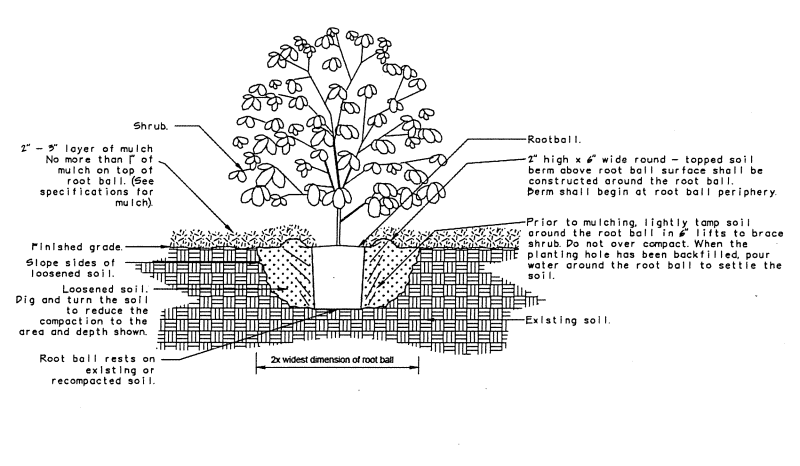




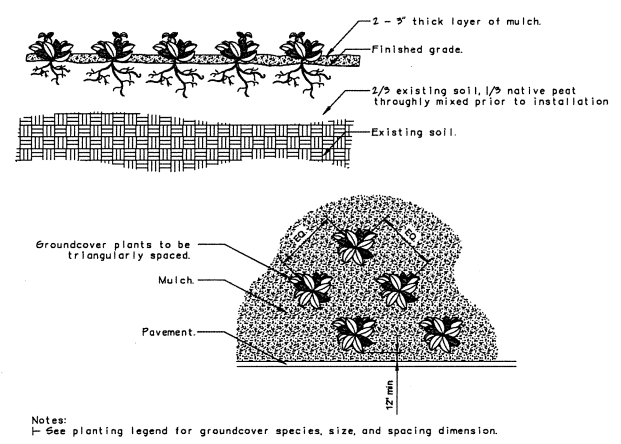
TREE INSTALLATION



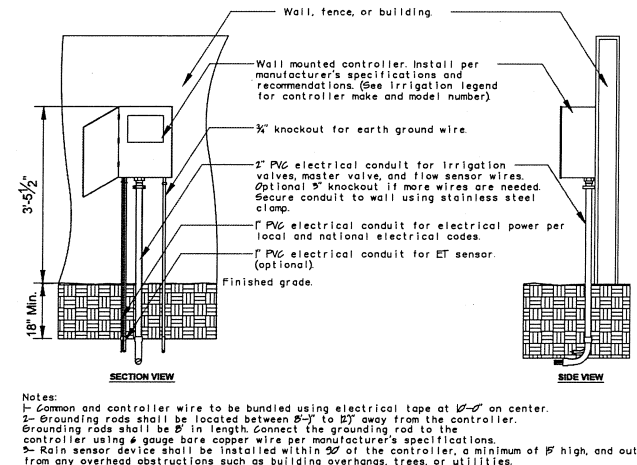
TREE STAKING - TREES < 2" CALIPER



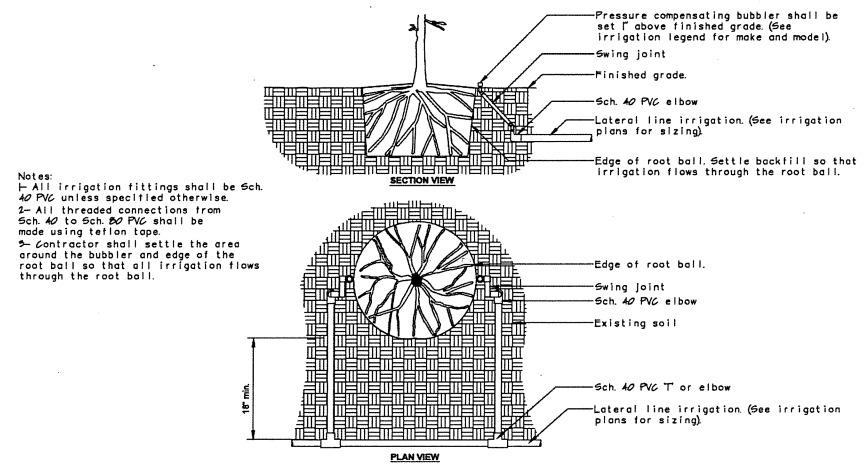
SHRUB INSTALLATION



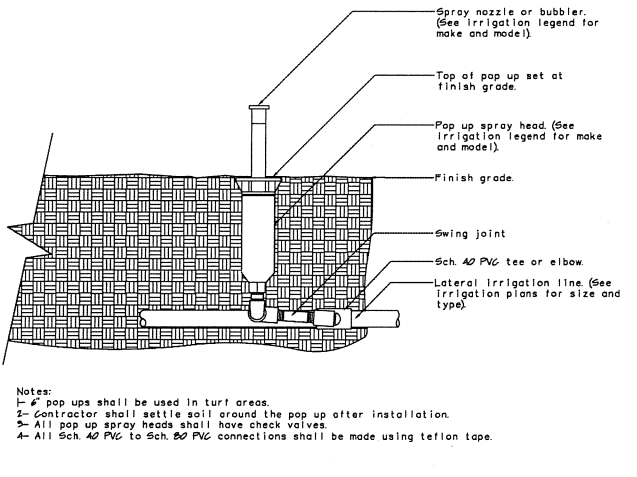
GROUNDCOVER INSTALLATION



WALL MOUNTED CONTROLLER



TREE BUBBLER LAYOUT



POP UP-SPRAY HEAD

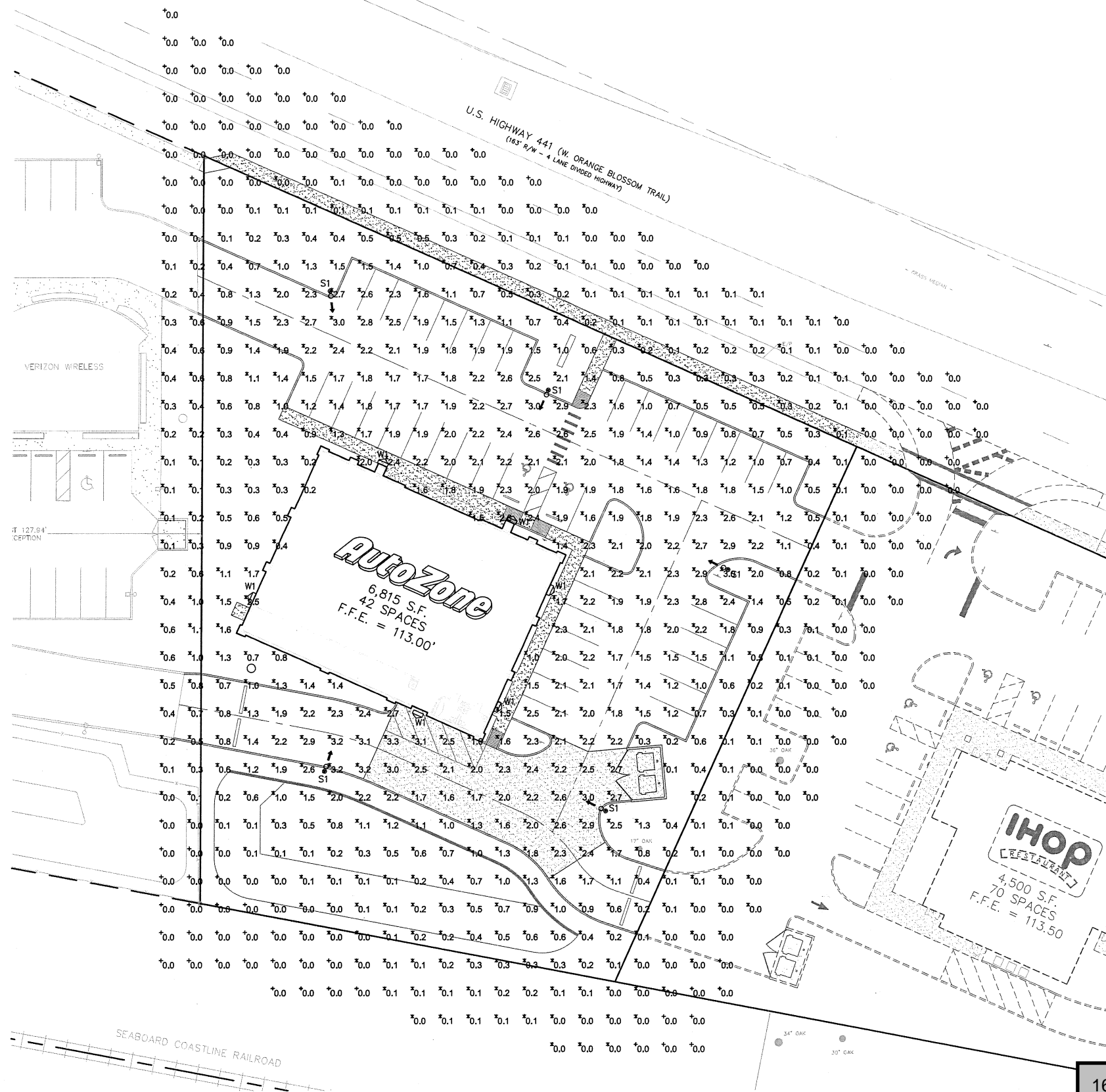
NO.	DATE	CITY COMMENTS	RAK	BY
1	6/19			

DATE:	5 / 18
DRAWING NO.:	
VIEW NAME:	
SCALE:	1" = 20'
JOB NO.:	
RAK	
FB	
PC	

ENVIRONMENTAL DESIGN
 ANDY KESSELRING, LANDSCAPE ARCHITECT
 1920 SE. 8th STREET
 DALLA, FLORIDA 34478
 (352) 622-8889
 LANDSCAPE ARCHITECTURE, SITE PLANNING,
 GOLF COURSE DESIGN, COMMERCIAL-RESIDENTIAL DESIGN



LANDSCAPE & IRRIGATION DETAILS
 AUTO ZONE
 APOPKA FLORIDA



LUMINAIRE SCHEDULE						
TYP	SYMBOL	DESCRIPTION	LAMP	LUMENS	LLF	QTY
S1	☉	ANP - BVF2401 (P046LD4) - LED POST ARM - PA1613 - BRONZE FINISH 5" BOLT DOWN ROUND ALUMINUM SMOOTH POLE - BD5520.25 - 20' TALL - BRONZE FINISH IES FULL CUTOFF DISTRIBUTION MOUNTED 0° DOWN POSITION MOUNTED HEIGHT = 23'-0"	LED - 117 WATTS	ABSOLUTE	1.00	5
W1	☽	LITHONIA - DSW1 LED 10C IESNA FULL CUTOFF DISTRIBUTION MOUNTED 0° DOWN POSITION MOUNTED HEIGHT = 12'-0"	LED - 40 WATTS	ABSOLUTE	0.95	6

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Lot	✕	1.9 fc	3.3 fc	0.2 fc	16.5:1	9.5:1
Overall Site	✕	0.9 fc	3.3 fc	0.0 fc	N/A	N/A

- LIGHTING NOTES:
1. TIME CONTROLS: ALL SITE LIGHTING IS CONTROLLED AND MONITORED BY AN ENERGY MANAGEMENT SYSTEM CALLED VENSTAR WHICH IS CONTROLLED AT AUTOZONE CORPORATE OFFICES. ALL SITE LIGHTING IS PROGRAMMED TO AUTOMATICALLY TURN ON AT DUSK AND REDUCED BY 50 PERCENT AFTER THE CLOSE OF BUSINESS TO THE MINIMUM LEVEL NEEDED UNDER THE IESNA TO ENSURE SAFETY AND SECURITY.
 2. ALL FIXTURES ARE FULL CUTOFF DISTRIBUTION AND MOUNTED @ 0° DOWN POSITION.
 3. NO FLOODLIGHTS ARE PROPOSED.

Owner / Developer:
AutoZone Inc.
 123 South Front Street, 3rd Floor
 Memphis, Tennessee 38103
 Tel: (901) 495-8709 Fax: (901) 495-8969
 For Bidding & Contractor Information Contact:
 F.W. Dodge Plan Room Tel: (615) 884-1017

Prepared for: **AutoZone Store Development**
 Store No.: 3666 US HIGHWAY 441
 APOPKA, FL 32726
SITE PHOTOMETRIC PLAN



SCALE: 1" = 20'

REVISIONS	
1.	
2.	
3.	
4.	
5.	
6.	
7.	
ARCHITECT:	
DRAFTSMAN:	
CHECKED BY:	
DATE	06/06/18
PROTOTYPE SIZE	65W2-L

LP.1

ANP Lighting
Bolt Down Round Aluminum Smooth Poles

Project: _____
Quantity: _____
Customer: _____

BD3510.125 - BAA - CCS1902 - 41
BD3520.25 - CCS1301 - 51

Material
Aluminum pole bases and base plates shall be cast from 305 aluminum alloy. Bases shall be extruded 6061-T6 aluminum. Available in 3", 4" or 5" diameter. Wall thickness 0.125" or 0.188" or 0.250".

Mounting
Four anchor bolts provided are 1/2" x 10". Anchor bolts, nuts and washers are hot dipped galvanized steel. Spun aluminum bolt cover provided.

Access
All poles are provided with a hand access opening and cover. Hand hole cover is secured by two stainless steel machine screws. (Temper-proof screws provided upon request).

Grounding
All poles are provided with an aluminum grounding lug integrated to inner wall of shaft, 180 degrees to hand hole. Grounding lug is drilled and tapped to accommodate 1/4-20 stainless steel machine screw.

Pole Height
Maximum pole height is 25-feet.

Accessories
Banner arms, ladder rails, storage, flag pole holder and GFI receptacles are optional.

Finish
A polyester powder coat high quality finish is electro-statically applied and baked at 400° for exceptional durability and color retention. Products undergo an intensive five-step cleaning and pre-treatment process for maximum paint adhesion. Marine grade finish provides superior salt, humidity, and UV protection. This coating withstands up to 3000 hours of continuous salt spray, comes with a 5-year warranty and is available in either a textured or glass surface.

Item Number	Qty	Height	Wall	Wt. (LBS)	Wt. (LBS)
BD3510	1	10	0.125	1.20	1.20
BD3510	1	15	0.125	1.80	1.80
BD3510	1	20	0.125	2.40	2.40
BD3510	1	25	0.125	3.00	3.00
BD3520	1	10	0.188	1.80	1.80
BD3520	1	15	0.188	2.70	2.70
BD3520	1	20	0.188	3.60	3.60
BD3520	1	25	0.188	4.50	4.50
BD3525	1	10	0.250	2.40	2.40
BD3525	1	15	0.250	3.60	3.60
BD3525	1	20	0.250	4.80	4.80
BD3525	1	25	0.250	6.00	6.00

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ANP Lighting
Bolt Down Round Aluminum Smooth Poles

Project: _____
Quantity: _____
Customer: _____

ACCESSORIES

2-PRICE CLAMSHHELLS

FINISHES

Item	Part Number	Material	Finish
1	CCS1301	305 Aluminum	Dark Bronze
2	CCS1302	305 Aluminum	Marine Grade
3	CCS1303	305 Aluminum	Textured
4	CCS1304	305 Aluminum	Polished
5	CCS1305	305 Aluminum	Clear Coat
6	CCS1306	305 Aluminum	Black
7	CCS1307	305 Aluminum	White
8	CCS1308	305 Aluminum	Grey
9	CCS1309	305 Aluminum	Blue
10	CCS1310	305 Aluminum	Red
11	CCS1311	305 Aluminum	Green
12	CCS1312	305 Aluminum	Yellow
13	CCS1313	305 Aluminum	Pink
14	CCS1314	305 Aluminum	Purple
15	CCS1315	305 Aluminum	Orange

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ANP Lighting
Specifications BVF2401

Project: _____
Quantity: _____
Customer: _____

BVF2401 - LED
Dark Sky Friendly

Light Source & HANGES

ACCESSORIES

MOUNTING SOURCE

OPTICS

COLOR TEMPERATURE (CCT)

BUS RATING TABLE

FINISHES

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ANP Lighting
Specifications PA161

Project: _____
Quantity: _____
Customer: _____

PA161 - POST ARM
Extruded aluminum post arm for pendant fixtures.

PA161 - 3 - 4 - N - 3 - S - 72

POST ARM ORIENTATION

CENTER MOUNT OPTIONS

NUMBER OF ARMS

POLE DIAMETER

POLE STYLE

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ANP Lighting
D-Series Size 1 LED Wall Luminaire

Project: _____
Quantity: _____
Customer: _____

D-Series Luminaire

Specifications

Back Box (BSW, ELCW)

Introduction

Ordering Information

EXAMPLE: DSXW1 LED 20C 1000 40K TSM MVCLT DOSTXD

Series	Accessories	Material	Finish	Mounting	Color Options	Dimming	Temp. Control
DSXW1	CCS1301	305 Aluminum	Dark Bronze	Surface Mount	Black	0-100% (DALI)	0-100% (DALI)
DSXW1	CCS1302	305 Aluminum	Marine Grade	Surface Mount	Black	0-100% (DALI)	0-100% (DALI)
DSXW1	CCS1303	305 Aluminum	Textured	Surface Mount	Black	0-100% (DALI)	0-100% (DALI)
DSXW1	CCS1304	305 Aluminum	Polished	Surface Mount	Black	0-100% (DALI)	0-100% (DALI)
DSXW1	CCS1305	305 Aluminum	Clear Coat	Surface Mount	Black	0-100% (DALI)	0-100% (DALI)
DSXW1	CCS1306	305 Aluminum	Black	Surface Mount	Black	0-100% (DALI)	0-100% (DALI)
DSXW1	CCS1307	305 Aluminum	White	Surface Mount	Black	0-100% (DALI)	0-100% (DALI)
DSXW1	CCS1308	305 Aluminum	Grey	Surface Mount	Black	0-100% (DALI)	0-100% (DALI)
DSXW1	CCS1309	305 Aluminum	Blue	Surface Mount	Black	0-100% (DALI)	0-100% (DALI)
DSXW1	CCS1310	305 Aluminum	Red	Surface Mount	Black	0-100% (DALI)	0-100% (DALI)
DSXW1	CCS1311	305 Aluminum	Green	Surface Mount	Black	0-100% (DALI)	0-100% (DALI)
DSXW1	CCS1312	305 Aluminum	Yellow	Surface Mount	Black	0-100% (DALI)	0-100% (DALI)
DSXW1	CCS1313	305 Aluminum	Pink	Surface Mount	Black	0-100% (DALI)	0-100% (DALI)
DSXW1	CCS1314	305 Aluminum	Purple	Surface Mount	Black	0-100% (DALI)	0-100% (DALI)
DSXW1	CCS1315	305 Aluminum	Orange	Surface Mount	Black	0-100% (DALI)	0-100% (DALI)

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ANP Lighting
20" TYPICAL SINGLE LIGHT POLE

Project: _____
Quantity: _____
Customer: _____

NOTE: This drawing represents the minimum foundation requirements, if more stringent drawing is shown in structural then it shall govern.

20" TYPICAL SINGLE LIGHT POLE

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Prepared for: **AutoZone Store Development**
Store No.: 3666
US HIGHWAY 441
APOPKA, FL 32726

PHOTOMETRIC DETAILS

SCALE: 1" = 20"

REVISIONS

Rev.	Description
1.	
2.	
3.	
4.	
5.	
6.	
7.	

ARCHITECT: _____
DRAFTSMAN: _____
CHECKED BY: _____
DATE: 06/06/18
PROTOTYPE SIZE: 65W2-L

LP.2

This instrument was prepared by and should be returned to:
William P. Weatherford, Jr.
Marlowe & Weatherford, P.A.
1150 Louisiana Avenue, Suite 4
Winter Park, Florida 32789
(407) 629-5008

DOC# 20140454685 B: 10801 P: 4104
09/08/2014 02:58:37 PM Page 1 of 21
Rec Fee: \$180.00
Deed Doc Tax: \$0.70
DOR Admin Fee: \$0.00
Intangible Tax: \$0.00
Mortgage Stamp: \$0.00
Martha O. Haynie, Comptroller
Orange County, FL
MB - Ret To: WOODS & WOODS PA



ACCESS & UTILITY EASEMENT AGREEMENT

THIS ACCESS & UTILITY EASEMENT AGREEMENT (the "Agreement") is made and entered into this 5th day of September, 2014, by and between **Rock RDP 1, LLC**, a Florida limited liability company ("Rock RDP 1"), whose mailing address is 145 Lincoln Avenue, Suite B, Winter Park, Florida 32789, and Calmil Investment Group LP and Kenneth L. Jureit (collectively, the "Calmil"), whose mailing address is 5905 Moray Court NW, Concord, NC 28027.

WITNESSETH:

WHEREAS, simultaneous with the execution of this Agreement, Rock RDP 1 has acquired from Calmil a fee simple ownership interest in certain real property, located in Orange County, Florida, more particularly described in **Exhibit "A"**, attached hereto and incorporated herein (the "Rock RDP 1 Property").

WHEREAS, Calmil has retained ownership of certain real property, located in Orange County, Florida, more particularly described on **Exhibit "B"** attached hereto and by this reference incorporated herein (the "Calmil Property") which Calmil Property is adjacent to the Rock RDP 1 Property; and

WHEREAS, Calmil is conveying the Rock RDP 1 Property to Rock RDP 1 on the condition that Rock RDP 1 grant to Calmil to the easements granted in this Agreement; and

WHEREAS, Calmil desires an easement over and across a portion of the Rock RDP 1 Property to the benefit of the Calmil Property, for the purpose of a non-exclusive easement for vehicular and pedestrian access, ingress, egress but not parking, subject to the terms and provisions hereinafter set forth; and

WHEREAS, Calmil desires an easement over and across a portion of the Rock RDP 1 Property the benefit of Calmil Property, for the purpose of installing and maintaining utility lines subject to the terms and provisions hereinafter set forth.

NOW THEREFORE, in consideration of the premises hereof and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Rock RDP 1 and Calmil hereby agree as follows:

1. **Grant of Mutual Access, Ingress and Egress Easements.**

- a. Rock RDP 1 hereby grants and conveys to Calmil, for the use and

benefit of Calmil and its successors, assigns, purchasers, tenants, employees, agents, invitees and licensees and guests, a non-exclusive easement across any driveways, roads, access ways, sidewalks, walkways, exits and entrances which may, from time to time, be located on the Rock RDP 1 Property solely for purposes of vehicular and pedestrian ingress and egress to and from the Calmil Property to Lake Doe Boulevard, but not for parking, as generally depicted on Exhibit E, attached hereto. The depiction of particular driveways on Exhibit "E" shall not be construed as an obligation to establish or maintain those particular driveways.

b. Calmil hereby grants and conveys to Rock RDP 1, for the use and benefit of Rock RDP 1 and its successors, assigns, purchasers, tenants, employees, agents, invitees and licensees and guests, a non-exclusive easement across any driveways, roads, access ways, sidewalks, walkways, exits and entrances which may, from time to time, be located on the Calmil Property solely for purposes of vehicular and pedestrian ingress and egress to and from the Rock RDP 1 Property to United States Highway 441, but not for parking, as generally depicted on Exhibit E, attached hereto. The depiction of particular driveways on Exhibit "E" shall not be construed as an obligation to establish or maintain those particular driveways.

c. Rock RDP 1 shall, at its sole cost and expense, design and construct such driveways, access ways, exits and entrances as may be reasonably necessary to provide a point of access from the Rock RDP 1 Property to Calmil Property (the "Rock RDP 1 Driveway Construction Obligation"). The driveways, access ways, exits and entrances designed and constructed by Rock RDP 1 on the Rock RDP 1 Property shall comply with the requirements of the City of Apopka. Rock RDP 1 shall perform the Rock RDP 1 Driveway Construction Obligation on or before the issuance of a certificate of occupancy for any occupant of any portion of the Rock RDP 1 Property but no later than December 31, 2015.

d. Calmil or its successor shall, at its sole cost and expense, design and construct such driveways, access ways, exits and entrances as may be reasonably necessary to provide a point of access from the Calmil Property to Rock RDP 1 Property. The driveways, access ways, exits and entrances designed and constructed by Calmil on the Calmil Property shall comply with the requirements of the City of Apopka. Calmil shall complete the construction of such driveways, access ways, exits and entrances on or before the issuance of a certificate of occupancy for any occupant of any portion of the Calmil Property.

e. Notwithstanding the easements granted hereunder, Rock RDP 1 shall not permit construction vehicles seeking access to the Rock RDP 1 Property to obtain ingress and egress to the Rock RDP 1 Property across Calmil Property. Likewise, Calmil shall not permit construction vehicles seeking access to Calmil Property to obtain ingress and egress to Calmil Property across the Rock RDP 1 Property.

f. Calmil reserves the right to establish, from time to time, reasonable rules and regulations for the use of the driveways, access ways, sidewalks, walkways, exits and entrances of the Calmil Property. Likewise, Rock RDP 1 reserves the right to establish, from time to time, reasonable rules and regulations for the use of the driveways, access ways, sidewalks, walkways, exits and entrances of the Rock RDP 1 Property.

g. Calmil shall not establish or erect signs directing traffic from Calmil Property to the driveways, access ways, sidewalks, walkways, exits and entrances of the

Rock RDP 11 Property. Likewise, Rock RDP 1 shall not establish or erect signs directing traffic from the Rock RDP 1 Property to the driveways, access ways, sidewalks, walkways, exits and entrances of Calmil Property.

h. Each party reserves the right, subject to the approval of the other party, which approval shall not be unreasonably withheld, to record an instrument containing the legal description and a sketch of such legal description of the driveways, access ways, sidewalks, walkways, exits and entrances of its Property. Upon the recordation of such instrument the rights of ingress and egress described in this instrument shall apply solely to the real property included in such description.

2. **Grant of Utility Easement.** Rock RDP 1 hereby grants and conveys to Calmil, for the use and benefit of Calmil Property, the owners of any portion thereof or interest therein, their successors and assigns, a non-exclusive easement for utility purposes over, under and across the property legally described in **Exhibit "C"** and as depicted in **Exhibit "C-1"**, both attached hereto and incorporated herein a. ("Utility Easement Area"). Utility installations within the Utility Easement Area may, without limitation, include water (potable, fire protection and irrigation water), telephone, cable, gas and electric power. Calmil may from time to time, at its sole cost and expense, install, maintain and repair, within the Utility Easement Area underground utility lines to provide services to Calmil Property.

Prior to beginning any Utility installations in the Utility Easement Area, Calmil will provide written notice to Rock RDP 1 not later than twenty (20) days from the date Calmil anticipates commencing its' work.

Notwithstanding the foregoing, Calmil hereby agrees that during the any installations within the Utility Easement Area and at all times thereafter for the purposes of maintenance or repair, it shall make every reasonable effort not to impede the driveways, access ways, sidewalks, walkways, exits and entrances of the Rock RDP 1 Property or in any way restrict the access to and from the Rock RDP 1 Property of any automobile, pedestrian, employee or agent of Rock RDP 1.

3. **Grant of Sewer Line Easement.** Rock RDP 1 hereby grants and conveys to Calmil, for the use and benefit of Calmil Property, the owners of any portion thereof or interest therein, their successors and assigns, a non-exclusive easement for the for the conduct and passage of waste water through certain sanitary sewer mains, pipes, conduits, valves, meters and related appurtenances located within the property legally described in **Exhibit "D"** and as depicted in **Exhibit "D-1"**, both attached hereto and incorporated herein ("Sewer Line Easement Area") Rock RDP 1 shall, at its sole cost and expense, design and construct the following improvements to be located in the Sewer Line Easement Area:

Construction of a 4" PVC sanitary sewer force main from the common Calmil/Rock RDP 1 property line, westerly across the Rock RDP 1 parcel, with connection to the City's force main in Lake Doe Boulevard

which improvements shall comply with the requirements of the City of Apopka (the "Sewer Line Construction Obligation"). Rock RDP 1 shall perform the Sewer Line Construction Obligation on or before the issuance of a certificate of occupancy for any occupant of any

portion of the Rock RDP 1 Property but no later than December 31, 2015. Calmil may, from time to time and at its sole cost and expense, connect to the lines and facilities located within the Sewer Line Easement Area to provide services to Calmil Property.

Notwithstanding the foregoing, Calmil hereby agrees that during the construction of the Sewer Line Construction Obligation improvements and at all times thereafter for the purposes of maintenance or repair, it shall make every reasonable effort to not impede the driveways, access ways, sidewalks, walkways, exits and entrances of the Rock RDP 1 Property or in any way restrict the access of any automobile, pedestrian, employee or agent of Rock RDP 1 to the Rock RDP 1 Property.

4. **Duration.** The easements hereby created, granted and conveyed shall remain in effect in perpetuity, subject to the right of Rock RDP 1 to relocate the Utility Easement Area and Sewer Line Easement Area as more particularly set forth in Section 5.

5. **Relocation of the Utility Easement Area and Sewer Line Easement.** Rock RDP 1 reserves the right to relocate all or any part of Utility Easement Area or Sewer Line Easement Area, and the utility lines and facilities installed therein, lying within the Rock RDP 1 Property to one or more other easement areas constituting a part of the Rock RDP 1 Property, provided that Rock RDP 1 pays all costs of relocation, at its sole cost and expense, the reasonable needs of Calmil continue to be met in a reasonable manner during relocation, and Rock RDP 1 executes and delivers to Calmil an amendment to this Agreement, or a separate instrument in form and content acceptable to Rock RDP 1 and Calmil, in which Calmil is granted an easement in and to the new easement area(s), and in which the easement granted herein affecting the relocated easement area(s) will be terminated. Rock RDP 1 shall provide not less than sixty (60) days written notice to Calmil that Rock RDP 1 intends to relocate such easement areas and shall provide plans and specification providing reasonable information about its plans for such relocation (hereafter the "Relocation Notice"). Provided that Calmil does not object within twenty (20) days from the date of the Relocation Notice, then Rock RDP 1 may proceed with such relocation in accordance with such plans. Notwithstanding the foregoing, without the express written consent of Calmil, Rock RDP 1 may not commence its' activities to relocate the Utility Easement Area or Sewer Line Easement area until the sixtieth (60th) day from the date of the Relocation Notice.

6. **Maintenance of Utility Easement Area and Sewer Line Easement Area.** Calmil, at its sole cost and expense, shall be responsible for the repair and maintenance of the utility lines and facilities located within the Utility Easement Area and Sewer Line Easement Area which lines and facilities exclusively serve the Calmil Property. Rock RDP 1, at its cost and expense, shall be responsible for the repair and maintenance of the utility lines and facilities located within the Utility Easement Area and Sewer Line Easement Area which lines and facilities serve the Rock RDP 1 Property.

7. **Remedies.** If Rock RDP 1 fails to maintain and repair the utility lines and facilities serving both the Rock RDP 1 Property and the Calmil Property and/or driveways, roads, access ways, sidewalks, walkways, exits and entrances serving the Calmil Property so that they shall at all times be in good and operable condition and in compliance with all applicable governmental codes and regulations or, if Rock RDP 1 shall fail to perform the Rock RDP 1 Driveway Construction Obligation or the Sewer Line Construction Obligation within the time specified herein, Calmil shall have the right after twenty (20) days written

notice to Rock RDP 1 or, in case of an emergency, at any time, to undertake reasonable construction, repairs and maintenance and Rock RDP 1 shall reimburse Calmil for all reasonable costs and expenses related to Calmil's construction, maintenance and repair activities within thirty (30) days of receipt of an invoice for such costs. In the event Rock RDP 1 does not pay when due Calmil's costs and expenses, Calmil shall be entitled to execute and record among the Public Records of Orange County, Florida a claim of lien encumbering Rock RDP 1 Property. The claim of lien shall be in an amount equal to the reimbursement due to Calmil, plus interest at the highest rate allowed by law from the date said reimbursement was due, together with all costs and reasonable attorneys' fees (at all trial and appellate levels) incurred in connection therewith. Calmil shall be entitled to pursue any or all available remedies to enforce the lien and collect the amounts due, including without limitation foreclosure of the lien or an action to collect the indebtedness.

If Calmil fails to maintain and repair any driveways, roads, access ways, sidewalks, walkways, exits and entrances serving the Rock RDP 1 Property so that they shall at all times be in good and operable condition and in compliance with all applicable governmental codes and regulations or, if Calmil shall fail to perform its' obligations related to the Utility Easement Area within the time specified herein, Rock RDP 1 shall have the right after twenty (20) days written notice to Calmil or, in case of an emergency, at any time, to undertake reasonable construction, repairs and maintenance and Calmil shall reimburse Rock RDP 1 for all reasonable costs and expenses related to Rock RDP 1's construction, maintenance and repair activities within thirty (30) days of receipt of an invoice for such costs. In the event Calmil does not pay when due any Rock RDP 1's costs and expenses, Rock RDP 1 shall be entitled to execute and record among the Public Records of Orange County, Florida a claim of lien encumbering the Calmil Property. The claim of lien shall be in an amount equal to the reimbursement due to Rock RDP 1, plus interest at the highest rate allowed by law from the date said reimbursement was due, together with all costs and reasonable attorneys' fees (at all trial and appellate levels) incurred in connection therewith. Rock RDP 1 shall be entitled to pursue any or all available remedies to enforce the lien and collect the amounts due, including without limitation foreclosure of the lien or an action to collect the indebtedness.

8. **Estoppel Certificates.** In the event that Calmil or Rock RDP 1, or their respective successors or assigns, shall desire to inquire as to the status of any party's performance of or compliance of the obligations imposed in this Agreement, the inquiring party shall be entitled to demand and receive from the other party within ten (10) days prior written notice, an estoppel certificate which states whether any party hereto is in default of its obligations hereunder and whether, when, and to what extent any monies may be due to from one party to another hereunder. Any such written demand must be forwarded pursuant to the notice provision hereunder.

9. **Incidental Rights.** Except as otherwise specifically provided or limited herein, the easements, rights and obligations hereby created, granted and conveyed include all incidental rights reasonably necessary for the use and enjoyment of the easements granted herein and for their intended purposes.

10. **No Common Ownership.** Notwithstanding anything herein set forth, the parties hereto expressly negate any construction of this Agreement which implies the joint or common ownership of any part of Calmil Property or the Rock RDP 1 Property, or which implies the creation, establishment or existence of any partnership, joint venture or other such scheme of common ownership or common operation of the respective properties.

11. **Indemnification.** Rock RDP 1, its successors and assigns, shall indemnify and hold Calmil, its successors and assigns, harmless from and against any and all loss, cause, damage, expense, injury, claim and liability (including reasonable attorney's fees and paraprofessional fees at any pre-trial, trial or appellate proceedings) which Calmil, its successors and assigns, may suffer or incur as the result of, arising out of, or attributable to, use of the Calmil Property by Rock RDP 1, its successors and assigns, or the exercise of any rights granted to Rock RDP 1 herein, except to the extent resulting from the negligent, intentional or willful acts or omissions of the party being indemnified, its contractors, employees, agents or others acting by, through, under or on behalf of such party. Calmil, its successors and assigns, shall indemnify and hold Rock RDP 1, its successors and assigns, harmless from and against any and all loss, cause, damage, expense, injury, claim and liability (including reasonable attorney's fees and paraprofessional fees at any pre-trial, trial or appellate proceedings) which Rock RDP 1, its successors and assigns, may suffer or incur as the result of, or arising out of, or attributable to, use of the Rock RDP 1 Property by Calmil, its successors and assigns, or the exercise of any rights granted to Calmil herein, except to the extent resulting from the negligent, intentional or willful acts or omissions of the party being indemnified, its contractors, employees, agents or others acting by, through, under or on behalf of such party.

12. **No Merger.** If any party shall become the fee owner of any part of the subject real property who is also the holder of a beneficial easement interest created hereunder, said fee interest and beneficial interest shall not merge into the fee estate.

13. **Attorney's Fees.** In the event of a dispute arising under this Agreement, the prevailing party shall be entitled to recover its reasonable attorneys' fees and costs, including attorneys' fees and costs incurred in litigating entitlement to attorneys' fees and costs, as well as in determining or quantifying the amount of recoverable attorneys' fees and costs. The reasonable costs to which the prevailing party is entitled shall include costs that are taxable under any applicable statute, rule or guideline, as well as non-taxable costs, including, but not limited to, costs of investigation, copying costs, electronic discovery costs, telephone charges, mailing and delivery charges, information technology support charges, consultant and expert witness fees, travel expenses, court reporter fees, and mediator fees, regardless of whether such costs are otherwise taxable. The party prevailing in said legal proceedings shall be entitled to recover from the party not prevailing in said legal proceedings reasonable attorneys' fees and court costs incurred incidental thereto, including, without limitation, fees and costs incurred in appellate proceedings and in bankruptcy.

14. **Applicable Law.** This Agreement shall be governed by and construed in accordance with the laws of the State of Florida, exclusive of any conflict of laws provisions thereof that would apply the laws of another jurisdiction. Calmil and Rock RDP 1 hereby submit to the jurisdiction of, and agree that venue for actions hereunder shall be, in the Circuit Court of the State of Florida sitting in Orange County, Florida, and Calmil and Rock RDP 1 each hereby waive any objection to venue in such courts and any objection to any action or proceeding on the basis of forum non-conveniens.

15. **Entire Agreement.** This Agreement contains the entire agreement between Rock RDP 1 and Calmil with respect to the subject matter contained herein, and no representations, inducements, promises or agreements, oral or otherwise, not embodied herein shall be binding upon the owners hereto.

16. **Notices.** Any notice required or permitted to be given hereunder shall be in writing and shall be (i) personally delivered, (ii) transmitted by postage pre-paid registered mail, or (iii) transmitted by a recognized overnight courier service to Calmil and Rock RDP 1, their successor and/or assigns, to the address used by the Orange County Tax Collector, or any successor thereto, for the delivery of invoices for the payment of ad valorem property taxes. Any notice required or given hereunder shall only be deemed as having been received (i) upon actual receipt if delivered by hand, (ii) the day following deposit thereof if sent via nationally recognized overnight courier service for next day delivery or (iii) upon receipt or refusal if sent by certified mail, return receipt requested or upon refusal to accept delivery from any overnight courier. Either party may, from time to time, give notice to the other party of some other address to which notices or other communications to such party shall be sent, in which event, notices or other communications to such party shall be sent to such address. If any notice or other communication described in this Agreement is sent by either party hereto to the other and such notice or other communication was not sent in accordance with the foregoing terms of this Section but was, in fact, actually received by the other party, then such notice or other communication shall be deemed to have been duly given by the sending party and received by the recipient party effective as of such date of actual receipt. If any notice is tendered and is refused by the intended recipient, such notice shall nonetheless be considered to have been given and shall be effective as of the date provided herein.

17. **Force Majeure.** Except with respect to any failure to pay any sum due hereunder as a result of bankruptcy, insolvency or refusal or inability to pay, if either party shall be delayed or hindered in whole or in part, or prevented from, the performance of any non-monetary covenant or obligation hereunder as a result of acts of God, fire or other casualty, earthquake, hurricane, flood, epidemic, landslide, enemy act, acts of war, acts of terrorism or bioterrorism, riot, intervention by civil or military authorities of government, insurrection or other civil commotion, general unavailability of certain materials, strikes, boycotts, lockouts, labor disputes or work stoppage beyond the control of either party hereto, then the performance of such covenant or obligation, shall be excused for the period of such delay, hindrance or prevention and the period of the performance of such covenant or obligation shall be extended by the number of days equivalent to the number of days of such delay, hindrance or prevention. The delayed or hindered party shall promptly notify the other party of any force majeure event affecting the delayed or hindered party's performance under this Agreement.

18. **Severability.** The invalidity or unenforceability of any provision or portion of this Agreement will not affect the validity of the remainder of this Agreement. If any provision of this Agreement is determined to be invalid or unenforceable, Calmil and Rock RDP 1 will negotiate in good faith to agree upon substitute provisions to carry out the purpose and intent of the invalid or unenforceable provision.

19. **Miscellaneous.** With or without specific reference thereto, the conveyance of an interest in all or any portion of either Calmil Property or the Rock RDP 1 Property shall be subject to the benefits and burdens of the easements hereby created, granted and conveyed to the same extent as if all the terms and conditions of this Agreement were set forth in full in such conveyance. The easements, covenants, agreements, obligations and conditions contained herein shall not be personal, but shall run with the land and shall be binding upon and inure to the benefit of the owners of all portions of Calmil Property and the Rock RDP 1 Property, the successors and assigns of said owners, and the tenants, agents, licensees, guests and invitees of each of them. The caption included herein are for reference only and should not be used in construing any of the terms hereof.

Signed, sealed and delivered
in the presence of:

CALMIL

Calmil Investment Group, LP

Frank J. Chin
Print: Frank J. Chin

Katelyn Bayer
Print: Katelyn Bayer

Frank J. Chin
Print: Frank J. Chin

Katelyn Bayer
Print: Katelyn Bayer

By: Kenneth L. Jureit
Kenneth L. Jureit, General Partner

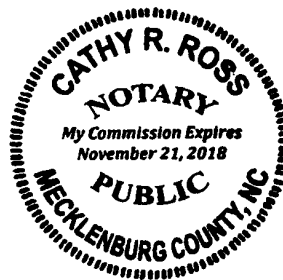
Kenneth L. Jureit
Kenneth L. Jureit as Trustee of THE KENNETH
LEE JUREIT LIVING TRUST dated February
12, 2002, as amended

STATE OF NORTH CAROLINA)
COUNTY OF Cabarrus

The foregoing instrument was acknowledged before me this 28th day of August,
2014, by Kenneth L. Jureit, as trustee and as general partner of Calmil Investment Group,
L.P., on behalf of the limited partnership, who is personally known to me or who presented
a valid driver's license as identification.

Cathy R. Ross
NOTARY PUBLIC
STATE OF NORTH CAROLINA
Print Name: Cathy R. Ross

My commission expires: 11/21/18


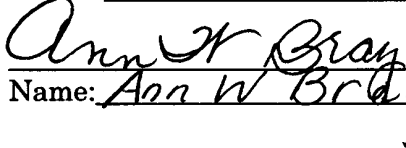


Rock RDP 1

Rock RDP 1, LLC,
A Florida limited liability company

By: ROCK CELLULAR, LLC,
A Florida limited liability company,
As it's sole Manager

By: ROCK PROPERTIES, INC.,
a Florida corporation,
as its sole Manager


Name: David R. Woods

Name: Ann W. Brady

By: 
Name: Greg I. Zuckerman
Title: President

STATE OF FLORIDA)
COUNTY OF ORANGE)

The foregoing instrument was acknowledged before me this 9th day of September, 2014, by Greg I. Zuckerman, as President of Rock RDP 1, LLC, a Florida limited liability company, on behalf of the limited liability company, who is personally known to me or who presented a valid driver's license as identification.




NOTARY PUBLIC STATE OF FLORIDA

Print Name: _____
My commission expires: _____

EXHIBIT "A"
ROCK RDP 1PROPERTY

EXHIBIT "A"

ROCK RDP 1 PROPERTY LEGAL DESCRIPTION

THE WEST 127.94 FEET OF THE S.W. 1/4 OF THE S.E. 1/4 OF SECTION 5, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, LYING SOUTH OF U.S. HIGHWAY 441 AND NORTH OF THE SEABOARD COASTLINE RAILROAD RIGHT-OF-WAY, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE INTERSECTION OF THE SOUTH RIGHT-OF-WAY LINE OF U.S. HIGHWAY 441 (163 FEET WIDE) WITH THE WEST BOUNDARY OF THE S.W. 1/4 OF THE S.E. 1/4 OF SAID SECTION 5, SAID POINT BEING ON THE EAST RIGHT-OF-WAY LINE OF LAKE DOE BOULEVARD (60 FEET WIDE); THENCE S00°54'42"W ALONG SAID WEST BOUNDARY AND SAID EAST RIGHT-OF-WAY LINE, A DISTANCE OF 300.39 FEET TO THE NORTH RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD (120 FEET WIDE); THENCE DEPARTING SAID WEST BOUNDARY AND EAST RIGHT-OF-WAY LINE, PROCEED S78°27'33"E ALONG SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 130.18 FEET; THENCE DEPARTING SAID NORTH RIGHT-OF-WAY LINE, PROCEED N00°54'42"E, A DISTANCE OF 267.56 FEET TO A POINT ON THE AFOREMENTIONED SOUTH RIGHT-OF-WAY LINE OF U.S. HIGHWAY 441; THENCE N65°08'03"W ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 140.00 FEET TO THE POINT OF BEGINNING.

ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying

• 1105 S.E. 3rd Avenue • Ocala, Florida 34471
 • Ph. (352) 622-9214 • Lic. Bus. #4074

SCALE

DATE

6-02-14

EXHIBIT "B"
CALMIL PROPERTY

EXHIBIT "B"

CALMIL PROPERTY LEGAL DESCRIPTION

THE S.W. 1/4 OF THE S.E. 1/4 OF SECTION 5, TOWNSHIP 21 SOUTH,
RANGE 28 EAST, ORANGE COUNTY, FLORIDA, LYING SOUTH OF U.S.
HIGHWAY 441 AND NORTH OF THE SEABOARD COASTLINE RAILROAD
RIGHT-OF-WAY EXCEPT THE WEST 127.94 FEET THEREOF.

ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying

• 1105 S.E. 3rd Avenue • Ocala, Florida 34471
• Ph. (352) 622-9214 • Lic. Bus. #4074

SCALE

DATE

6-02-14

EXHIBIT "C"
UTILITY EASEMENT AREA

EXHIBIT "C"
UTILITY EASEMENT

LEGAL DESCRIPTION - UTILITY EASEMENT

COMMENCE AT THE INTERSECTION OF THE SOUTH RIGHT-OF-WAY LINE OF U.S. HIGHWAY 441 (163 FEET WIDE) WITH THE WEST BOUNDARY OF THE S.W. 1/4 OF THE S.E. 1/4 OF SAID SECTION 5, SAID POINT BEING ON THE EAST RIGHT-OF-WAY LINE OF LAKE DOE BOULEVARD (60 FEET WIDE); THENCE S00°54'42"W ALONG SAID WEST BOUNDARY AND SAID EAST RIGHT-OF-WAY LINE, A DISTANCE OF 220.39 FEET TO THE POINT OF BEGINNING; THENCE DEPARTING SAID RIGHT-OF-WAY LINE, PROCEED S78°27'33"E, A DISTANCE OF 130.18 FEET TO A POINT ON THE EAST PROPERTY LINE OF THE PARENT PARCEL; THENCE S00°54'42"W ALONG SAID EAST PROPERTY LINE, A DISTANCE OF 24.42 FEET; THENCE DEPARTING SAID EAST PROPERTY LINE, PROCEED N78°27'33"W, A DISTANCE OF 130.18 FEET TO A POINT ON THE AFOREMENTIONED EAST RIGHT-OF-WAY LINE OF LAKE DOE BOULEVARD; THENCE N00°54'42"E ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 24.42 FEET TO THE POINT OF BEGINNING.

ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying

• 1105 S.E. 3rd Avenue • Ocala, Florida 34471
• Ph. (352) 622-9214 • Lic. Bus. #4074

SCALE

DATE

7-28-14

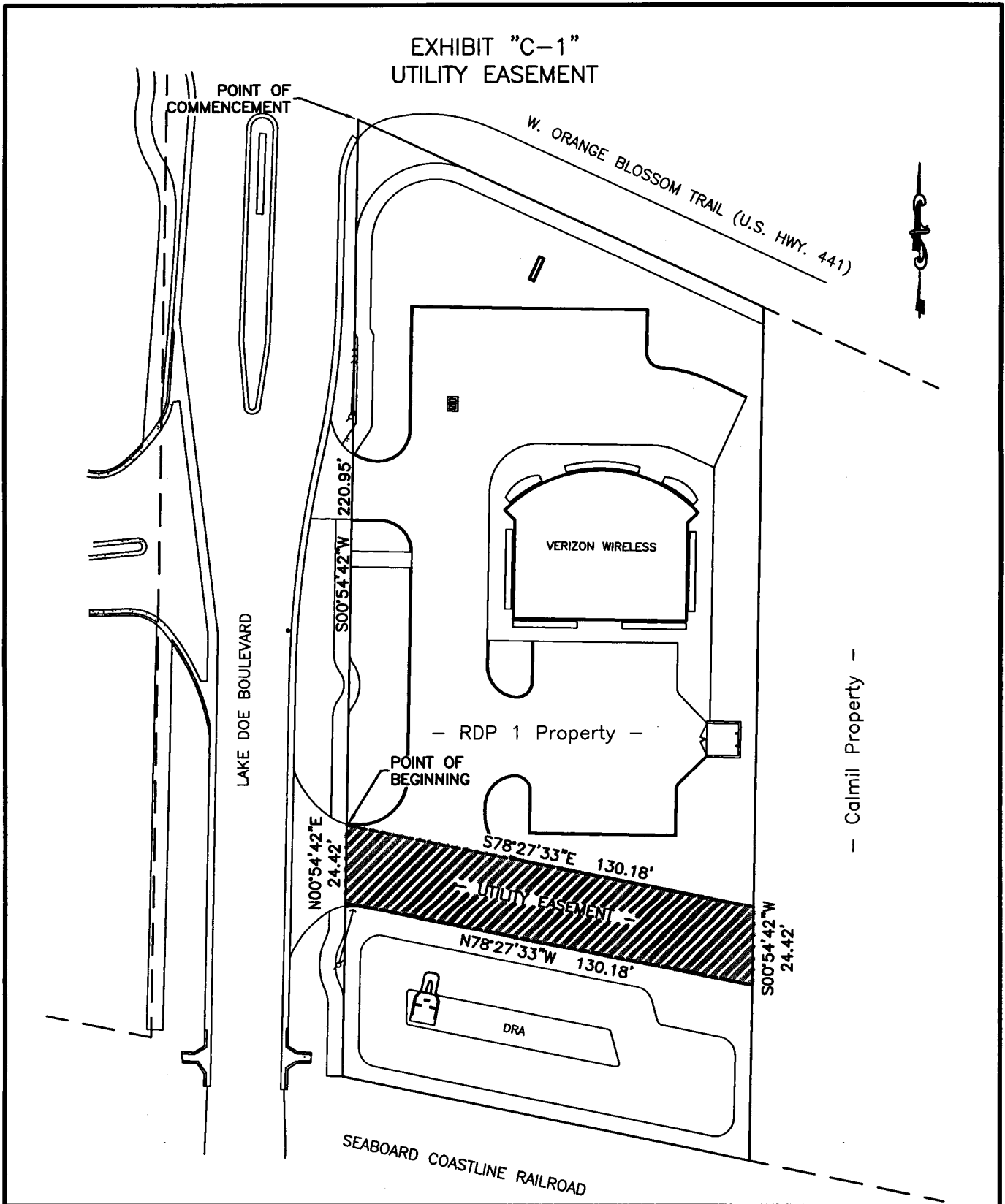


EXHIBIT "C-1"
UTILITY EASEMENT

POINT OF COMMENCEMENT

W. ORANGE BLOSSOM TRAIL (U.S. HWY. 441)

LAKE DOE BOULEVARD

VERIZON WIRELESS

- RDP 1 Property -

POINT OF BEGINNING

- Calmil Property -

N00°54'42"E
24.42'

S00°54'42"W
220.95'

S78°27'33"E 130.18'

N78°27'33"W 130.18'

S00°54'42"W
24.42'

DRA

SEABOARD COASTLINE RAILROAD

ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying

• 1105 S.E. 3rd Avenue • Ocala, Florida 34471
• Ph. (352) 622-9214 • Lic. Bus. #4074

SCALE
1" = 40'

DATE
7-28-14

EXHIBIT "D"

SEWER LINE EASEMENT AREA

EXHIBIT "D"
SEWER EASEMENT

LEGAL DESCRIPTION – SEWER EASEMENT

A 10 FEET WIDE EASEMENT, LYING 5 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

COMMENCE AT THE INTERSECTION OF THE SOUTH RIGHT-OF-WAY LINE OF U.S. HIGHWAY 441 (163 FEET WIDE) WITH THE WEST BOUNDARY OF THE S.W. 1/4 OF THE S.E. 1/4 OF SAID SECTION 5, SAID POINT BEING ON THE EAST RIGHT-OF-WAY LINE OF LAKE DOE BOULEVARD (60 FEET WIDE); THENCE S00°54'42"W ALONG SAID WEST BOUNDARY AND SAID EAST RIGHT-OF-WAY LINE, A DISTANCE OF 219.47 FEET TO THE POINT OF BEGINNING OF SAID CENTERLINE; THENCE DEPARTING SAID RIGHT-OF-WAY LINE, PROCEED S89°59'36"E, A DISTANCE OF 127.96 FEET TO THE POINT OF TERMINUS, SAID POINT BEING ON THE EAST PROPERTY LINE OF THE PARENT PARCEL, LENGTHENING AND SHORTENING THE SIDE LINES TO INTERSECT THE EAST RIGHT-OF-WAY LINE OF LAKE DOE BOULEVARD AND THE EAST PROPERTY LINE OF THE PARENT PARCEL.

ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying

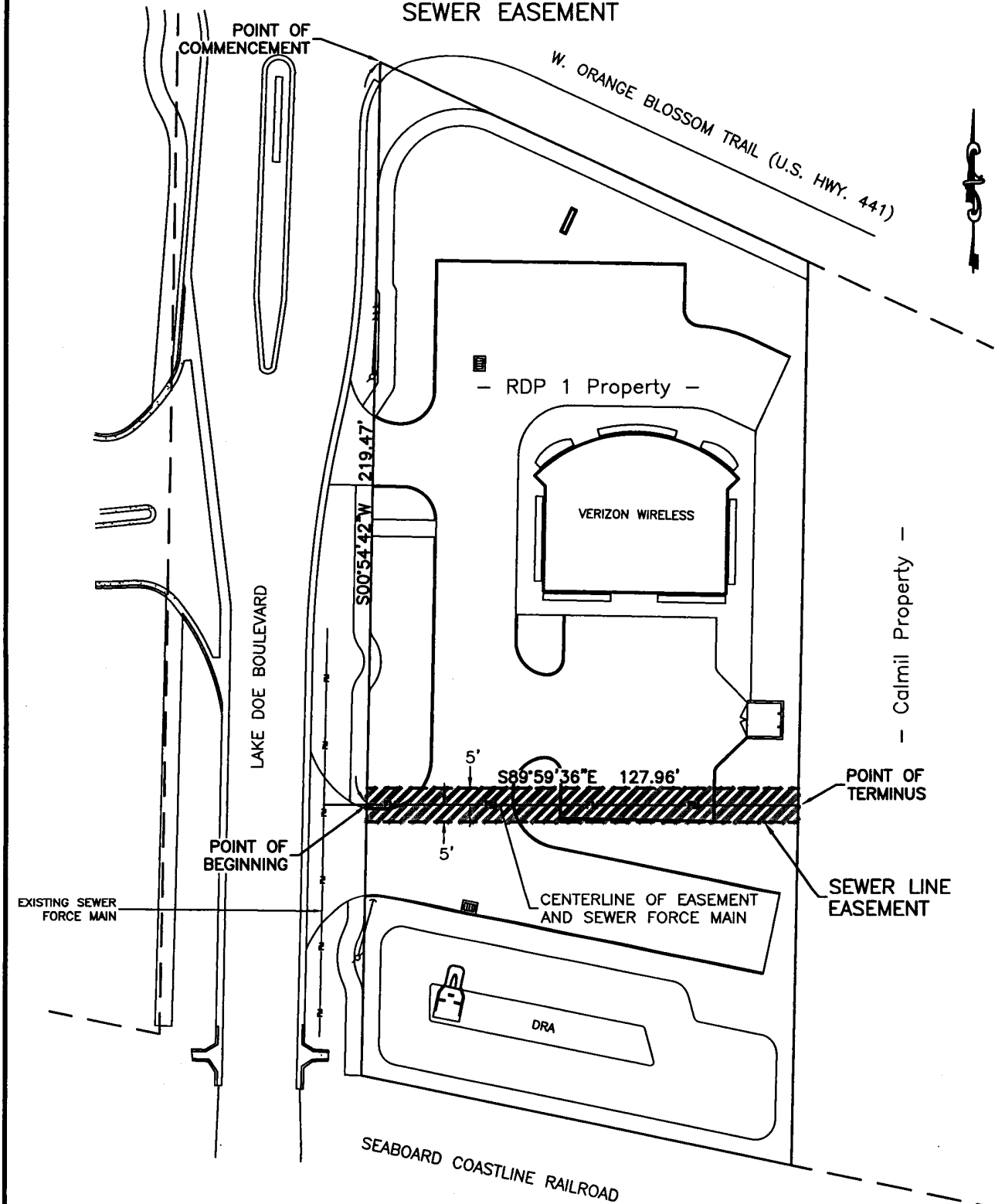
• 1105 S.E. 3rd Avenue • Ocala, Florida 34471
• Ph. (352) 622-9214 • Lic. Bus. #4074

SCALE

DATE

7-28-14

EXHIBIT "D-1" SEWER EASEMENT



ROGERS ENGINEERING, LLC
 Civil Engineering & Land Surveying

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 • Ph. (352) 622-9214 • Lic. Bus. #4074

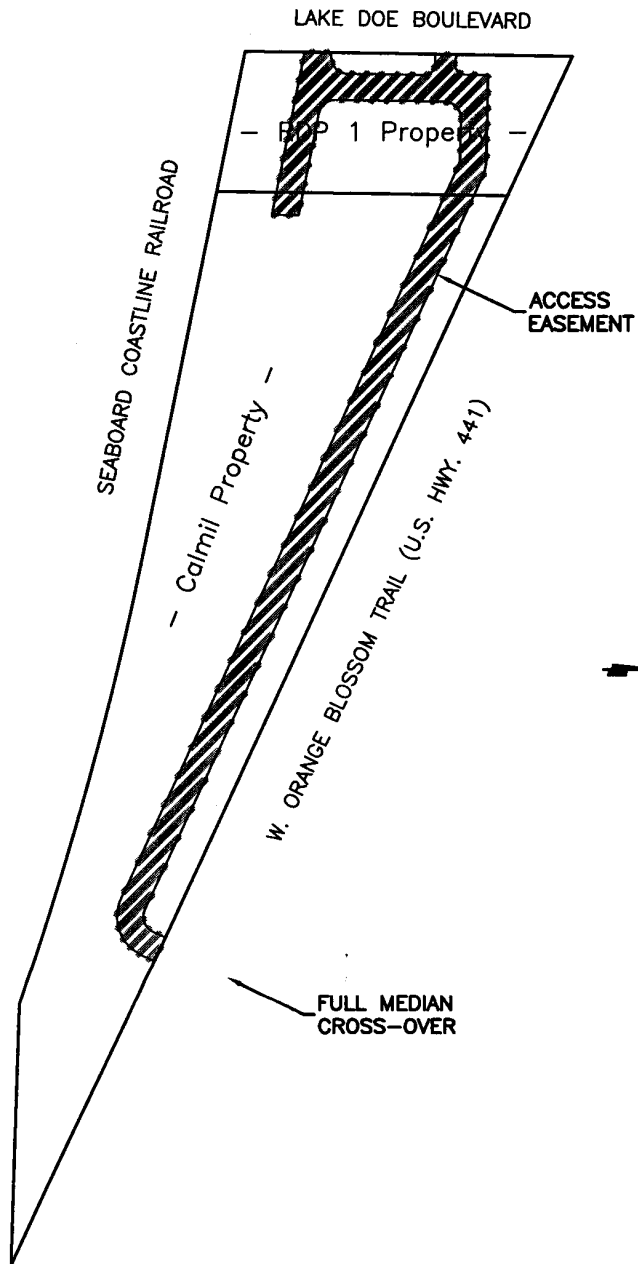
SCALE
 1" = 40'

DATE
 7-28-14

EXHIBIT "E"

MUTUAL ACCESS, INGRESS AND EGRESS EASEMENT AREA

EXHIBIT "E" ACCESS EASEMENT



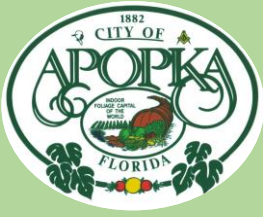
ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying

• 1105 S.E. 3rd Avenue • Ocala, Florida 34471
• Ph. (352) 622-9214 • Lic. Bus. #4074

SCALE

DATE

7-28-14



CITY OF APOPKA CITY COUNCIL

 CONSENT AGENDA
 X PUBLIC HEARING
 SPECIAL REPORTS
 X OTHER: Final Development Plan/Plat

MEETING OF: September 5, 2018
FROM: Community Development
EXHIBITS: Vicinity Map
 Aerial Map
 Final Development Plan and Plat

SUBJECT: BRIDLEWOOD SUBDIVISION FINAL DEVELOPMENT PLAN AND PLAT

**REQUEST: APPROVE THE FINAL DEVELOPMENT PLAN AND PLAT FOR
 BRIDLEWOOD SUBDIVISION**

SUMMARY:

OWNER: Laura R. Murphy
APPLICANT: Luke Classon, P.E. c/o Appian Engineering
LOCATION: 359 West Lester Road
PARCEL ID NUMBER: 28-20-28-0000-00-060
EXISTING USE: Errol Equestrian Center
FUTURE LAND USE: Residential Low Suburban
ZONING DISTRICT: R-1 (Single Family Residential) Zoning District
MINIMUM LOT WIDTH: 75 feet typical lot width
MINIMUM LOT SIZE: 8,000 square feet
TRACT SIZE: 19.94 +/- acres
PROPOSED DEVELOPMENT: 52 Single Family Residential Lots with park
PROPOSED DENSITY: 2.6 DU/AC (3.5 DU/AC Maximum)

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (County)	“County” Low Density Residential	“County” A-1	Grazing\vacant
East (City)	“City” Agriculture	“City”AG	Bird Reconditioning Center
South (City and County)	“City” Residential Low & “County” Low Medium Density Residential	“City” R-2 & “County” A-2	Single Family Homes
West (County)	“County” Low Density Residential	“County” A-1	Greenhouse

PROJECT SUMMARY: The Bridlewood Subdivision – Preliminary Development Plan proposes the development of 52 single family residential lots. The minimum typical lot width is 75 feet with a minimum lot size of 8,000 square feet. The required minimum living area for the subdivision is 1,500 square feet as set forth in Chapter 2 of the Land Development Code for single-family lots located within the R-1 zoning. The minimum setbacks applicable to this project are:

Setback	Min. Standard
Front*	25’
Side	10’
Rear	20’
Corner	25’

*Front-entry garage must be setback 30 feet.

ACCESS: Ingress/egress access points for the development will be via full access onto Lester Road. A future connection occurs through a stub-out street at the northwest corner of the project.

TRANSPORTATION: A transportation impact analysis (TIA) was conducted for this project to assess its impacts on the surrounding roadway segments and intersections within a one-mile radius of the project per the City’s adopted TIA methodology. Included in the analysis were segments of CR 435, Welch Road, Lester Road, Ponkan Road, and Vick Road. Intersections analyzed were Lester Road and Rock Springs Road, Lester Road and Vick Road, and Lester Road and the project entrance. Right and left turn lane warrant studies at the site entrance were also conducted.

The project will generate 576 daily trips and 58 P.M. Peak Hour trips. The addition of these project trips to the study roadways will not cause the Level of Service (LOS) to fall below the City’s adopted LOS. The current intersection analyses with existing traffic volumes indicate that the addition of Bridlewood project trips will not cause the intersection of Lester Road and Rock Springs Road or the site entrance to be over capacity. However, the intersection of Lester Road and Vick Road has experienced some delay issues during the P.M. Peak Hour. These issues are currently being monitored and improvements may be required at a later date, but not directly the responsibility of this project. This project will not adversely impact the current operation of the intersection.

STORMWATER: The stormwater management system includes an on-site retention area and located on the north portion of the project site. The stormwater pond design meets the City’s Land Development Code requirements.

RECREATION: The applicant is providing 0.47 acre/approximately 20,473 square feet of recreation space that includes a playground.

BUFFER(S)/LANDSCAPING: A 10-foot wide landscaped buffer easement including a pineapple guava, an evergreen hedge and 6-foot tall brick, masonry, concrete or precast wall are provided along Lester Road. A 6-foot tall composite fence within a 5-foot wide landscaped buffer are proposed on the western, northern and eastern perimeters of the site. Additional oak trees will be provided along the eastern boundary as additional screening for the existing Avian Reconditioning Center, and as part of the approved proposal for screening/wall variance, VAR18-03 Laura Murphy, public hearing.

VARIANCE(S): At the Planning Commission meeting on June 12, 2018, a variance, VAR18-03 Laura Murphy, was approved for the subject property allowing a 6-foot tall composite fence within a 5-foot wide bufferyard in lieu of required 6-foot tall brick, stone, or decorative block wall on the western, northern and eastern perimeters.

SCHOOL CAPACITY REPORT: A school concurrency mitigation agreement has been executed and a copy of the letter from Orange County Public Schools (OCPS) has been supplied to Staff.

ORANGE COUNTY NOTIFICATION: The County was notified at the time of the preliminary development plan application through the DRC agenda distribution.

CONDITION OF APPROVAL:

Plat will be revised to assign maintenance and ownership of the L & F five-foot wide easement (Landscape and Fence) to the HOA; and re-number the notes on the front sheet.

PUBLIC HEARING SCHEDULE:

August 14, 2018 – Planning Commission, 5:30 p.m.
September 5, 2018 – City Council, 1:30 p.m.

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the Bridlewood Subdivision – Final Development Plan and Plat, subject to the findings of this staff report.

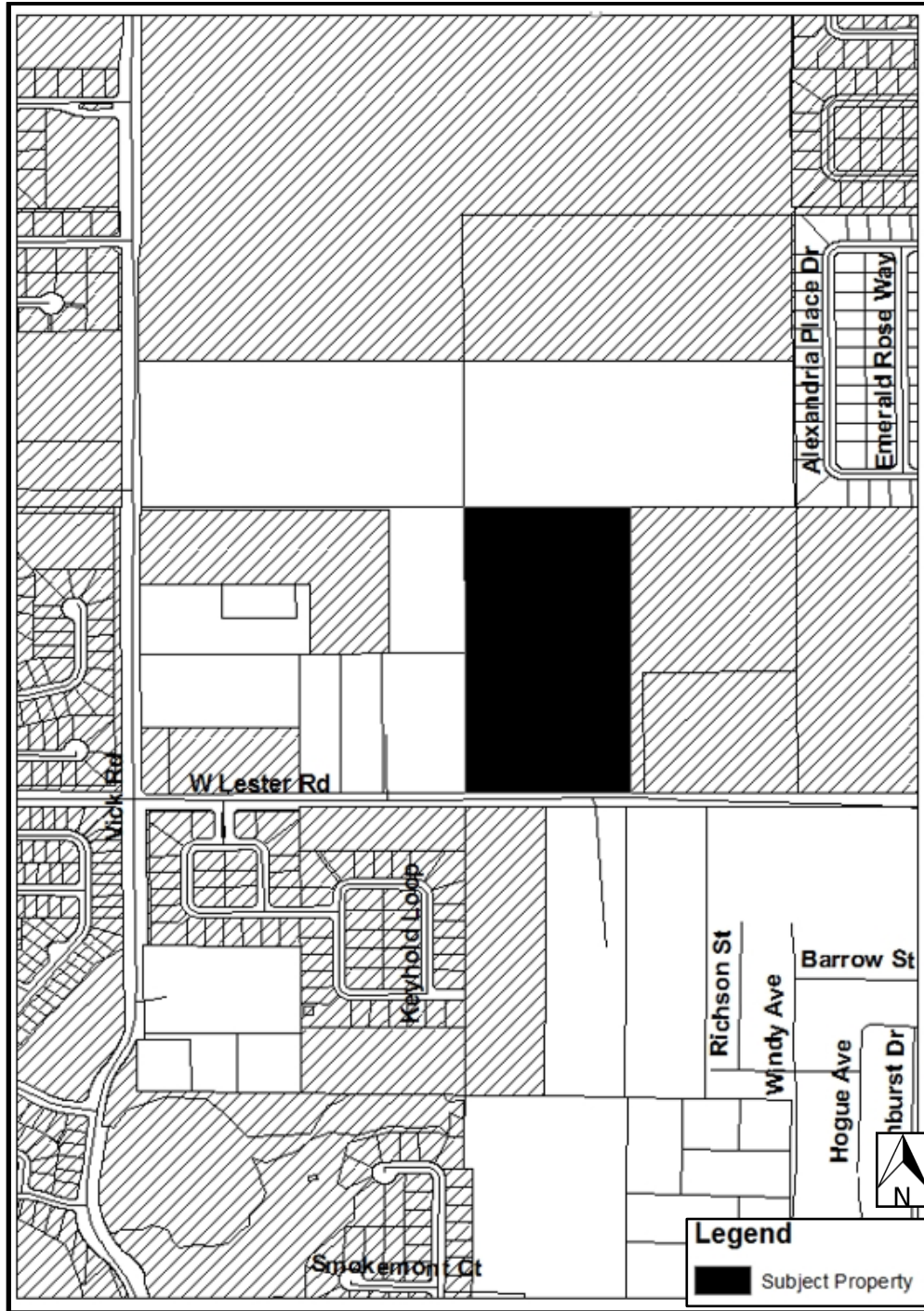
The **Planning Commission**, at its meeting on August 14, 2018, unanimously recommended approval of the Bridlewood Subdivision – Plat subject to the Condition of Approval, findings of the staff report and final review by the City surveyor and city engineer prior to recording the plat for property owned by Laura R. Murphy and located at 359 West Lester Road.

City Council: Approve the Bridlewood Subdivision – Final Development Plan and Plat subject to the findings of the staff report and the public hearing findings for VAR18-03 Laura Murphy.

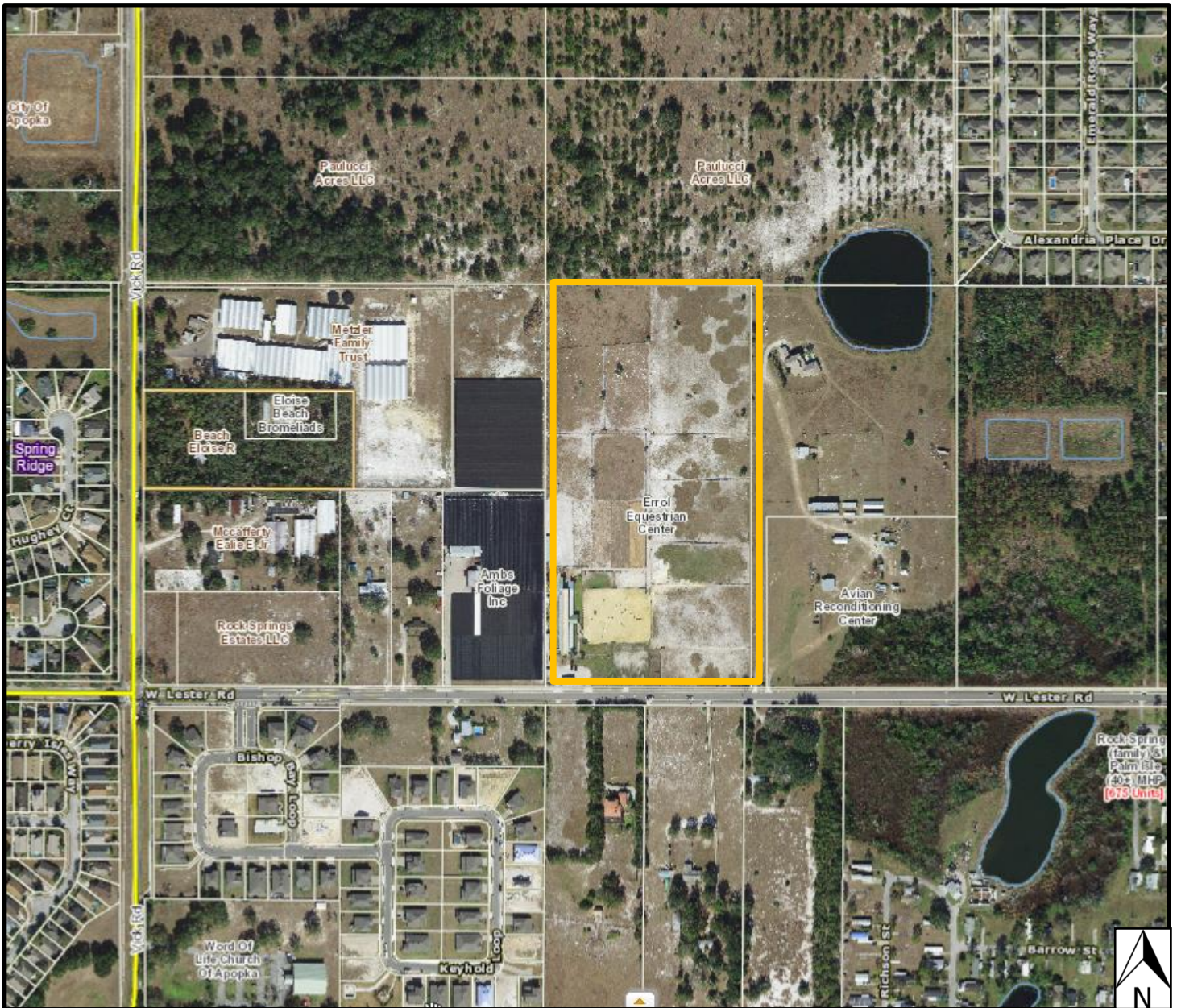
Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Project Name: Bridlewood Subdivision Final Development Plan and Plat
Property Owner: Laura R. Murphy
Applicant: Luke Classon, P.E. c/o Appian Engineering
Total Site Area: +/- 19.94
Parcel ID #: 28-20-28-0000-00-060

VICINITY MAP



AERIAL MAP



GENERAL NOTES

- UNLESS OTHERWISE SPECIFIED, ALL WORK SHALL BE PERFORMED CONSISTENT WITH THE FOLLOWING SPECIFICATIONS:
 - CITY OF APOPKA, FLORIDA
 - ST. JOHNS RIVER WATER MANAGEMENT DISTRICT
 - FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
 - NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM
- THE GEOTECHNICAL REPORT SHALL BE REVIEWED BY THE CONTRACTOR, AND THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SITE, INCLUDING ALL SURFACE AND SUBSURFACE CONDITIONS, THE WORK REQUIRED, AND ALL OTHER CONDITIONS THAT MAY AFFECT THE SUCCESSFUL COMPLETION OF THE JOB PRIOR TO COMMENCEMENT OF WORK.
- THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND PERMIT CONDITIONS BEARING ON THE CONDUCT OF THE WORK, AS DRAWN AND SPECIFIED. IF THE CONTRACTOR OBSERVES THAT THE DRAWINGS AND SPECIFICATIONS ARE AT VARIANCE THEREWITH, HE SHALL PROMPTLY NOTIFY THE ENGINEER, IN WRITING, AND ANY NECESSARY CHANGES SHALL BE ADJUSTED, AS PROVIDED IN THE AGREEMENT FOR CHANGES IN THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER AND THE ENGINEER FOR THE ACTS AND OMISSIONS OF CONTRACTOR'S EMPLOYEES AND ALL HIS SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES AND OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ALL NECESSARY ARRANGEMENTS WITH GOVERNMENTAL DEPARTMENTS, PUBLIC UTILITIES, PUBLIC CARRIERS, SERVICE COMPANIES, AND CORPORATIONS OWNING OR CONTROLLING ROADWAYS, RAILWAYS, WATER, SEWER, GAS, ELECTRICAL, TELEPHONE, AND TELEGRAPH FACILITIES SUCH AS PAVEMENTS, TRACKS, PIPING, WIRES, CABLES, CONDUITS, POLES, GUYS, OR OTHER SIMILAR FACILITIES, INCLUDING INCIDENTAL STRUCTURES CONNECTED THEREWITH THAT ARE ENCOUNTERED IN THE WORK IN ORDER THAT SUCH ITEMS MAY BE PROPERLY SUPPORTED, PROTECTED OR LOCATED.
- UNLESS OTHERWISE SPECIFIED IN THE GENERAL CONDITIONS, ALL CONSTRUCTION IS TO BE GOVERNED BY THE PLANS, APPLICABLE PERMITS, AND SPECIFICATIONS HEREIN, AND ALL APPLICABLE FEDERAL, STATE AND LOCAL BUILDING AND SAFETY CODES, LAWS AND ORDINANCES.
- PRIOR TO PERFORMING ANY WORK WITHIN ANY PUBLIC OR UTILITY RIGHT-OF-WAY, CONTRACTOR SHALL OBTAIN AUTHORIZATION AND PERMIT FROM JURISDICTION RESPONSIBLE FOR SUCH RIGHT-OF-WAY. IN ADDITION, CONTRACTOR SHALL OBTAIN GAS I.D. NUMBER FROM LOCAL GAS COMPANY AND NOTIFY SUNSHINE STATE ONE-CALL UTILITY NOTIFICATION CENTER AT 1-800-432-4770 AT LEAST 48 HOURS PRIOR TO START OF WORK.
- PRIOR TO PERFORMING ANY WORK WITHIN ANY PUBLIC RIGHT-OF-WAY, CONTRACTOR SHALL DEVELOP AND IMPLEMENT A TRAFFIC CONTROL PLAN CONSISTENT WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION, AND SUBMIT TO THE COUNTY ENGINEER FOR APPROVAL.
- IN THE EVENT THE CONTRACTOR DISCOVERS ANY ERRORS OR OMISSIONS IN THE PLANS HE SHALL IMMEDIATELY NOTIFY THE ENGINEER AND/OR OWNER OR OWNER'S AGENT.
- CONTRACTOR SHALL PRESERVE AND PROTECT ALL PERMANENT REFERENCE MONUMENTS, PERMANENT CONTROL POINTS, PERMANENT BENCH MARKS AND PROPERTY CORNERS. IN THE EVENT THE MONUMENTS, POINTS OR MARKERS ARE DISTURBED THE CONTRACTOR SHALL EMPLOY A FLORIDA REGISTERED LAND SURVEYOR TO RESET OR REPLACE THEM.
- THE OWNER, OWNER'S AGENT AND INSPECTORS OF APPLICABLE GOVERNMENT JURISDICTIONS, SHALL AT ALL TIMES HAVE ACCESS TO THE WORK WHEREVER AND WHENEVER IT IS IN PREPARATION OR PROGRESS; AND THE CONTRACTOR SHALL PROVIDE PROPER FACILITIES FOR SUCH ACCESS AND FOR THE INSPECTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE ALL REASONABLE AND PRUDENT PRECAUTIONS TO INSURE THAT ALL COMPLETED WORK, MATERIALS AND EQUIPMENT STORED ON SITE ARE SAFE AND SECURED FROM UNAUTHORIZED ACCESS, USE, THEFT, OR VANDALISM. SUCH PRECAUTIONS MAY INCLUDE INSTALLATION OF SIGNS, FENCES, OR POSTING OF SECURITY GUARDS.
- CONTRACTOR SHALL, AT ALL TIMES, UTILIZE ALL NORMALLY ACCEPTED AND REASONABLY EXPECTED SAFETY PRACTICES AND COMPLY WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND GUIDELINES PERTAINING TO SAFE UTILIZATION OF EQUIPMENT OR MATERIALS AS PUBLISHED BY THEIR MANUFACTURERS.
- PRIOR TO INITIATING ANY EXCAVATION (INCLUDING BUT NOT LIMITED TO TUNNELS, DITCHES, STORM WATER PONDS, CANALS, ARTIFICIAL LAKES) CONTRACTOR SHALL INSTALL FENCES AND/OR TAKE ALL OTHER REASONABLE AND PRUDENT STEPS TO INSURE THAT ACCESS TO EXCAVATION BY UNAUTHORIZED PERSONNEL IS PREVENTED.
- CONTRACTOR SHALL COMPLY IN EVERY RESPECT WITH THE PROVISIONS OF THE FLORIDA STATE TRENCH SAFETY ACT.
- THE CONTRACTOR SHALL TAKE ALL REASONABLE PRECAUTIONS FOR THE SAFETY OF, AND SHALL PROVIDE ALL REASONABLE PROTECTION TO PREVENT DAMAGE, INJURY OR LOSS TO:
 - ALL EMPLOYEES ON THE WORK AND ALL OTHER PERSONS WHO MAY BE AFFECTED THEREBY;
 - ALL THE WORK AND ALL MATERIALS AND EQUIPMENT TO BE INCORPORATED THEREIN, WHETHER IN STORAGE ON OR OFF THE SITE, UNDER THE CARE, CUSTODY OR CONTROL OF THE CONTRACTOR OR ANY OF ITS SUBCONTRACTORS;
 - OTHER PROPERTY AT THE SITE OR ADJACENT THERETO, INCLUDING TREES, SHRUBS, LAWNS, WALKS, PAVEMENTS, ROADWAY, STRUCTURES AND UTILITIES NOT DESIGNATED FOR DEMOLITION IN THE COURSE OF CONSTRUCTION.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE SAFETY CODES AND WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC, QUASI PUBLIC OR OTHER AUTHORITY HAVING JURISDICTION FOR THE SAFETY OF PERSONS OR PROPERTY OR FOR THEIR PROTECTION AGAINST DAMAGE, INJURY OR LOSS, OR DESIGNED TO PROTECT THE ENVIRONMENT. THE CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY EXISTING CONDITIONS AND PROGRESS OF THE WORK, ALL REASONABLE SAFEGUARDS FOR SAFETY AND PROTECTION, INCLUDING POSTING DANGER SIGNS AND OTHER WARNINGS AGAINST HAZARDS, PROMULGATING SAFETY REGULATIONS AND NOTIFYING OWNERS AND USERS OF ADJACENT UTILITIES OF THE EXISTENCE OF HAZARDS AND OF THE SAFETY REGULATIONS.
- ALL DAMAGE OR LOSS TO ANY PROPERTY CAUSED IN WHOLE OR IN PART BY THE CONTRACTOR, A SUBCONTRACTOR, OR BY ANYONE FOR WHOM ACTS ANY OF THEM MAY BE LIABLE, SHALL BE REMEDIED BY THE CONTRACTOR, EXCEPT DAMAGE OR LOSS PROPERLY ATTRIBUTABLE SOLELY TO THE ACTS OR OMISSIONS OF THE OWNER, OR THE ENGINEER OR ANYONE EMPLOYED BY THEM, OR FOR WHOM ACTS ANY OF THEM MAY BE LIABLE, AND NOT PROPERLY ATTRIBUTABLE IN WHOLE OR IN PART, TO THE FAULT OR NEGLIGENCE OF THE CONTRACTOR.
- THOSE PARTS OF WORK IN PLACE WHICH ARE SUBJECT TO DAMAGE BECAUSE OF OPERATIONS BEING CARRIED ON ADJACENT THERETO SHALL BE COVERED, BOARDED UP OR SUBSTANTIALLY ENCLOSED WITH ADEQUATE PROTECTION BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE.
- UNTIL FINAL ACCEPTANCE OF THE WORK BY OWNER, THE CONTRACTOR SHALL HAVE THE CHARGE AND CARE OF AND SHALL BEAR THE RISK OF INJURY OR DAMAGE, LOSS OR EXPENSE TO ANY PART THEREOF, OR TO ANY MATERIALS STORED ON SITE, BY THE ACTION OF THE ELEMENTS OR FROM ANY OTHER CAUSE WHETHER ARISING FROM THE EXECUTION OR NON-EXECUTION OF THE WORK. THE CONTRACTOR SHALL REBUILD, REPAIR, RESTORE AND MAKE GOOD ALL INJURIES OR DAMAGES TO ANY PORTION OF THE WORK OCCASIONED BY ANY OF THE ABOVE CAUSES BEFORE FINAL ACCEPTANCE AND SHALL BEAR THE EXPENSES THEREOF.
- ADEQUATE TRAFFIC CONTROL, BARRICADES AND FLAGMAN SERVICES SHALL BE FURNISHED AND MAINTAINED BY THE CONTRACTOR AT ALL POINTS WHERE CONVEYING EQUIPMENT ENGAGED ON THE WORK REGULARLY ENTERS ONTO OR CROSSES TRAFFIC-CARRYING ROADS.
- THE CONTRACTOR SHALL COMPLY IN EVERY RESPECT WITH THE FEDERAL OCCUPATIONAL HEALTH AND SAFETY ACT OF 1970 AND ALL RULES AND REGULATIONS NOW OR HEREAFTER IN EFFECT UNDER SAID ACT, AND THE CONTRACTOR FURTHER AGREES TO COMPLY WITH ANY AND ALL APPLICABLE STATE LAWS AND REGULATIONS PERTAINING TO JOB SAFETY AND HEALTH.
- CONTRACTOR AND ITS SUBCONTRACTORS SHALL USE, HANDLE, TRANSPORT, AND DISPOSE OF ALL MATERIALS (HAZARDOUS OR OTHERWISE) IN COMPLIANCE WITH ALL PRESENT FEDERAL, STATE AND LOCAL ENVIRONMENTAL, HEALTH OR SAFETY LAW, INCLUDING, BUT NOT LIMITED TO, ALL SUCH STATUTES, REGULATIONS, RULES, ORDINANCES, CODES, AND RULES OF COMMON LAW.

- CONTRACTOR FURTHER AGREES THAT CONTRACTOR AND ITS SUBCONTRACTORS SHALL NOT CAUSE THE DISCHARGE, RELEASE OR DISPOSAL OF ANY HAZARDOUS MATERIAL CREATED BY ITS WORK ON OR ABOUT THE JOB SITE. IN THE EVENT OF ANY SPILL, RELEASE OR ANY OTHER REPORTABLE OCCURRENCE, CONTRACTOR SHALL NOTIFY THE APPROPRIATE GOVERNMENTAL AGENCY AND SHALL TAKE SUCH ACTION AS MAY BE NECESSARY TO MINIMIZE THE DELETERIOUS EFFECT OF SUCH SPILL ON PERSONS OR PROPERTY.
- THE CONTRACTOR SHALL PROTECT AND KEEP OWNER (INCLUDING THEIR AGENTS AND EMPLOYEES) FREE AND HARMLESS FROM ANY AND ALL LIABILITY, PUBLIC OR PRIVATE, PENALTIES, CONTRACTUAL OR OTHERWISE, LOSSES, DAMAGES, COSTS, ATTORNEY'S FEES, EXPENSES, CAUSES OF ACTION, CLAIMS OR JUDGMENTS RESULTING FROM THE FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AS AMENDED OR ANY RULE OR REGULATION PROMULGATED THEREUNDER OR OF ANY STATE LAWS OR REGULATIONS PERTAINING TO JOB SAFETY AND HEALTH ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PERFORMANCE OF WORK OR WORK TO BE PERFORMED UNDER THIS CONTRACT, AND CONTRACTOR SHALL INDEMNIFY OWNER FROM ANY SUCH CLAIMS, PENALTIES, SUITS OR ACTIONS, PUBLIC OR PRIVATE, ADMINISTRATIVE OR JUDICIAL, INCLUDING ATTORNEY'S FEES PAID OR INCURRED BY OR ON BEHALF OF OWNER, JOINTLY OR SEVERALLY, AND/OR THEIR AGENTS AND EMPLOYEES. THE CONTRACTOR FURTHER AGREES, IN THE EVENT OF A CLAIMED VIOLATION OF ANY FEDERAL OR STATE SAFETY AND HEALTH LAW OR REGULATION ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PERFORMANCE OF WORK OR WORK TO BE PERFORMED UNDER THIS CONTRACT, OWNER MAY IMMEDIATELY TAKE WHATEVER ACTION IS DEEMED NECESSARY BY OWNER TO REMEDY THE CLAIMED VIOLATION. ANY AND ALL COSTS OR EXPENSES PAID OR INCURRED BY OWNER IN TAKING SUCH ACTION SHALL BE BORNE BY CONTRACTOR, AND CONTRACTOR AGREES TO PROTECT, HOLD HARMLESS AND INDEMNIFY OWNER AGAINST ANY AND ALL SUCH COSTS OR EXPENSES.
- CONTRACTOR AND ITS SUBCONTRACTORS SHALL, UPON COMPLETION OF PERFORMANCE OF ALL DUTIES UNDER THIS CONTRACT, REMOVE ALL SUPPLIES, MATERIALS, AND WASTE CONTAINING AND HAZARDOUS MATERIAL FROM THE JOB SITE. CONTRACTOR SHALL BEAR FULL FINANCIAL RESPONSIBILITY, AS BETWEEN THE PARTIES OF THIS CONTRACT, FOR THE COMPLIANCE OF CONTRACTOR AND ITS SUBCONTRACTORS WITH THE PROVISIONS OF THIS CONTRACT.
- CONTRACTOR AGREES TO INDEMNIFY, DEFEND, PROTECT AND HOLD THE OWNER HARMLESS FROM AND AGAINST ANY CLAIMS INCLUDING, WITHOUT LIMITATION, ACTUAL ATTORNEY'S FEES AND ANY COSTS OF INVESTIGATION, SOILS TESTING, GOVERNMENTAL APPROVALS, REMEDIATION AND CLEANUP ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE FAILURE OF CONTRACTOR OR ITS SUBCONTRACTORS OR THEIR AGENTS, EMPLOYEES, OFFICERS, OR REPRESENTATIVES, TO COMPLY WITH THE TERMS OF THESE CONSTRUCTION DOCUMENTS.
- SHOULD CONTRACTOR OR ITS SUBCONTRACTORS DISCHARGE, RELEASE OR DISPOSE OF ANY HAZARDOUS MATERIAL ON OR ABOUT THE JOB SITE IN VIOLATION OF THESE CONSTRUCTION DOCUMENTS, CONTRACTOR SHALL IMMEDIATELY SO INFORM OWNER & ENGINEER IN WRITING. IN THE EVENT OF ANY SPILL, RELEASE OR ANY OTHER REPORTABLE OCCURRENCE CONTRACTOR SHALL NOTIFY THE APPROPRIATE GOVERNMENTAL AGENCY, OWNER & ENGINEER AND SHALL TAKE SUCH ACTION AS MAY BE NECESSARY TO MINIMIZE THE DELETERIOUS EFFECT OF SUCH SPILL ON PERSONS OR PROPERTY.
- IN THE EVENT CONTRACTOR OR ITS SUBCONTRACTORS ENCOUNTER ON THE PREMISES ANY PIPELINE, UNDERGROUND STORAGE TANK OR OTHER CONTAINER, OF ANY KIND, THAT MAY CONTAIN A HAZARDOUS MATERIAL, OR ENCOUNTER MATERIAL REASONABLY BELIEVED TO BE A HAZARDOUS MATERIAL, CONTRACTOR SHALL IMMEDIATELY STOP WORK IN THE AREA AFFECTED AND REPORT THE CONDITION TO OWNER AND/OR ENGINEER IN WRITING.
- "HAZARDOUS MATERIAL" MEANS ANY SUBSTANCE: (A) THE PRESENCE OF WHICH REQUIRES INVESTIGATION OR REMEDIATION UNDER ANY PRESENT FEDERAL, STATE OR LOCAL STATUTE, REGULATION, ORDINANCE, RULE, CODE, ORDER, ACTION, POLICY OR COMMON LAW, OR (B) WHICH IS OR BECOMES DEFINED AS A "HAZARDOUS WASTE," "HAZARDOUS SUBSTANCE," POLLUTANT OR CONTAMINANT UNDER ANY PRESENT FEDERAL, STATE OR LOCAL STATUTE, REGULATION, RULE OR ORDINANCE OR AMENDMENTS THERETO INCLUDING, WITHOUT LIMITATION, THE COMPREHENSIVE ENVIRONMENTAL RESPONSE COMPENSATION AND LIABILITY ACT (42 U.S.C. SECTIONS 9601 ET SEQ.) AND/OR THE RESOURCE CONSERVATION AND RECOVERY ACT (42 U.S.C. SECTIONS 6801 ET SEQ.), OR (C) WHICH IS TOXIC, EXPLOSIVE, CORROSIVE, FLAMMABLE, INFECTIOUS, RADIOACTIVE, CARCINOGENIC, MUTAGENIC, OR OTHERWISE HAZARDOUS AND IS REGULATED BY ANY GOVERNMENTAL AUTHORITY, AGENCY, DEPARTMENT, COMMISSION, BOARD, AGENCY OR INSTRUMENTALITY OF THE UNITED STATES, THE STATE IN WHICH THE PREMISES ARE LOCATED OR ANY POLITICAL SUBDIVISION THEREOF, OR (D) THE PRESENCE OF WHICH ON THE PREMISES CAUSES OR THREATENS TO CAUSE A NUISANCE UPON THE PREMISES OR TO ADJACENT PROPERTIES OR POSSES OR THREATENS TO POSE A HAZARD TO THE HEALTH OR SAFETY OF PERSONS ON OR ABOUT THE PREMISES, OR (E) WHICH CONTAINS GASOLINE, DIESEL FUEL OR OTHER PETROLEUM HYDROCARBONS, OR (F) WHICH CONTAINS POLYCHLORINATED BIPHENYLS (PCBS), ASBESTOS, LEAD OR UREA FORMALDEHYDE FOAM INSULATION.
- THE CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES AS TO SIZE, LOCATION, AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY AND ALL CONFLICTS, DEMANDS OR OMISSIONS TO THESE CONSTRUCTION DRAWINGS PRIOR TO BEGINNING CONSTRUCTION.
- IF ANY TESTING, INSPECTION OR APPROVAL REVEAL DEFECTIVE WORK, CONTRACTOR SHALL NOT BE ALLOWED TO RECEIVE ANY ASSOCIATED COSTS AND THE OWNER SHALL BE ENTITLED TO DEDUCT FROM THE CONTRACT PRICE, BY ISSUING A CHANGE ORDER, OWNER'S COSTS ARISING OUT OF THE DEFECTIVE WORK, INCLUDING COSTS OF REPEATED PROCEDURES, COMPENSATION FOR ENGINEER'S AND DESIGN ENGINEER'S SERVICES AND ALL OTHER RELATED COSTS.

ADDITIONAL NOTES

- BEARINGS SHOWN HEREON ARE ASSUMED RELATIVE TO THE FLORIDA STATE PLANE COORDINATE SYSTEM 1983 EAST ZONE, BASED ON GPS WITH I-NET CORRECTIONS. THE MONUMENTED SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, BEING NORTH 89°49'08" WEST.
- ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AND ARE BASED ON THE FOLLOWING ORANGE COUNTY ENGINEERING DEPARTMENT'S BENCHMARKS:
L653002 EL. 131.081'
L1549013 EL. 135.026'
- THE VERTICAL CONTROL ESTABLISHED FOR THE SURVEY IS BASED ON A CLOSED LEVEL LOOP, HAVING A CLOSURE ACCURACY WHICH MEETS OR EXCEEDS THAT REQUIRED BY THE STANDARDS OF PRACTICE SET FORTH IN RULE CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, FLORIDA STATUTES 472.027.

LEGEND

---75.0---	EXISTING CONTOURS		CONCRETE SIDEWALK	5 CB.0
—75.0—	PROPOSED CONTOURS		STORM MANHOLE	2 CB.0
x-75.0	PROPOSED SPOT GRADES		MITER END SECTION	4 CB.0
	PROPOSED STORM PIPE		FDOT TYPE 3 INLET	5 CB.0
	SILT FENCE		FDOT TYPE 4 INLET	5 CB.0
WM	PROPOSED WATER MAIN		STOP SIGN (R1-1)	1 CB.0
	PROPOSED SANITARY PIPE			
RU	PROPOSED RECLAIM WATER MAIN			
FM	PROPOSED FORCE MAIN			
---	TYPE "D" CURB			10 CB.0
---	TYPE "F" CURB			10 CB.0

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HANDICAP ACCESSIBILITY NOTES:

- ALL CONSTRUCTION MUST MEET OR EXCEED ALL REQUIREMENTS AS OUTLINED IN THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE FLORIDA ACCESSIBILITY CODE, MOST RECENT EDITIONS. BOTTOM OF CURB RAMP ELEVATION (B.O. RAMP) IS RELATIVE TO EACH CURB RAMP CONDITION. ACTUAL ELEVATIONS SHALL BE BASED ON EXISTING GRADE OF CURB FLOW LINE AT THE B.O. RAMPS.
- TOP OF CURB ELEVATION ADJACENT TO B.O. RAMP = 0.60 FT. MAX. UNLESS OTHERWISE NOTED.
- ADA REQUIREMENTS SUPERSEDE SPOT GRADES AT LOT LINES. CONTRACTOR TO CUT BACK SLOPE AT 3:1 OR FLATTER AS NEEDED FOR RAMP AND SIDEWALK CONNECTION.
- REFER TO PLAN SHEETS AND SECTIONS FOR LOCATIONS AND SIDEWALK WIDTHS.
- THE DETECTABLE WARNING STRIP SHALL CONSIST OF A 24 INCH WIDE TACTILE PATTERN OF RAISED TRUNCATED DOMES (ALIGNED PATTERN). DOMES SHALL HAVE A DIAMETER OF 0.9 INCH, A HEIGHT OF 0.2 INCH, AND A CENTER TO CENTER SPACING OF 2.35 INCHES. THE RAMP DETECTABLE WARNING STRIP SHALL BE CONTRASTING IN COLOR. THE MATERIAL USED TO PROVIDE CONTRAST SHALL CONTRAST BY AT LEAST 70%.
- THE CROSS SLOPE OF RAMP SURFACES AND ADJACENT STREET GRADES SHALL BE NO MORE THAN 1:50 OR 2% MAXIMUM.
- CURB RAMPS CONSTRUCTED BY THE CONTRACTOR SHALL MEET ALL CURRENT APPLICABLE A.D.A. REQUIREMENTS AND SHALL HAVE DETECTABLE WARNING COMPLYING WITH A.D.A. REQUIREMENTS. ACCESSIBILITY ROUTES SHALL MEET ALL APPLICABLE A.D.A. REQUIREMENTS.
- CONTRACTOR TO REFER TO MUNICIPALITY DETAILS AS NEEDED.
- DRIVEWAY/ROADWAY CROSS SLOPES AT CROSSWALKS SHALL BE MAXIMUM 2% PER ADA REQUIREMENTS.
- SIDEWALK CROSS SLOPES SHALL BE MAXIMUM 2% PER ADA REQUIREMENTS.
- CURB RAMP FLARES & LANDINGS SHALL MEET ADA REQUIREMENTS.
- ACCESSIBLE ROUTE WITH RUNNING SLOPES GREATER THAN 1:20 IS A RAMP AND SHALL COMPLY WITH ADA RAMP REQUIREMENTS.
- IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO MEET ALL CURRENT ADA STANDARDS. CONTRACTOR SHALL REFER TO FDOT STANDARDS. (INDEX 304, MOST CURRENT EDITION)

RECORD DRAWING AS-BUILT REQUIREMENTS:

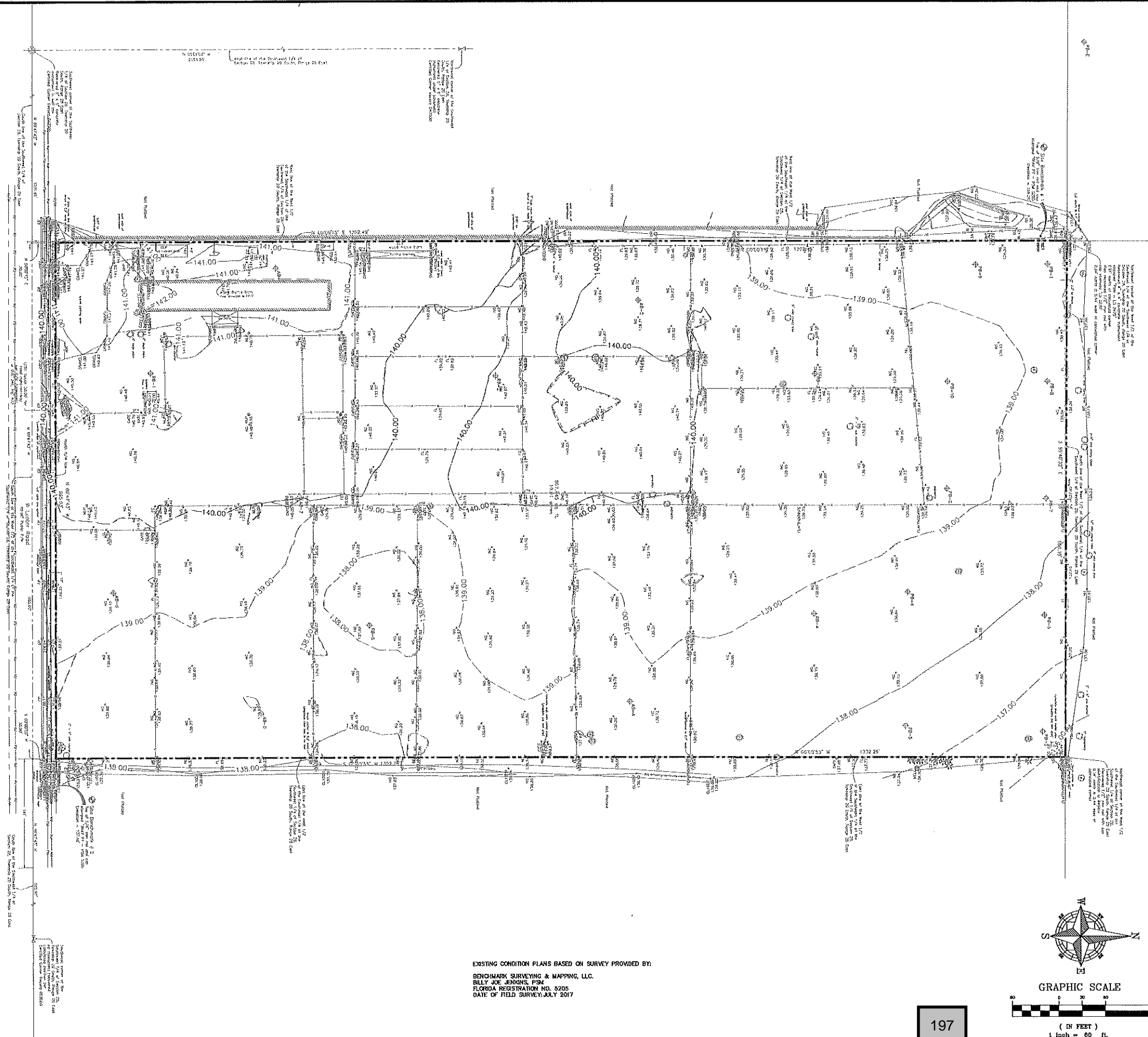
AS-BUILT DRAWINGS SHALL BE PREPARED BY AND CERTIFIED (SIGNED AND SEALED) BY A REGISTERED SURVEYOR, AND SHALL BE PROVIDED TO THE ENGINEER OF RECORD UPON COMPLETION OF THE PROJECT SITE IMPROVEMENTS A MINIMUM OF 1 WEEK PRIOR TO CONTRACTORS ATTEMPT FOR FINAL CERTIFICATE OF OCCUPANCY (CO). AS-BUILT DRAWINGS SHALL REFLECT ANY CHANGES TO THE IMPROVEMENTS MADE DURING CONSTRUCTION AND MUST MEET THE MINIMUM REQUIREMENTS OF ALL REGULATORY AGENCIES HAVING JURISDICTION AS WELL AS THE CRITERIA OUTLINED BELOW. BOTH THE ORIGINAL DESIGN AND REVISED AS-BUILT DATA, AS APPLICABLE, MUST BE CLEARLY SHOWN. THE AS-BUILT DRAWINGS MUST BE CLEARLY LABELED AS AS-BUILT OR RECORD DRAWING. THE FOLLOWING INFORMATION, AT A MINIMUM, SHALL BE CERTIFIED ON THE AS-BUILT DRAWINGS:

- WATER DISTRIBUTION SYSTEM:
- LOCATION AND DIMENSIONS OF PIPES, VALVES, FITTINGS, CHANGE OF DIRECTION, AND OTHER ASSOCIATED FACILITIES.
- WASTEWATER COLLECTION/TRANSMISSION SYSTEM:
- LOCATION, DIMENSION, AND INVERT ELEVATIONS OF PIPES, MANHOLES (INCLUDING RIM ELEVATION), LIFTSTATION, FORCEMAIN, FITTINGS, CHANGE IN DIRECTION AND OTHER ASSOCIATED FACILITIES.
- PAVING AND DRAINAGE SYSTEM:
- DIMENSIONS AND ELEVATIONS OF ALL DISCHARGE STRUCTURES INCLUDING ALL WEIRS, SLOTS, GATES, PIPES, AND SKIMMERS;
 - LOCATIONS, DIMENSIONS, AND ELEVATIONS OF ALL FILTER, EXFILTRATION, OR UNDERDRAIN SYSTEMS INCLUDING CLEANOUTS, PIPES, CONNECTIONS TO CONTROL STRUCTURES, AND POINTS OF DISCHARGE TO THE RECEIVING WATERS;
 - DIMENSIONS, ELEVATIONS, CONTOURS, OR CROSS-SECTIONS OF ALL STORMWATER TREATMENT POND STORAGE AREAS SUFFICIENT TO DETERMINE STAGE-STORAGE RELATIONSHIPS OF THE STORAGE AREA, AND THE POND DEPTH AND VOLUME BELOW THE CONTROL WATER ELEVATION FOR NORMALLY WET SYSTEMS;
 - DIMENSIONS, ELEVATIONS, CONTOURS, FINAL GRADES, OR CROSS-SECTIONS OF THE DRAINAGE SYSTEM IMPROVEMENTS TO DETERMINE FLOW DIRECTIONS AND CONVEYANCE OF RUNOFF TO THE TREATMENT SYSTEM;
 - DIMENSIONS, ELEVATIONS, CONTOURS, FINAL GRADES, OR CROSS-SECTIONS OF ALL CONVEYANCE SYSTEMS UTILIZED TO CONVEY OFF-SITE RUNOFF AROUND THE SYSTEM;
 - EXISTING WATER ELEVATION OF SURFACE WATERS AND THE DATE DETERMINED;
 - ELEVATION AND LOCATION OF BENCHMARK'S FOR THE SURVEY.
- ADA FACILITIES:
- ELEVATIONS AT THE FOUR CORNERS OF ALL HANDICAP PARKING SPACES AND ADJACENT LOADING ISLES.
 - ELEVATIONS AND LOCATIONS FOR ALL ACCESSIBLE RAMPS WHICH ADEQUATELY REFLECT THE BUILT SLOPES.
 - ELEVATIONS AND LOCATIONS ALONG THE PATHS OF CONVEYANCE FOR PEDESTRIAN TRAFFIC AND ALL ADA ACCESSIBLE ROUTES EVERY 25 FT. WHICH ADEQUATELY REFLECT THE SLOPE AND CROSS SLOPE.

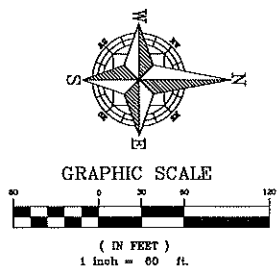
SCALE	N.T.S.	DESIGNED	J.PALM	CHECKED	L. CLASS	DATE	02/02/2018
PROJECT	AVX-001	SHEET	C1.0				
<p>GENERAL NOTES</p> <p>FINAL DEVELOPMENT PLAN</p> <p>BRIDLEWOOD SUBDIVISION</p> <p>CITY OF APOPKA, FLORIDA</p>							
<p>CIVIL ENGINEERING & LAND PLANNING</p> <p>APPIAN ENGINEERING LLC.</p> <p>APPIAN.ENG - 407.960.5868</p> <p>2231 Lee Road, Suite 17, Winter Park, Florida 32789</p>							

P:\PROJECT DRAWINGS\AVX-001_Equestrian_Center (P-17089)\Drawings\CAD\Sheet\Layouts\04 - Final Development Plan (RFP)\General Notes.dwg Modified: 4/16/2018 By: j.palm

P:\PROJECT DRAWINGS\AVX-001 Equestrian Center (F-170889)\Drawings\CAD Civil3D\Layouts\04 - Final Development Plan (PDF)\Existing Conditions Plan.dwg Modified: 4/16/2018 By: pcm



EXISTING CONDITION PLANS BASED ON SURVEY PROVIDED BY:
 BENCHMARK SURVEYING & MAPPING, LLC.
 BILLY JOE JENKINS, PSM
 FLORIDA REGISTRATION NO. 5205
 DATE OF FIELD SURVEY: JULY 2017



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Property Description
 The West 1/2 of the Southeast 1/4 of the Southwest 1/4 of Section 28, Township 20 South, Range 28 East, Orange County, Florida, LESS all that portion lying within the road right-of-way.

Surveyor's Report

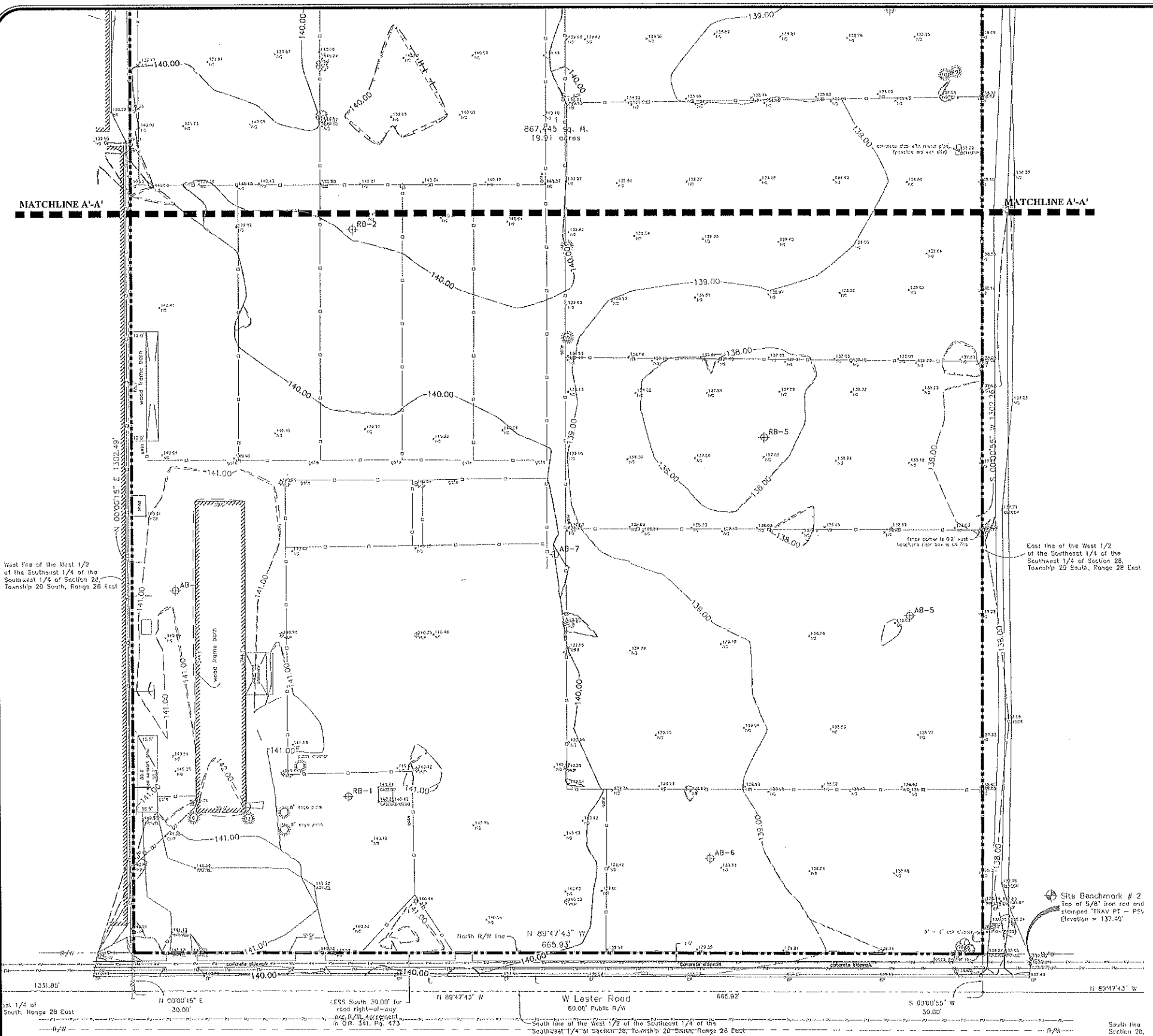
- Bearings shown hereon are based on the South line of the Southwest 1/4 of Section 28, Township 20 South, Range 28 East being assumed as North 89°47'43" West.
- The elevations shown hereon are based on Orange County Vertical Control Network. Specifically, point identification number S-137-9002, being a 3" aluminum survey disk set in concrete curb inlet at the west side of Vick Road, 385' south of Lester Road. Published elevation is 129.41 feet, relative to the North American Vertical Datum (NAVD) of 1988.
- This Survey was performed with the benefit of a title commitment prepared by Old Republic National Title Insurance Company, commitment number 472525 dated June 27, 2017. This firm relied on said commitment and did not search the public records for easements or restrictions of record.
- Subject property contains 19.91 acres, more or less and is currently a equestrian center with horse stables and training facilities. The training facilities and courses are not shown hereon.
- Subject property lies within Zone X, area determined to be outside the 0.2% annual chance floodplain, according to the National Flood Insurance Program, Flood Insurance Rate Map number 12095C0110F, dated September 25, 2009.
- This Survey was performed for the sole and exclusive benefit of the parties listed hereon and shall not be relied upon by any other entity or individual whomsoever.
- Only the aboveground evidence of underground utilities are shown, underground improvements were not located.
- The spot elevations along the edge of pavement/curb are edge of pavement elevations.
- The feature symbols depicted on this survey and in the legend are shown for graphic purposes and may not be drawn to scale.
- Trees that are 8" in diameter at breast height and larger are shown hereon. There are smaller trees, bushes and hedges that are not shown hereon. Only the trees within the subject property are shown, there may be trees within 5' of the boundary lines that are not shown. The location of the trees shown hereon are approximate and not intended for design purposes. If trees are to remain due to proposed design, we recommend a more accurate location of the trees trunk and roots.
- Subject property has direct access from a public right of way named W Lester Road. The property abuts said public right of way with no overlaps gaps or gores.
- This survey meets the Standards of Practice set forth in Florida Administrative Code Rule 5J-17, pursuant to Florida Statute Chapter 472.
- This Survey is not valid without the signature and seal of a Florida licensed surveyor and mapper.

Abbreviations and Legend

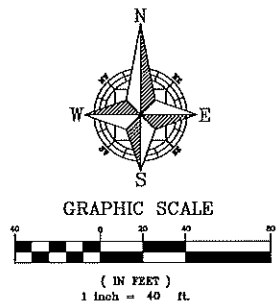
- R/W - denotes right-of-way
- O.R. - denotes Official Records Book
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- PSM - denotes Professional Surveyor and Mapper
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- ⊕ - denotes fire hydrant
- ⊗ - denotes water valve
- ⊙ - denotes light pole
- ⊞ - denotes air conditioning unit
- ⊞ - denotes reuse water valve/meter
- ⊞ - denotes guy wire anchor
- ⊞ - denotes wood power pole
- - denotes overhead utility line
- ⊕ - denotes underground cable riser box
- ⊞ - denotes mailbox
- ⊞ - denotes sign
- ⊞ - denotes wood post and rail fence
- ⊞ - denotes 5' high chain link fence
- x— - denotes barbed wire fence with wood post
- x 128.78 - denotes spot elevation
- 139.00 - denotes elevation contour
- ⊙ - denotes maple tree and size of diameter at breast height in inches
- ⊙ - denotes palm tree and size of diameter at breast height in inches
- ⊙ - denotes oak tree and diameter at breast height size in inches (10" oak tree), unless otherwise noted
- ⊙ - denotes pine tree and diameter at breast height size in inches (6" pine tree)
- ⊙ - denotes point of intersection of boundary lines no corner monument recovered or set
- ⊙ - denotes set 5/8" iron rod and cap stamped "PSM 5205", unless otherwise noted

CIVIL ENGINEERING & LAND PLANNING APPIAN ENGINEERING LLC.		APPIAN.COM - 407.960.5868 <small>2221 Lee Road, Suite 17, Winter Park, Florida, 32789</small>	CITY OF APOPKA COMMENTS DATED 02/14/18 REC'D DATE DESCRIPTION
EXISTING CONDITIONS - OVERALL FINAL DEVELOPMENT PLAN		BRIDLEWOOD SUBDIVISION CITY OF APOPKA, FLORIDA	
SCALE 1" = 60' PROJECT AVX-001 SHEET C1.2	DRAWN: J.BAKER DESIGNED: J.PALM CHECKED: L. CLASSON DATE: 02/12/2018		
		5211/8	

P:\PROJECT DRAWINGS\AVX-001 Equestrian Center (P-17089) Drawings\CAD\Civil3D\Layouts\04 - Final Development Plan (FDP) Existing Conditions Plan.dwg Modified: 4/16/2018 By: palm



- Property Description**
The West 1/2 of the Southeast 1/4 of the Southwest 1/4 of Section 28, Township 20 South, Range 28 East, Orange County, Florida, LESS of that portion lying within the road right-of-way.
- Surveyor's Report**
- Bearings shown hereon are based on the South line of the Southwest 1/4 of Section 28, Township 20 South, Range 28 East being assumed as North 89°47'43" West.
 - The elevations shown hereon are based on Orange County Vertical Control Network. Specifically, point identification number S-137-9002, being a 3" aluminum survey disk set in concrete curb inlet at the west side of Vick Road, 365'± south of Lester Road. Published elevation is 129.41 feet, relative to the North American Vertical Datum (NAVD) of 1988.
 - This Survey was performed with the benefit of a title commitment prepared by Old Republic National Title Insurance Company, commitment number 472525 dated June 27, 2017. This firm relied on said commitment and did not search the public records for easements or restrictions of record.
 - Subject property contains 19.81 acres, more or less and is currently a equestrian center with horse stables and training facilities. The training facilities and courses are not shown hereon.
 - Subject property lies within Zone X, area determined to be outside the 0.2% annual chance floodplain, according to the National Flood Insurance Program, Flood Insurance Rate Map number 12095C0110F, dated September 25, 2009.
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Abbreviations and Legend

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- ⊗ - denotes water valve
- ☆ - denotes light pole
- ⊠ - denotes air conditioning unit
- ⊡ - denotes reuse water valve/meter
- ⊥ - denotes guy wire anchor
- ⊕ - denotes wood power pole
- OU— denotes overhead utility line
- ⊙ - denotes underground cable riser box
- ⊞ - denotes mailbox
- S— denotes sign
- denotes wood post and rail fence
- denotes 5' high chain link fence
- X— denotes barbed wire fence with wood post
- ×138.78 - denotes spot elevation
- 139— denotes elevation contour
- ⊗ - denotes maple tree and size of diameter at breast height in inches
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- ⊕ - denotes oak tree and diameter at breast height size in inches (10" oak trees), unless otherwise noted
- ⊗ - denotes pine tree and diameter at breast height size in inches (6" pine trees)
- ⊞ - denotes point of intersection of boundary lines no corner monument recovered or set
- ⊕ - denotes set 5/8" iron rod and cap stamped "PSM 5205", unless otherwise noted

West line of the West 1/2 of the Southeast 1/4 of the Southwest 1/4 of Section 28, Township 20 South, Range 28 East

East line of the West 1/2 of the Southeast 1/4 of the Southwest 1/4 of Section 28, Township 20 South, Range 28 East

West 1/4 of South, Range 28 East

LESS South 30.00' for road right-of-way

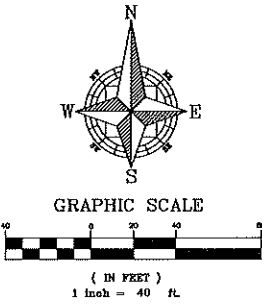
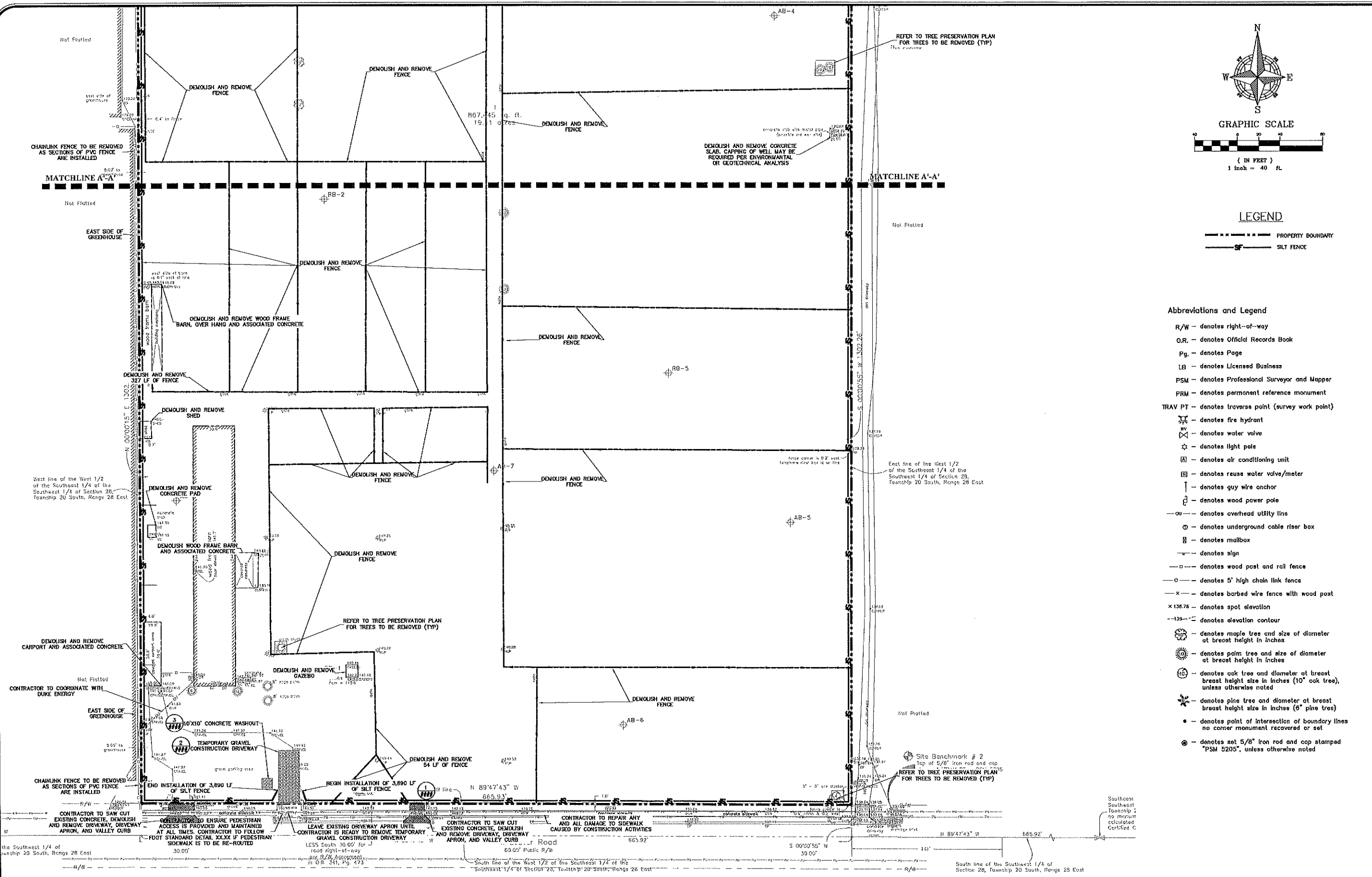
South line of the West 1/2 of the Southwest 1/4 of the Southwest 1/4 of Section 28, Township 20 South, Range 28 East

South line Section 28,

EXISTING CONDITION PLANS BASED ON SURVEY PROVIDED BY:
BENCHMARK SURVEYING & MAPPING, LLC.
BILLY DE JENKINS, PSM
FLORIDA REGISTRATION NO. 5205
DATE OF FIELD SURVEY: JULY 2017

CIVIL ENGINEERING LAND PLANNING		APPIAN ENGINEERING LLC.		APPIAN.COM - 407.560.5868	
2221 Lee Road, Suite 17, Winter Park, Florida 32789		DATE: 02/12/2018		DESCRIPTION	
EXISTING CONDITIONS - SOUTH		FINAL DEVELOPMENT PLAN		BRIDLEWOOD SUBDIVISION	
SCALE: 1" = 40'		PROJECT: AVX-001		CITY OF APOPKA, FLORIDA	
DRAWN: J.BAKER		DESIGNED: J.PALM		SHEET: C.1-3	
CHECKED: L. CLASSON		DATE: 02/12/2018		APPIAN ENGINEERING	

P:\PROJECT DRAWINGS\VA-001 Erection Center (P-17089)\Drawings\CAO Civil\3D Layouts\04 - Final Development Plan (FDP)\Erection Control - M.O.T. - Demo Plan.dwg Modified: 5/11/2018 By: jdm

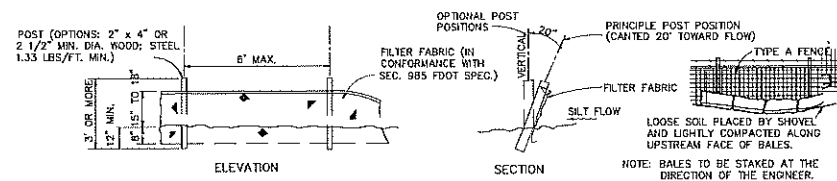


LEGEND
- - - - - PROPERTY BOUNDARY
- - - - - SILT FENCE

- Abbreviations and Legend**
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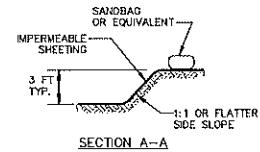
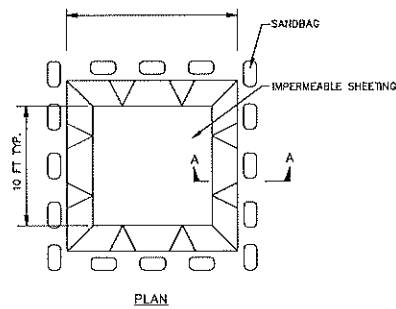
CIVIL ENGINEERING & LAND PLANNING		EROSION CONTROL & DEMO PLAN - SOUTH	
APPIAN ENGINEERING LLC.		FINAL DEVELOPMENT PLAN	
APPIANENGINEERING.COM - 407.960.5868		BRIDLEWOOD SUBDIVISION	
2221 LAW HAVEN, SUITE 17, WINTER HAVEN, FLORIDA 32789		CITY OF APOPKA, FLORIDA	
SCALE	1" = 40'	PROJECT	AYX-001
DRAWN	J.BAKER	DESIGNED	J.PALM
CHECKED	L. CLASSON	DATE	02/12/2018
SHEET		C.2.0	
48 HOURS BEFORE DIGGING CALL TOLL FREE 811 or 1-800-432-4770 SUNSHINE STATE ONE CALL CENTER			

F:\PROJECT DRAWINGS\AVX-001 Erection Control (P-17089)\Drawings\CAD Civil3D\Layouts\04 - Final Development Plan (FDP)\Erection Control - M.O.T. - Demo Plan.dwg Modified: 5/11/2018 By: jpm



NOTE:
 SILT FENCE TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR STAKED SILT FENCE (LF).

1 TYPE III SILT FENCE DETAIL
 N.T.S.

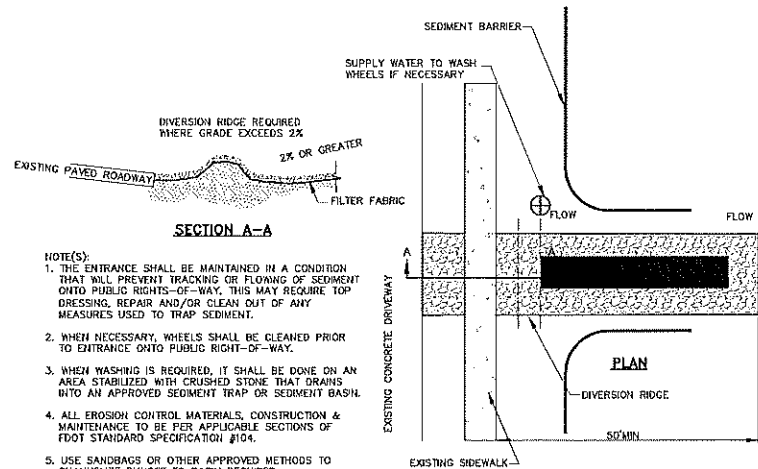


EXCAVATED WASHOUT STRUCTURE

NOTES:

- LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN RILETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
- SIZE WASHOUT STRUCTURE FOR VOLUME NECESSARY TO CONTAIN WASH WATER AND SOLIDS AND MAINTAIN AT LEAST 4 INCHES OF FREEBOARD. TYPICAL DIMENSIONS ARE 10 FEET X 10 FEET X 3 FEET DEEP.
- PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
- PROVIDE A SIGN FOR THE WASHOUT IN CLOSE PROXIMITY TO THE FACILITY.
- KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED), EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. PRIOR TO FORECASTED RAINSTORMS, REMOVE LIQUIDS OR COVER STRUCTURE TO PREVENT OVERFLOWS. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.

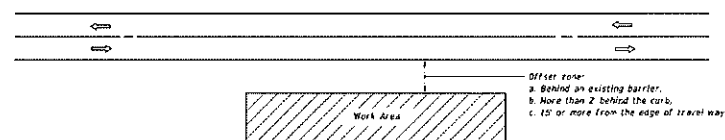
3 CONCRETE WASH OUT
 N.T.S.



- NOTE(S):
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
 - ALL EROSION CONTROL MATERIALS, CONSTRUCTION & MAINTENANCE TO BE PER APPLICABLE SECTIONS OF FDOT STANDARD SPECIFICATION #104.
 - USE SANDBAGS OR OTHER APPROVED METHODS TO CHANNELIZE RUNOFF TO BASIN REQUIRED.
 - COURSE AGGREGATE & FILTER FABRIC TO BE PER SECTIONS OF FDOT STANDARD SPECIFICATION #101 & #105 RESPECTIVELY.

2 TEMPORARY CONSTRUCTION ENTRANCE DETAIL
 N.T.S.

5 FDOT M.O.T. DETAIL
 N.T.S.



GENERAL NOTES

- If the work operation (excluding establishing and terminating the work area) requires that two or more work vehicles cross the offset zone in any one hour, traffic control will be in accordance with Index No. 602.
- No special signing is required.
- When a side road intersects the highway within the work area, additional TTC devices shall be placed in accordance with other applicable TTC Indexes.
- When construction activities encroach on a sidewalk, refer to Index No. 600.
- For general TTC requirements and additional information, refer to Index No. 609.

CONDITIONS

WHERE ANY VEHICLE, EQUIPMENT, WORKERS AND THEIR ACTIVITIES ARE BEHIND AN EXISTING BARRIER, MORE THAN 2' BEHIND THE CURB, OR 15' OR MORE FROM THE EDGE OF TRAVEL WAY.

LAST REVISION	DESCRIPTION
07/01/05	

INDEX NO.	601
SHEET NO.	1 of 1

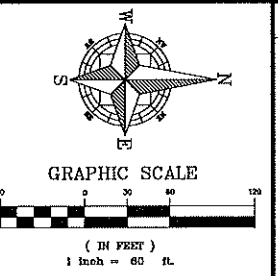
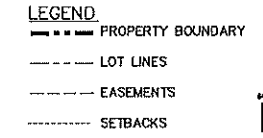
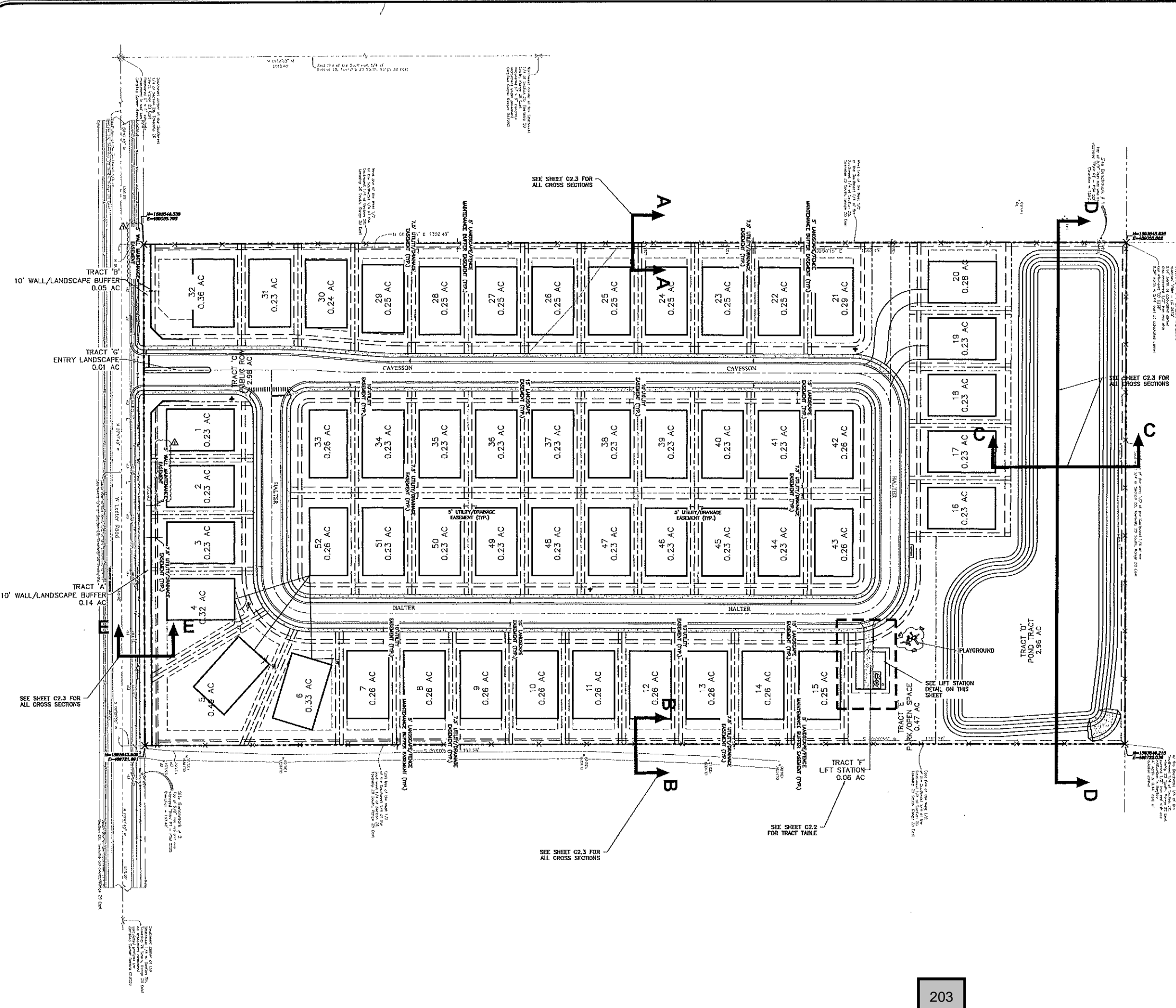
202
 FY 2017-18
 FDOT DESIGN STANDARDS
 TWO-LANE, TWO-WAY, WORK OUTSIDE SHOULDER

CIVIL ENGINEERING I LAND PLANNING	APPIAN ENGINEERING LLC.
2221 LAW PACE, SUITE 17, WYOMING PARK, FT. WORTH, TEXAS 76106	APPIAN.COM • 407.960.5868
DATE	DESCRIPTION
02/12/2018	BRIDLEWOOD SUBDIVISION CITY OF APOPKA, FLORIDA

EROSION CONTROL & DEMO PLAN - DETAILS	FINAL DEVELOPMENT PLAN
BRIDLEWOOD SUBDIVISION	CITY OF APOPKA, FLORIDA

DRAWN:	J. BAKER
DESIGNED:	J. PALM
CHECKED:	L. CLASSON
DATE:	02/12/2018





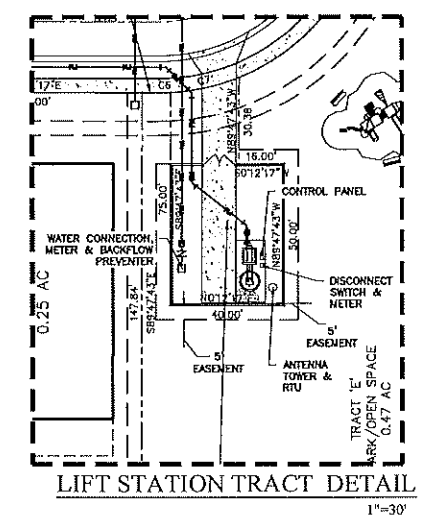
SITE DATA:

OCPA - PARCEL ID #:	28-20-28-0000-00-050
PROPERTY ADDRESS:	359 W LESTER RD APOPKA, FL 32712
TOTAL PROPERTY AREA:	±19.91 AC.
EXISTING FUTURE LAND USE:	AG
PROPOSED FUTURE LAND USE:	RLS
ADJACENT FUTURE LAND USE:	NORTH LD (ORANGE CO.) SOUTH RL (APOPKA) LM (ORANGE CO.) EAST AG (APOPKA) WEST LD (ORANGE CO.)
EXISTING ZONING:	AG
PROPOSED ZONING:	R-1
ADJACENT ZONING:	NORTH A-1 (ORANGE CO.) SOUTH R-2 (APOPKA) A-2 (ORANGE CO.) EAST AG (APOPKA) WEST A-1 (ORANGE CO.)
SETBACK REQUIREMENTS:	FRONT: 25' REAR: 20' SIDE: 10' CORNER: 25'
MINIMUM LOT AREA:	8,000 SF
MINIMUM LIVING AREA:	1,500 SF
WAVAR REQUEST:	NO
VARIANCE REQUEST:	YES: A 6' HIGH PVC FENCE IS PROPOSED ALONG THE NORTH, EAST, AND WEST SIDES OF THE SITE IN LIEU OF A 6' HIGH MASONRY WALL. REFER TO VARIANCE TABLE ON COVER SHEET.

THE PLAT FOR THE SUBDIVISION SHALL BE SUBMITTED WITH THE FINAL DEVELOPMENT PLAN

DRIVEWAYS WILL BE CONSTRUCTED PER CITY OF APOPKA LAND DEVELOPMENT CODE SECTIONS 6.02.10(C)(9) & 6.02.10(C)(10). NO RESIDENTIAL DRIVEWAYS SHALL BE PERMITTED WITHIN 40 FT OF AN INTERSECTION OR SHALL BE CLOSER THAN 5 FT TO AN ADJOINING PROPERTY.

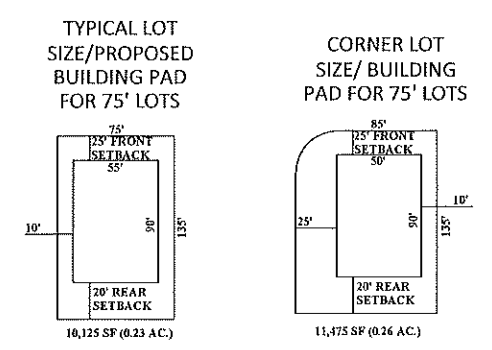
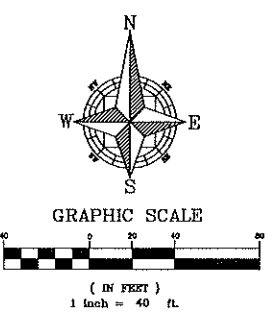
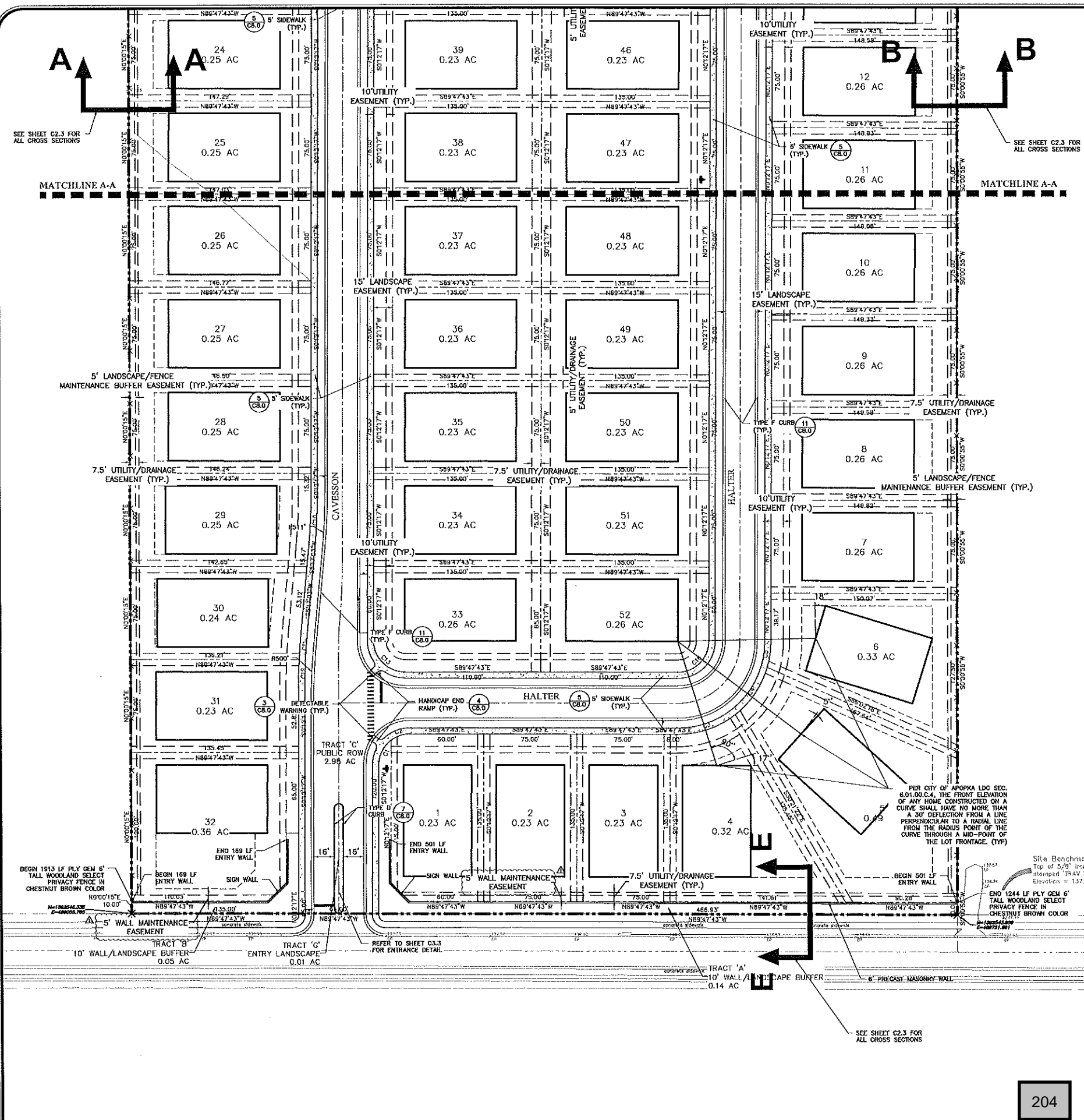
*FRONT ENTRY GARAGES SHALL BE LOCATED A MINIMUM OF 30' FROM THE FRONT PROPERTY LINE PER CITY OF APOPKA DEVELOPMENT DESIGN GUIDELINES SECTION 3.2.1



CIVIL ENGINEERING LAND PLANNING	
APPIAN ENGINEERING LLC.	
APPIAN.COM • 407.560.5888	2211 LAW ROAD, SUITE 17, WINTER PARK, FLORIDA 32789
DATE: 02/12/2018	DESCRIPTION: BRIDLEWOOD SUBDIVISION CITY OF APOPKA, FLORIDA
SCALE: 1" = 60'	PROJECT: AVX-001
DESIGNED: J.PALM	CHECKED: L. GLASSON
SHEET: C.5.0	DATE: 02/12/2018



P:\PROJECT DRAWINGS\AVX-001\Drawings\CAD Civil\3D\Layouts\04 - Final Development Plan (FDP)\Geometry Plan.dwg Modified: 5/21/2018 By: jholm



LEGEND
 - - - - - PROPERTY BOUNDARY
 - - - - - LOT LINES
 - - - - - EASEMENTS
 - - - - - SETBACKS

Curve #	Chord Length	Chord Direction	Radius
C1	22.36'	S26°46'11"W	25.00'
C2	15.81'	N71°46'11"E	25.00'
C3	49.11'	N71°05'36"E	75.00'
C4	45.96'	N34°08'26"E	75.00'
C5	21.00'	N8°15'07"E	75.00'
C6	4.17'	N1°23'22"W	75.00'
C7	24.59'	N12°25'15"W	75.00'
C8	83.81'	N55°49'36"W	75.00'
C9	35.36'	S44°47'43"E	25.00'
C10	44.31'	S2°44'40"W	500.00'
C11	22.14'	S4°00'56"W	500.00'
C12	22.18'	S1°28'33"W	500.00'
C13	35.36'	S44°47'43"E	25.00'
C14	35.36'	S45°12'17"W	25.00'
C15	35.36'	N44°47'43"W	25.00'
C16	35.36'	N45°12'17"E	25.00'

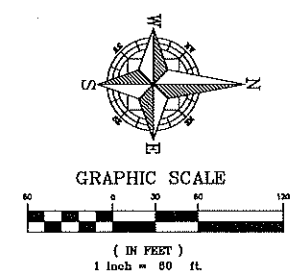
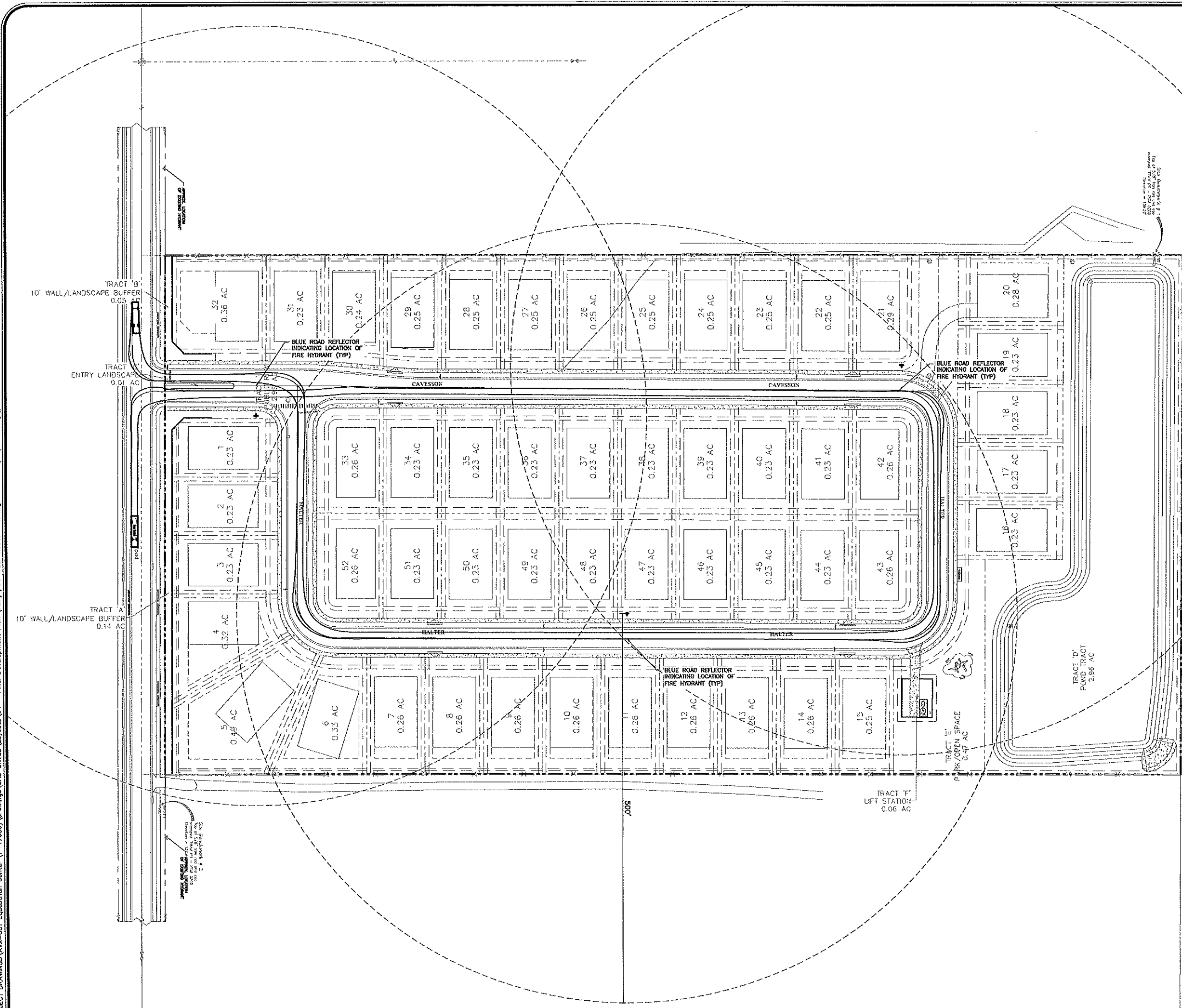
CITY DEVELOPMENT DESIGN NOTES:

- PER CITY OF APOPKA LAND DEVELOPMENT CODE - ARTICLE II - SEC. 2.02.05 H.1 THE DEVELOPMENT IS REQUIRED TO HAVE A TEN FOOT (10') BUFFERYARD, WITH A MINIMUM SIX FOOT (6') BRICK, STONE OR DECORATIVE BRICK FINISHED WALL, ERECTED INSIDE THE BUFFERYARD, ADJACENT TO EXTERNAL ROADWAYS.
- PER CITY OF APOPKA LAND DEVELOPMENT CODE - ARTICLE VI - SEC. 6.01.00 B.3 THE DEVELOPMENT IS REQUIRED TO HAVE A PROPERTY OWNERS ASSOCIATION, CONVEYED IN FEE SIMPLE OWNERSHIP, FOR LAND EXCLUSIVE OF INDIVIDUAL LOTS.
- PER CITY OF APOPKA LAND DEVELOPMENT CODE - ARTICLE XII - SEC. 12.02.04 C.1 A PRELIMINARY DEVELOPMENT PLAN (PDP) SUBMITTAL SHALL BE DRAWN TO A MAXIMUM SCALE OF 1" = 50'.
- PER CITY OF APOPKA LAND DEVELOPMENT CODE - ARTICLE VIII - SEC. 8.04.15 ONE RESIDENTIAL SUBDIVISION ENTRANCE SIGN IN ACCORDANCE WITH SUBDIVISION PLAN APPROVAL ON EACH SIDE OF ENTRANCE OR ONE IN MEDIAN. THE SIGN SHALL BE A WALL SIGN OR MONUMENT SIGN. AN AREA FOR THE SIGN SHALL BE PLANNED WITHIN THE DEVELOPMENT PLAN AND SUCH AREA SHALL NOT TRUNCATE THE CORNER OF A RESIDENTIAL LOT. DETAILS OF ENTRANCE SIGN SHALL BE PROVIDED AT FINAL DEVELOPMENT PLAN.
- PER CITY OF APOPKA LAND DEVELOPMENT CODE - ARTICLE V - SEC. 5.01.08 REQUIRED LANDSCAPING (C) BUFFERYARDS ADJACENT TO RIGHT-OF-WAY, WITHIN BUFFER YARDS THAT ARE ADJACENT TO RIGHT-OF-WAYS, ONE CANOPY TREE MUST BE PROVIDED AT INTERVALS AND IN A FASHION DESCRIBED IN SECTION 5.01.01.B ALONG WITH A CONTINUOUS HEDGEROW WITH THE HEDGES 24 INCHES HIGH AND SPACED 36 INCHES APART.
- PER CITY OF APOPKA LAND DEVELOPMENT CODE - ARTICLE VI - SEC. 6.05.00 C.3 ON-SITE DETENTION PONDS SHALL BE DESIGNED TO ACCOMMODATE THE 25-YEAR 96-HOUR STORM. ALL FINISHED FLOOR ELEVATIONS SHALL BE CONSTRUCTED AT AN ELEVATION NO LESS THAN TWENTY INCHES (20") ABOVE THE 100 YEAR STORM ELEVATION.
- PER CITY OF APOPKA LAND DEVELOPMENT CODE - ARTICLE VI - SEC. 6.05.00 B.7 ALL RETENTION/DETENTION PONDS SHALL BE DESIGNED AS DRY BOTTOM PONDS WITH A MINIMUM BOTTOM ELEVATION OF THREE FEET (3') ABOVE THE ESTIMATED SEASONAL HIGH WATER TABLE.
- PER CITY OF APOPKA LAND DEVELOPMENT CODE - ARTICLE VI - SEC. 6.05.00 D.5 ALL PONDS SHALL HAVE ONE FOOT (1') OF FREEBOARD TO THE DESIGN HIGH WATER RESULTING FROM THE DESIGN STORM.
- RESIDENTIAL ARCHITECTURE SHALL MEET ARTICLE VI OF THE CITY OF APOPKA'S LAND DEVELOPMENT CODE AND DEVELOPMENT DESIGN GUIDELINES. COLORED ARCHITECTURAL RENDERINGS SHALL BE PROVIDED WITH THE FINAL DEVELOPMENT PLAN (FDP).

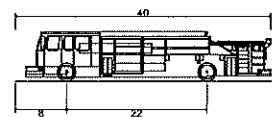
CIVIL ENGINEERING I LAND PLANNING		APPIAN ENGINEERING LLC	
GEOMETRY PLAN - SOUTH		FINAL DEVELOPMENT PLAN	
BRIDLEWOOD SUBDIVISION		CITY OF APOPKA, FLORIDA	
SCALE	1" = 40'	PROJECT	AVX-001
DRAWN	J.BAKER	CHECKED	L. CLASSON
DESIGNED	J.PALM	DATE	02/12/2018
SHEET	C3.1	SEE SHEET C3.2 FOR ALL CROSS SECTIONS	

48 HOURS BEFORE DIGGING
 CALL TOLL FREE
 811 or 1-800-432-4770
 SUNSHINE STATE ONE CALL CENTER

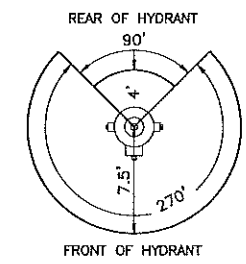
P:\PROJECT DRAWINGS\AVX-001 Equestrian Center (F--17089)\Drawings\CAO CIV\3D\LAYOUT\04 - Final Development Plan (FDP)\Fire Truck Route Plan.dwg Modified: 5/21/2018 By: jadm



LEGEND
 --- FIRE HYDRANT 250' RADIUS



Pumper Fire Truck
 Overall Length 40.000ft
 Overall Width 8.167ft
 Overall Body Height 7.745ft
 Min Body Ground Clearance 0.656ft
 Track Width 8.167ft
 Lock-to-lock time 5.00s
 Max Wheel Angle 45.00°



FIRE HYDRANT CLEARANCE DETAIL

- FIRE ACCESS NOTES:**
1. FIRE DEPARTMENT ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE PROVIDED WITH AN ALL WEATHER DRIVING SURFACE (NFPA 1,18.2.3.4.2).
 2. THE LOCATION OF THE FIRE HYDRANTS SHALL BE IDENTIFIED BY A BLUE REFLECTIVE PAVEMENT MARKER. (NFPA 1,18.5.10.1)

CIVIL ENGINEERING LAND PLANNING		APPIAN ENGINEERING LLC.		APPIAN.COM - 407.960.5868		2221 Lee Road, Suite 17, Weston, FL 33327		DATE: 05/14/18		JOB: 811	
FIRE TRUCK ROUTE PLAN		FINAL DEVELOPMENT PLAN		BRIDLEWOOD SUBDIVISION		CITY OF APOPKA, FLORIDA		DATE: 02/12/2018		JOB: 811	
SCALE:	1" = 60'	PROJECT:	AVX-001	CHECKED:	L. GLASSON	DATE:	02/12/2018				
DRAWN: J.BAKER		DESIGNED: J.PALM		CHECKED: L. GLASSON		DATE: 02/12/2018					
SHEET: C.3.4											

48 HOURS BEFORE DIGGING
 CALL
 TOLL FREE
 811 or 1-800-432-4770
 FLORIDA STATE ONE CALL CENTER

GENERAL UTILITY NOTES:

- BACTERIOLOGICAL TESTS WITH CHLORINE RESIDUALS INDICATED (TAKEN ON TWO CONSECUTIVE DAYS) SHALL BE CONDUCTED AT EACH POTABLE WATER METER FOR EVERY BUILDING, AT EVERY WET-TAP CONNECTION AND EVERY LOCATION INDICATED WITHIN THESE PLANS. RESULTS OF THE BACTERIOLOGICAL TESTS SHALL BE PROVIDED TO THE ENGINEER OF RECORD IMMEDIATELY UPON COMPLETION. BACTERIOLOGICAL TEST RESULTS SHALL BE CONSIDERED UNACCEPTABLE IF THE TESTS WERE COMPLETED MORE THAN 30 DAYS BEFORE THE ENGINEER RECEIVED THE RESULTS.
- ALL WATERMAINS SHALL BE INSTALLED A MINIMUM OF 36" BELOW FINISHED GRADE.
- ALL WATERMAINS AND FIRELINES PIPES SHALL BE RESTRAINED VIA MECHANICAL JOINTS.
- WATER MAIN PVC PIPES LESS THAN 4 INCHES MUST CONFORM TO THE SPECIFICATIONS OF ASTM 1785 (SCHEDULE 40, 80, 120) OR ASTM 2241 SDR21 AND MUST BEAR THE NSF LOGO ON EACH INSTALLED LENGTH.
- UNDERGROUND MARKING TAPE FOR ALL SANITARY FOREMAINS SHALL BE INSTALLED 4 TO 8 INCHES BELOW THE FINISHED GRADE SURFACE DIRECTLY OVER THE PIPELINE. MARKER TAPE SHALL BE MADE OF AN INERT POLYETHYLENE MATERIAL HAVING A MINIMUM THICKNESS OF 4 MILS AND BE COLOR CODED "SAFETY GREEN".
- CONTRACTOR SHALL CONDUCT AND PROVIDE RESULTS IMMEDIATELY TO THE ENGINEER OF RECORD FOR PRESSURE AND LEAKAGE TESTS ON THE FORCE MAIN TRUNK LINE ONCE THE PRESSURE SEWER HAS BEEN INSTALLED AND PARTIALLY BACKFILLED. FINAL BACKFILL AND COMPACTION SHALL NOT COMMENCE UNTIL APPROVAL OF THE PRESSURE AND LEAKAGE TESTS HAS BEEN PROVIDED BY THE ENGINEER OF RECORD.
- FOLLOWING SATISFACTORY PRESSURE TEST RESULTS, THE CONTRACTOR SHALL DISINFECT ALL SECTIONS OF THE WATER DISTRIBUTION SYSTEM, AND RECEIVE APPROVAL THEREOF FROM APPROPRIATE AGENCIES PRIOR TO PLACING THE SYSTEM INTO SERVICE.
- FIRE HYDRANTS SHALL BE PLACED A MINIMUM OF 3 FT. AND A MAXIMUM OF 5 FT. FROM THE CURB OR PAVED ROAD SURFACE UNLESS OTHERWISE APPROVED. NO FENCE, TREE, POST, SHRUB, OR OTHER OBJECT WHICH COULD BLOCK THE HYDRANT FROM NORMAL VIEW OR OBSTRUCT THE HYDRANT'S USE SHALL BE LOCATED WITHIN FOUR (4) FEET OF THE HYDRANT. THE FOUR-AND-ONE-HALF INCH (4-1/2") LARGE VOLUME CONNECTION SHALL FACE THE NEAREST ROADWAY. THE CENTER OF THE STEAMER PORT SHALL BE 18 INCHES MINIMUM AND 24 INCHES MAXIMUM ABOVE FINISHED GRADE.
- ALL FIRE HYDRANT LEADS SHALL HAVE AN INSIDE DIAMETER OF AT LEAST SIX INCHES AND INCLUDE AUXILIARY VALVES.
- WHEN NECESSARY, DEWATERING SHALL BE PROVIDED TO KEEP THE GROUNDWATER ELEVATION A MINIMUM OF 6 INCHES BELOW MAIN BEING LAID.
- ALL UTILITIES SHALL BE LAID ON A FIRM FOUNDATION WITH ALL UNSUITABLE MATERIAL (MUCK, ROCK, COQUINA, ETC.) REMOVED AND REPLACED WITH CLEAN GRANULAR MATERIAL.
- TRENCHES SHALL BE BACKFILLED WITH MATERIAL ACCEPTABLE TO ORANGE COUNTY UTILITIES WITH A MINIMUM COMPACTION OF 98% IN PAVED AREAS AND 95% IN UNPAVED AREAS IN ACCORDANCE WITH AASHTO T-180 MODIFIED PROCTOR TEST.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT TRENCH COMPACTION TESTS BE PROVIDED AT POINTS 12 INCHES ABOVE THE PIPE AND AT 12 INCHES VERTICAL INTERVALS TO FINISH GRADE, AT A MINIMUM SPACING OF EVERY 300 FEET.
- ALL WATER SERVICE ENDINGS SHALL BE MARKED WITH A 2" X 4" LUMBER (PRESSURE TREATED) EXTENDING 4 FEET ABOVE GRADE, WITH WATER SERVICES SECURED 12" MAXIMUM ABOVE THE GROUND.
- ALL WATER VALVES, INCLUDING CONCRETE COLLAR (WITH DEBRIS CAP), SHALL BE ADJUSTED TO FINISHED GRADE AND THE VALVE BOX LID, PAINTED BLUE TO MAKE THEM PLAINLY VISIBLE.
- UPON FINAL ACCEPTANCE OF NEW WATER SYSTEMS, WATER VALVES SHALL BE COMPLETELY OPENED BY PUBLIC UTILITIES PERSONNEL. AT NO TIME SHALL CONTRACTOR OPERATE ANY EXISTING VALVES WITHOUT ORANGE COUNTY UTILITIES INSPECTOR PRESENT.
- ALL WATER MAINS SHALL BE NSF-APPROVED FOR POTABLE WATER USE.
- PIPE USED IN WATER DISTRIBUTION SYSTEMS SHALL BE EITHER POLYVINYL CHLORIDE (PVC), OR DUCTILE IRON PIPE (DIP).
 - (a) ALL PVC PIPE OF NOMINAL DIAMETER FOUR (4) INCHES THROUGH TWELVE (12) INCHES SHALL BE MANUFACTURED IN ACCORDANCE WITH AWWA STANDARD C900, LATEST EDITION. THE PVC PIPE SHALL HAVE A MINIMUM WORKING PRESSURE RATING OF 150PSI AND SHALL HAVE A DIMENSION RATIO (DR) OF 18.
 - (b) ALL DUCTILE IRON PIPE SHALL BE MANUFACTURED IN ACCORDANCE WITH ANSI/AWWA A21.51/0151 AND HAVE A MINIMUM 350 PRESSURE CLASS RATING
- PIPE USED IN GRAVITY SEWER CONSTRUCTION SHALL BE POLYVINYL CHLORIDE (PVC) OR DUCTILE IRON PIPE (DIP). WHERE REFERENCE IS MADE TO AN ASTM, ANSI, OR AASHTO DESIGNATION, IT SHALL BE THE LATEST REVISION.
 - (a) PVC GRAVITY SEWER PIPE (4 INCH - 15 INCH), ASTM D3034, SDR 35 - UNIFORM MINIMUM "PIPE STIFFNESS" AT FIVE (5) PERCENT DEFLECTION SHALL BE 46PSI. THE JOINTS SHALL BE INTEGRAL BELL ELASTOMERIC GASKET JOINTS MANUFACTURED IN ACCORDANCE WITH ASTM D3212 AND ASTM F477. APPLICABLE UNI-BELL PLASTIC PIPE ASSOCIATION STANDARD IS UNI-B-4. ALL PVC PIPE SHALL BEAR THE NSF-DW SEAL AND BE GREEN IN OVERALL COLOR. THE MINIMUM STANDARD LENGTH OF PIPE SHALL BE THIRTEEN (13) FEET.
 - (b) DUCTILE IRON PIPE SHALL CONFORM TO ANSI/AWWA A21.51/C151, CLASS THICKNESS DESIGNED PER ANSI/AWWA A21.50/C150, WITH MECHANICAL OR PUSH ON JOINTS. AN INTERIOR PROTECTIVE LINING OF COAL TAR EPOXY SHALL BE PROVIDED WITH A MINIMUM DRY THICKNESS OF 30 MILS. DUCTILE IRON GRAVITY SEWERS, WHERE REQUIRED BY ORANGE COUNTY UTILITIES BASED ON GEOTECHNICAL INVESTIGATIONS, SHALL BE WRAPPED WITH POLYETHYLENE FILM, AWWA C105. SEE APPENDIX C. THE MINIMUM STANDARD LENGTH OF PIPE SHALL BE EIGHTEEN (18) FEET.

SP#

WATER SYSTEM TESTING REQUIREMENTS:

- THE CONTRACTOR SHALL PERFORM HYDROSTATIC TESTING OF ALL WATER DISTRIBUTION SYSTEMS, AS SET FORTH IN THE FOLLOWING AND SHALL CONDUCT SAID TESTS IN THE PRESENCE OF REPRESENTATIVES FROM ORANGE COUNTY UTILITIES AND/OR OTHER AUTHORIZED AGENCIES. THE CONTRACTOR SHALL PROVIDE 48 HOURS ADVANCED NOTICE PRIOR TO TESTING OF THE WATER DISTRIBUTION SYSTEM.
- ALL TESTING REQUIRED BY ORANGE COUNTY UTILITIES SHALL BE PAID FOR BY THE DEVELOPER / CONTRACTOR.
- ALL PROPOSED WATER MAINS SHALL BE TESTED AND CLEARED FOR SERVICE IN ACCORDANCE WITH THE LATEST AWWA STANDARDS AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION REQUIREMENTS.
- PRIOR TO HYDROSTATIC TESTING A PRELIMINARY FLUSHING SHALL BE REQUIRED THROUGH FULL DIAMETER FLUSHING OR SWABING. PRELIMINARY FLUSHING/SWABING SHALL BE PERFORMED PER AWWA C651 STANDARD - "DISINFECTING WATER MAINS". ALL PIPING SHALL BE THOROUGHLY CLEANED AND FLUSHED PRIOR TO TESTING TO CLEAR THE LINES OF ALL FOREIGN MATTER. WHILE THE PIPING IS BEING FILLED WITH WATER, CARE SHALL BE EXERCISED TO PERMIT THE ESCAPE OF AIR FROM EXTREMITIES ALONG THE TEST SECTION.
- HYDROSTATIC TESTING SHALL CONSIST OF PRESSURE TEST AND LEAKAGE TEST. PIPING AND APPURTENANCES TO BE TESTED SHALL BE WITHIN SECTIONS BETWEEN VALVES, NOT EXCEEDING 2,000 FEET, UNLESS ALTERNATE METHODS HAVE RECEIVED PRIOR APPROVAL FROM ORANGE COUNTY UTILITIES. TESTING SHALL NOT PROCEED UNTIL CONCRETE THRUST BLOCKS ARE IN PLACE AND CURED, OR OTHER RESTRAINING DEVICES INSTALLED.
- HYDROSTATIC TESTING SHALL BE PERFORMED AT 150 POUNDS PER SQUARE INCH PRESSURE, UNLESS OTHERWISE APPROVED BY ORANGE COUNTY UTILITIES, FOR A PERIOD OF NOT LESS THAN TWO (2) HOURS.
- THE ALLOWABLE RATE OF LEAKAGE SHALL BE LESS THAN THE NUMBER OF GALLONS PER HOUR DETERMINED BY THE FOLLOWING FORMULA:

$$L = \frac{SD \cdot \sqrt{P}}{148,000}$$

WHERE:
 L = ALLOWABLE LEAKAGE, IN GALLONS PER HOUR
 S = LENGTH OF PIPE TESTED, IN FEET
 D = NOMINAL DIAMETER OF PIPE, IN INCHES
 P = AVERAGE TEST PRESSURE DURING THE LEAKAGE TEST, IN POUNDS PER SQUARE INCH (GAUGE)
- SHOULD THE TEST FAIL, NECESSARY REPAIRS SHALL BE ACCOMPLISHED BY THE CONTRACTOR AND THE TEST REPEATED UNTIL WITHIN PASSING LIMITS. THE CONTRACTOR SHALL FURNISH ALL THE NECESSARY LABOR, PUMPS, GAUGES AND ALL OTHER ITEMS NECESSARY TO CONDUCT THE REQUIRED WATER DISTRIBUTION SYSTEM TESTING AND PERFORM NECESSARY REPAIRS.

SEWER SYSTEM TESTING REQUIREMENTS:

- THE CONTRACTOR SHALL PERFORM TESTING OF ALL SANITARY SEWAGE GRAVITY COLLECTION SYSTEMS, AS SET FORTH IN THE FOLLOWING AND SHALL CONDUCT SAID TESTS IN THE PRESENCE OF REPRESENTATIVES FROM ORANGE COUNTY UTILITIES AND/OR OTHER AUTHORIZED AGENCIES. THE CONTRACTOR SHALL PROVIDE 48 HOURS ADVANCED NOTICE PRIOR TO TESTING OF THE WASTEWATER DISTRIBUTION SYSTEM.
- ALL TESTING REQUIRED BY ORANGE COUNTY UTILITIES SHALL BE PAID FOR BY THE DEVELOPER / CONTRACTOR.
- GRAVITY MAINS SHALL BE INSPECTED WITH CCTV FOR ALIGNMENT, GRADE VARIATIONS, SEPARATED PIPES, LEAKS, DEFLECTION, CRACKED, BROKEN OR OTHERWISE DEFECTIVE PIPE TO ENSURE OVERALL PIPE INTEGRITY. THE APPROVED CCTV INSPECTION CONTRACTOR SHALL SUBMIT THE REPORT TO THE UTILITIES DEPARTMENT AS REQUIRED.
- LEAKAGE TESTING FOR GRAVITY MAINS SHALL BE BY LOW-PRESSURE AIR TEST. LEAKAGE TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH THE PROCEDURE FOR "RECOMMENDED PRACTICE FOR LOW PRESSURE AIR TESTING OF INSTALLED SEWER PIPE" AS ESTABLISHED BY THE UNI-BELL PVC PIPE ASSOCIATION.
- EACH GRAVITY MAIN LEAKAGE TEST SECTION SHALL NOT EXCEED 400 FEET IN LENGTH AND SHALL BE TESTED BETWEEN ADJACENT MANHOLES.

FDEP UTILITY CONSTRUCTION NOTES:

- NOTE TO THE UTILITY: PURSUANT TO 62-555.345; DO NOT PROVIDE WATER SERVICE TO THIS PROJECT (OTHER THAN FLUSHING/TESTING) UNTIL THE DEPARTMENT OF ENVIRONMENTAL PROTECTION HAS ISSUED A LETTER OF CLEARANCE OR THE UTILITY SHALL BE SUBJECT TO ENFORCEMENT ACTION.
- THE PERMITEE WILL PROMPTLY NOTIFY THE DEPARTMENT UPON SALE OR LEGAL TRANSFER OF THE PERMITTED FACILITY
- ALL WATER MAINS AND APPURTENANCES SHALL BE DISINFECTED AND BACTERIOLOGICALLY EVALUATED IN ACCORDANCE WITH RULE 62-555.340, F.A.C.
- ALL WATER MAIN PIPE, INCLUDING FITTINGS SHALL BE COLOR CODED OR MARKED USING BLUE AS A PREDOMINANT COLOR TO DIFFERENTIATE DRINKING WATER FROM RECLAIMED OR OTHER WATER. UNDERGROUND PLASTIC PIPE SHALL BE SOLID-WALL BLUE PIPE, SHALL HAVE A CO-EXTRUDED BLUE EXTERNAL SKIN, OR SHALL BE WHITE OR BLACK PIPE WITH BLUE STRIPES INCORPORATED INTO, OR APPLIED TO, THE PIPE WALL; AND UNDERGROUND METAL OR CONCRETE PIPE SHALL HAVE BLUE STRIPES APPLIED TO THE PIPE WALL. PIPE STRIPED DURING MANUFACTURING OF THE PIPE SHALL HAVE CONTINUOUS STRIPES THAT RUN PARALLEL TO THE AXIS OF THE PIPE, THAT ARE LOCATED AT NO GREATER THAN 90-DEGREE INTERVALS AROUND THE PIPE, AND THAT WILL REMAIN INTACT DURING AND AFTER INSTALLATION OF THE PIPE. IF TAPE OR PAINT IS USED TO STRIPE PIPE DURING INSTALLATION OF THE PIPE, THE TAPE OR PAINT SHALL BE APPLIED IN A CONTINUOUS LINE THAT RUNS PARALLEL TO THE AXIS OF THE PIPE AND THAT IS LOCATED ALONG THE TOP OF THE PIPE. FOR PIPES WITH AN INTERNAL DIAMETER OF 24 INCHES OR GREATER, TAPE OR PAINT SHALL BE APPLIED IN CONTINUOUS LINES ALONG EACH SIDE OF THE PIPE AS WELL AS ALONG THE TOP OF THE PIPE.

FDEP UTILITY SEPARATION REQUIREMENTS

(62-555.314, F.A.C. LOCATION OF PUBLIC WATER SYSTEM MAINS)

- FOR THE PURPOSE OF THIS SECTION, THE PHRASE "WATER MAINS" SHALL MEAN MAINS, INCLUDING TREATMENT PLANT PROCESS PIPING, CONVEYING EITHER RAW, PARTIALLY TREATED, OR FINISHED DRINKING WATER; FIRE HYDRANT LEADS; AND SERVICE LINES THAT ARE UNDER THE CONTROL OF A PUBLIC WATER SYSTEM AND THAT HAVE AN INSIDE DIAMETER OF THREE INCHES OR GREATER.
- HORIZONTAL SEPARATION** BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS.
 - (a) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
 - (b) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER.
 - (c) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER.
 - (d) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.0065(2), F.S., AND RULE 64E-8.002, F.A.C.
 - VERTICAL SEPARATION** BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, AND RECLAIMED WATER PIPELINES.
 - (a) NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
 - (b) NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
 - (c) AT THE UTILITY CROSSINGS DESCRIBED IN PARAGRAPHS (A) AND (B) ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORMWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY- OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
 - SEPARATION BETWEEN WATER MAINS AND SANITARY OR STORM SEWER MANHOLES.**
 - (a) NO WATER MAIN SHALL PASS THROUGH, OR COME INTO CONTACT WITH, ANY PART OF A SANITARY SEWER MANHOLE.
 - (b) EFFECTIVE AUGUST 28, 2003, WATER MAINS SHALL NOT BE CONSTRUCTED OR ALTERED TO PASS THROUGH, OR COME INTO CONTACT WITH, ANY PART OF A STORM SEWER MANHOLE OR INLET STRUCTURE.
 - SEPARATION BETWEEN FIRE HYDRANT DRAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS.** NEW OR RELOCATED FIRE HYDRANTS WITH UNDERGROUND DRAINS SHALL BE LOCATED SO THAT THE DRAINS ARE AT LEAST THREE FEET FROM ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.; AT LEAST THREE FEET, AND PREFERABLY TEN FEET, FROM ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER; AT LEAST SIX FEET, AND PREFERABLY TEN FEET, FROM ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.; AND AT LEAST TEN FEET FROM ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.0065(2), F.S., AND RULE 64E-8.002, F.A.C.

LOCATION OF PUBLIC WATER SYSTEM MAINS IN ACCORDANCE WITH F.A.C. RULE 62-555.314

Other Pipe	Horizontal Separation	Crossings (1)	Joint Spacing @ Crossings (Full Joint Centered)
Storm Sewer, Stormwater Force Main, Reclaimed Water (2)	Water Main 3 ft. minimum	Water Main 12 inches is the minimum, except for storm sewer, then 6 inches is the minimum and 12 inches is preferred	Water Main Alternate 3 ft. minimum
Vacuum Sanitary Sewer	Water Main 10 ft. preferred 3 ft. minimum	Water Main 12 inches preferred 6 inches minimum	Water Main Alternate 3 ft. minimum
Gravity or Pressure Sanitary Sewer, Stormwater Force Main, Reclaimed Water (4)	Water Main 10 ft. preferred 6 ft. minimum (2)	Water Main 12 inches is the minimum, except for gravity sewer, then 6 inches is the minimum and 12 inches is preferred	Water Main Alternate 6 ft. minimum
On-Site Sewage Treatment & Disposal System	10 ft. minimum	---	---

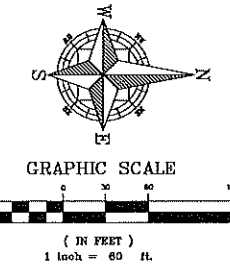
(1) Water main should cross above other pipe. When water main must be below other pipe, the minimum separation is 12 inches.
 (2) Reclaimed water regulated under Part III of Chapter 62-610, F.A.C.
 (3) 18" for gravity sanitary sewer where the bottom of the water main is laid at least 6 inches above the top of the gravity sanitary sewer.
 (4) Reclaimed water not regulated under Part III of Chapter 62-610, F.A.C.

ADDITIONAL NOTES

- ALL EXISTING UTILITIES MUST BE FIELD VERIFIED AT ALL POINTS OF CONNECTION TO, AND AT ALL AREAS OF CONFLICT WITH PROPOSED UTILITIES. CONTRACTOR MUST NOTIFY ENGINEER OF RECORD IF A DISCREPANCY IS FOUND.
- ALL UTILITIES (INCLUDING PUMP STATION IF APPLICABLE) LOCATED OUTSIDE PUBLIC RIGHT-OF-WAYS AND PUBLIC EASEMENTS SHALL BE PRIVATELY OWNED AND MAINTAINED.

SCALE	N.T.S.	PROJECT	AVX-001	SHEET	C-4.0	DATE	02/12/2018
DRAWN	J.BAKER	DESIGNED	J.PALM	CHECKED	L. CLASSON		
UTILITY NOTES FINAL DEVELOPMENT PLAN BRIDLEWOOD SUBDIVISION CITY OF APOPKA, FLORIDA							
CIVIL ENGINEERING LAND PLANNING APPIAN ENGINEERING LLC. APPIANENGINEERING.COM - 407.960.5868 2221 Lee Road, Suite 17, Winter Park, Florida 32789							
REC'D DATE DESCRIPTION 02/14/18 CITY OF APOPKA COMMENTS DATED 02/14/18							

P:\PROJECT DRAWINGS\AUX-001_Elevation Center (P-17089)\Drawings\CAO Civil\Layouts\04 - Final Development Plan (FDP)\Utility Planning Modified 5/21/2018 By: Brian



LEGEND

- FM — PROPOSED FORCE MAIN
- WM — PROPOSED WATER MAIN
- RU — PROPOSED RE-USE MAIN
- SANITARY PIPE
- ⊗ GATE VALVE
- ⊕ FIRE HYDRANT
- ⊥ TEE
- ⊥ 2" BLOWOFF VALVE
- SINGLE SERVICE
- DOUBLE SERVICE
- ↘ REDUCER
- Y— SINGLE SANITARY SEWER LATERAL
- Y— DOUBLE SANITARY SEWER LATERAL
- ⊙ SANITARY MANHOLE

UTILITY NOTES:

1. ALL WATER MAINS LEADING TO A PROPOSED FIRE HYDRANT SHALL BE A MINIMUM OF 8".
2. FIRE FLOW REQUIREMENTS FOR BUILDINGS SHALL BE IN ACCORDANCE WITH NFPA 1, SECTION 18.4.
3. DOCUMENTATION FOR FIRE FLOW TESTING SHALL INCLUDE A FIRE FLOW REPORT AND A HYDRAULIC GRAPH.
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CIVIL ENGINEERING LAND PLANNING		APPIAN ENGINEERING LLC.	
UTILITY PLAN - OVERALL		BRIDLEWOOD SUBDIVISION	
FINAL DEVELOPMENT PLAN		CITY OF APOPKA, FLORIDA	
SCALE	1" = 60'	PROJECT	AVX-001
DRAWN	J. BAKER	CHECKED	L. CLASSON
DESIGNED	J. PALM	DATE	02/12/2018
SHEET	C4.1	APPIAN ENGINEERING	



P:\PROJECT DRAWINGS\AX-001 Education Center (P-17089)\Drawings\CAD Civil3D\Layout\04 - Final Development Plan (PDF)\Utility Plan.dwg Modified: 5/21/2018 By: balin

MATCHLINE A-A

MATCHLINE A-A



GRAPHIC SCALE
(IN FEET)
1 inch = 40 ft.

LEGEND

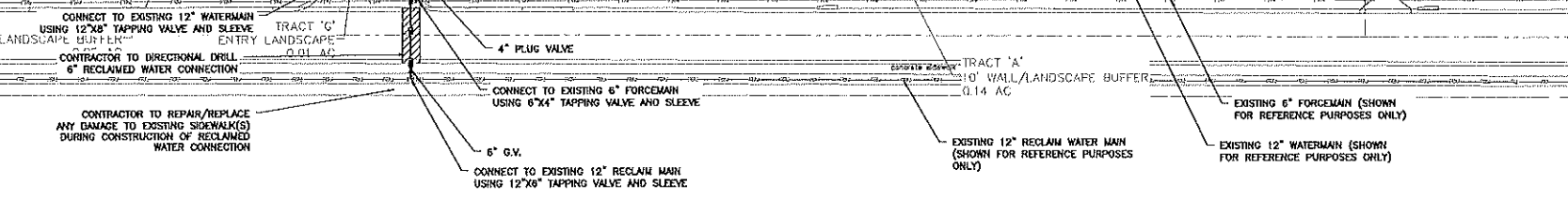
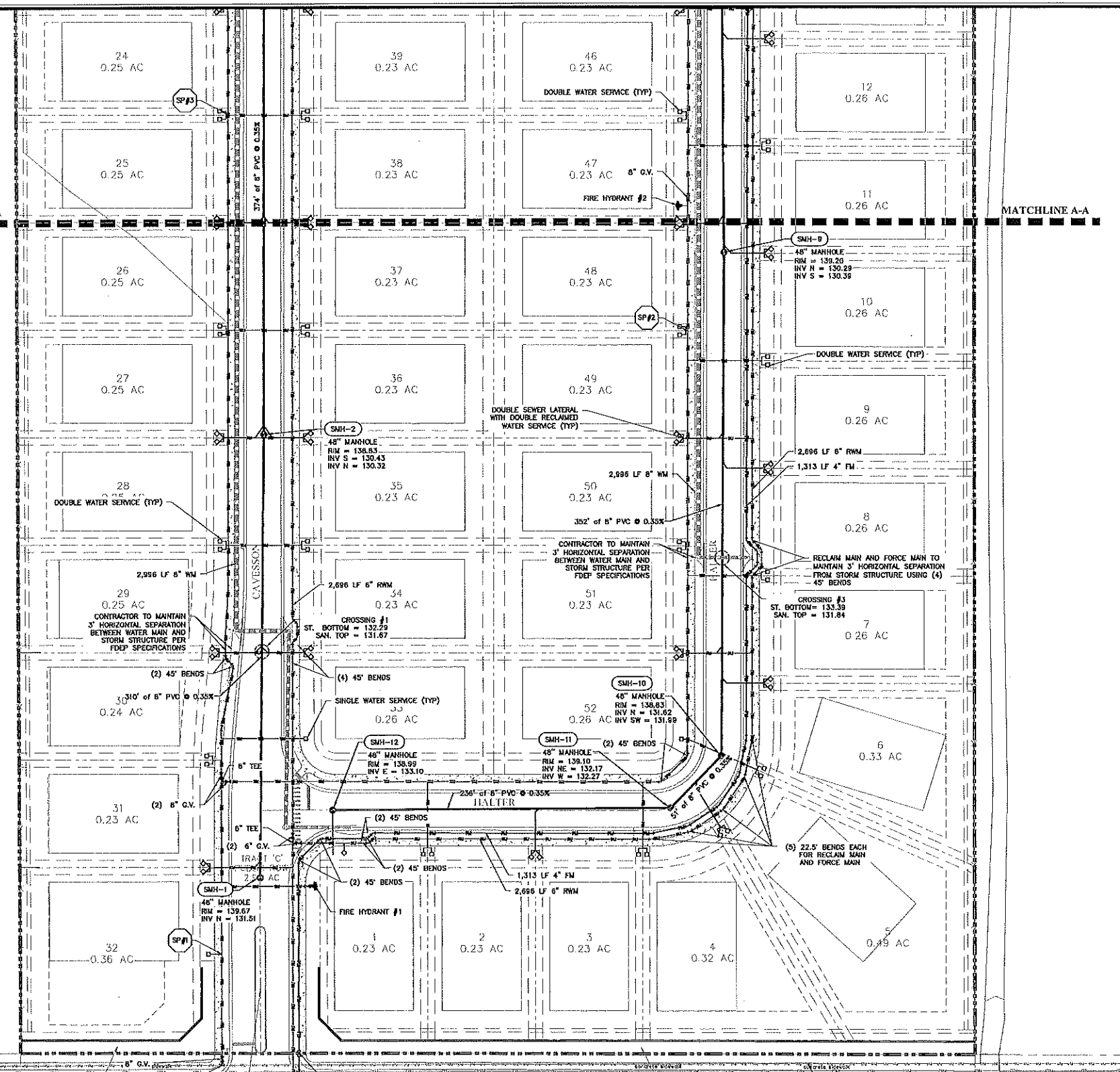
- FM — PROPOSED FORCE MAIN
- WM — PROPOSED WATER MAIN
- RU — PROPOSED RE-USE MAIN
- S — SANITARY PIPE
- ⊕ GATE VALVE
- ⊕ FIRE HYDRANT
- ⊕ TEE
- ⊕ 2" BLOWOFF VALVE
- ⊕ SINGLE SERVICE
- ⊕ DOUBLE SERVICE
- ⊕ REDUCER
- ⊕ SINGLE SANITARY SEWER LATERAL
- ⊕ DOUBLE SANITARY SEWER LATERAL
- ⊕ SANITARY MANHOLE

UTILITY NOTES:

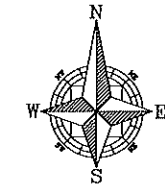
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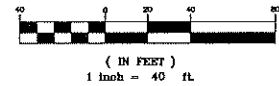
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4. AFTER THE INSTALLATION OF THE NEW HYDRANTS, A FIRE FLOW TESTING SHALL BE PERFORMED IN ACCORDANCE WITH NFPA 291, RECOMMENDED PRACTICE FOR FIRE FLOW TESTING AND MARKING OF HYDRANTS. A FIRE FLOW TEST RESULTS FROM THE NEAREST EXISTING HYDRANT THAT HAS BEEN WITNESSED BY A UTILITIES INSPECTOR WILL NEED TO BE PROVIDED. DOCUMENTATION FOR FIRE FLOW TESTING SHALL INCLUDE A FIRE FLOW TEST REPORT AND A HYDRAULIC GRAPH. (SCPSTM, FIRE FLOW TESTING PROCEDURE)
5. THE LOCATION OF THE FIRE HYDRANTS SHALL BE IDENTIFIED BY A BLUE REFLECTIVE PAVEMENT MARKER. ((NFPA 1, 18.5.10.1)



JOB NO.	DATE	DESCRIPTION
A	12/14/17	CITY OF APOPKA COMMENTS DATED 05/14/18
A	02/12/2018	REVISED
<p>CIVIL ENGINEERING LAND PLANNING</p> <p>APPIAN ENGINEERING LLC.</p> <p>APPIANENGINEERING.COM - 407.960.5868</p> <p>2201 Las Ruas, Suite 17, Winter Park, Florida 32789</p>		
<p>UTILITY PLAN - SOUTH</p> <p>FINAL DEVELOPMENT PLAN</p> <p>BRIDLEWOOD SUBDIVISION</p> <p>CITY OF APOPKA, FLORIDA</p>		
DRAWN	DESIGNED	CHECKED
J.BAKER	J.PALM	L. CLASSON
SCALE	PROJECT	SHEET
1" = 40'	AVX-001	C4.2
<p>48 HOURS BEFORE DIGGING</p> <p>CALL TOLL FREE</p> <p>811 or 1-800-492-4770</p> <p>BRAND'S STATE ONE CALL CENTER</p>		



GRAPHIC SCALE



LEGEND

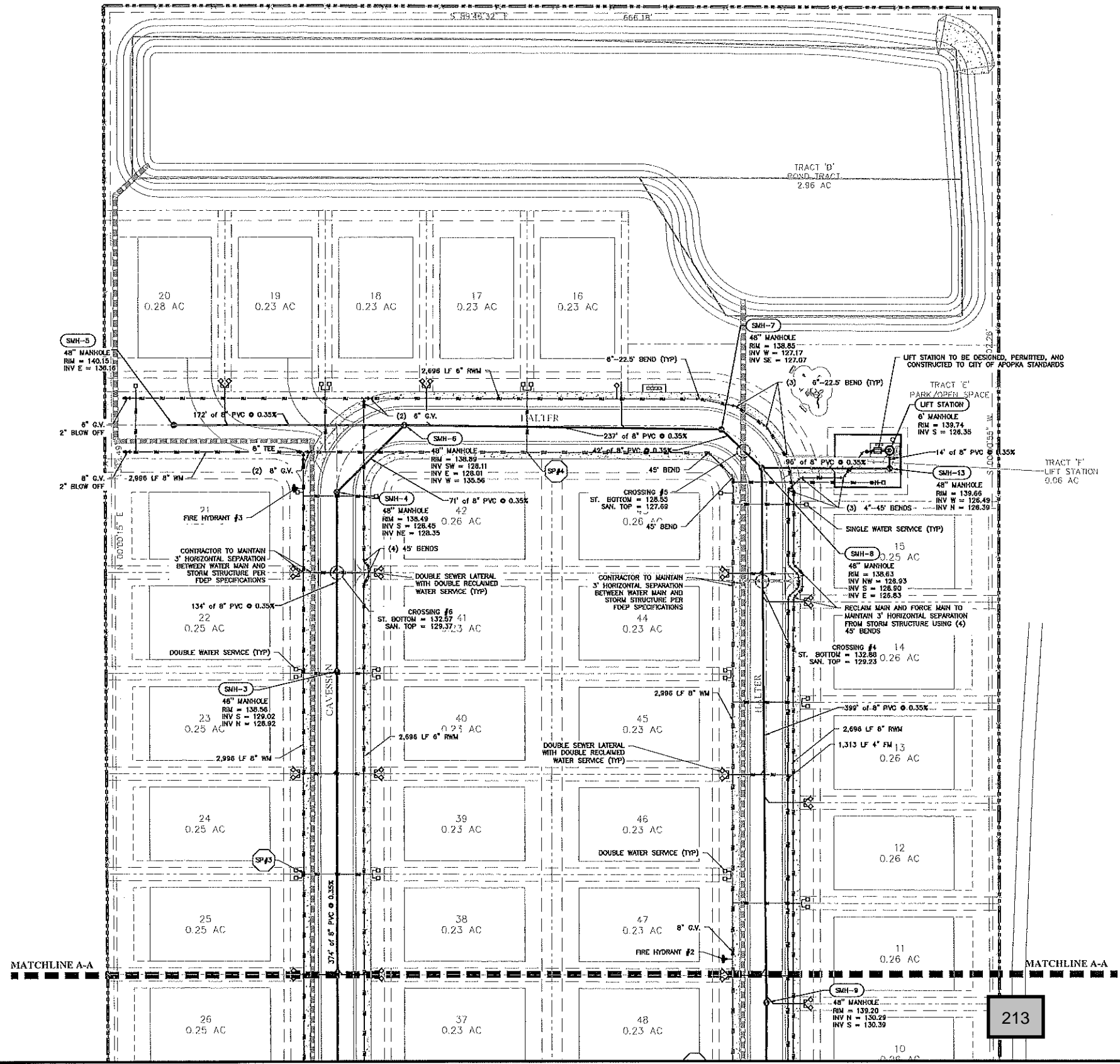
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- Sanitary Pipe
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 FLORIDA STATE ONE CALL CENTER

SHEET 20 OF 44

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APPIAN ENGINEERING LLC.
 APPIANENGINEERING.COM • 407.960.5868
 2221 Lee Road, Suite 17, Weston, FL, 33391

UTILITY PLAN - NORTH
 FINAL DEVELOPMENT PLAN
 BRIDLEWOOD SUBDIVISION
 CITY OF APOPKA, FLORIDA

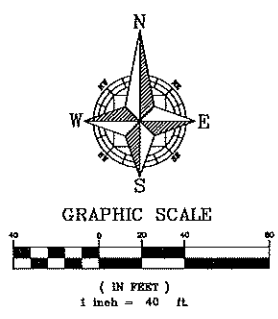
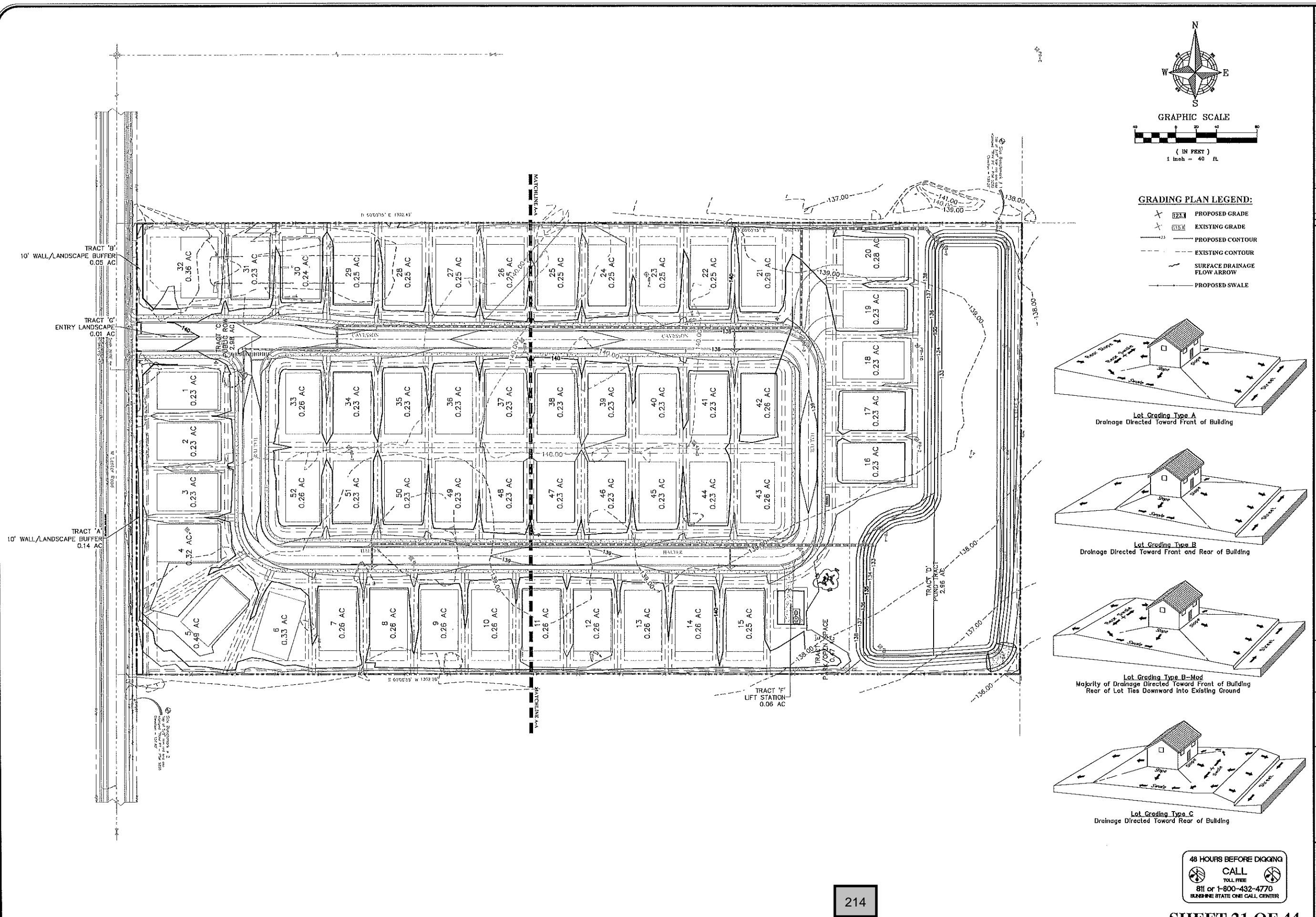
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 PROJECT: AVX-001
 SHEET: C-4.3

DATE: 02/12/2018

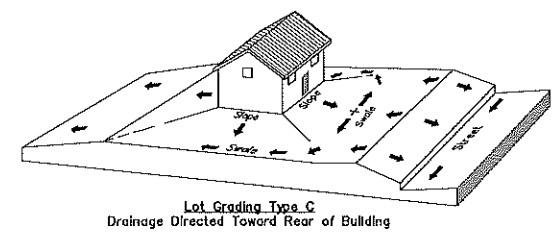
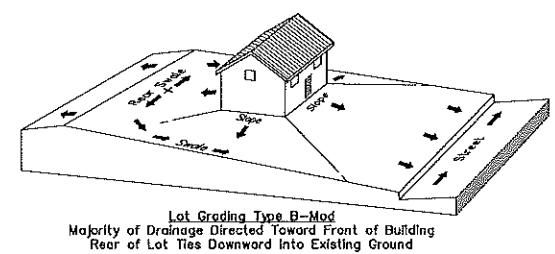
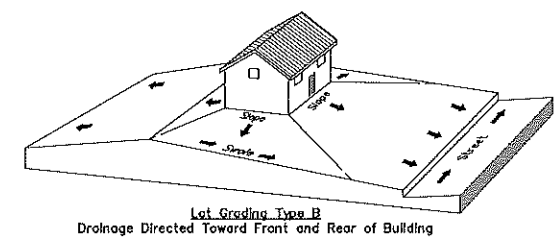
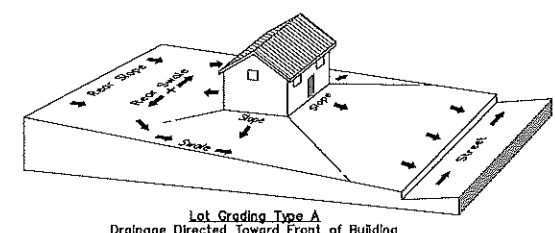
921/18

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P:\PROJECT DRAWINGS\AYX-001 Equestrian Center (P-17089)\Drawings\CAD Civil\3D\Layouts\04 - Final Development Plan (PDF)\Paving & Grading Planning Modifc2/21/2018 By: palm



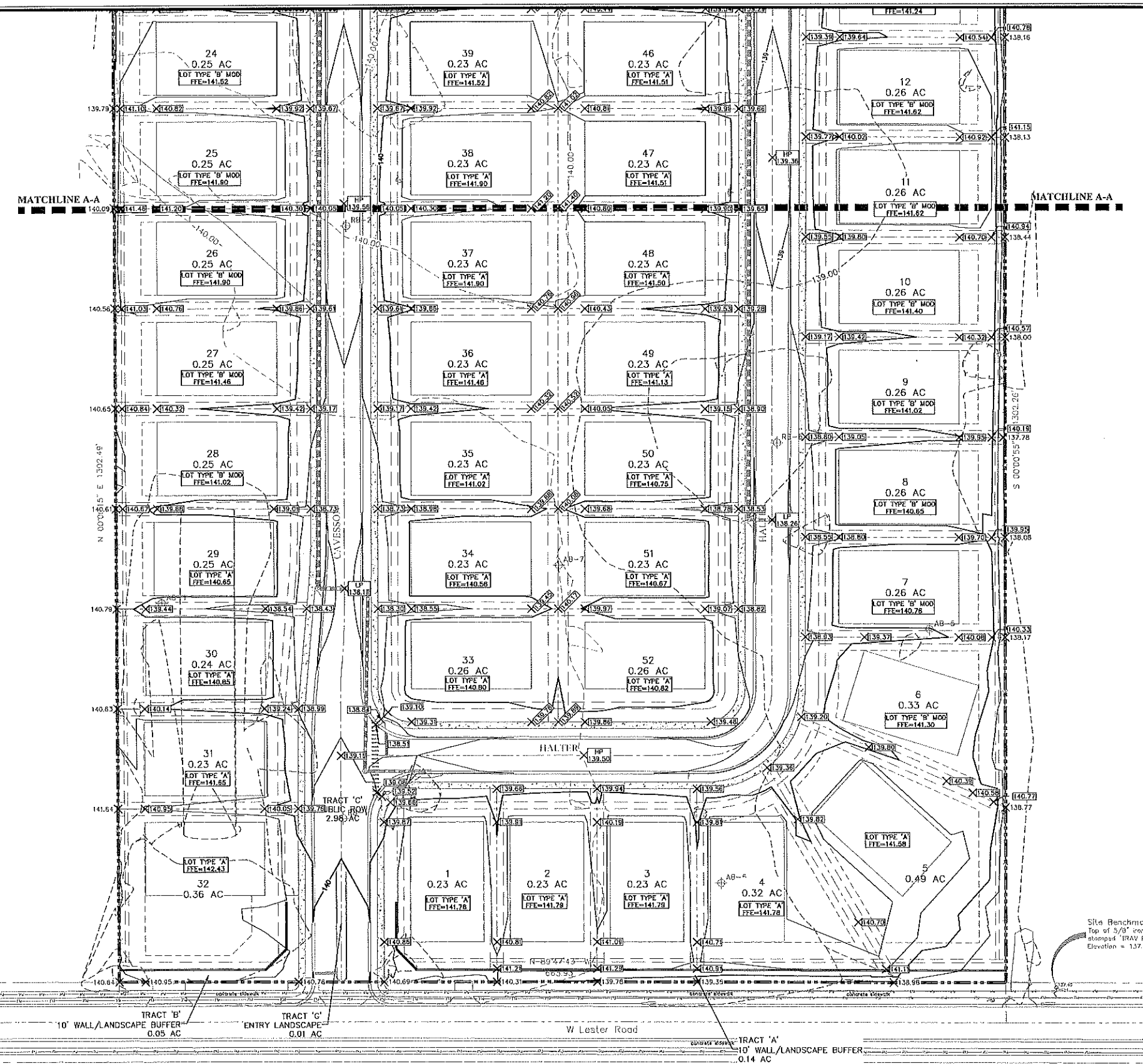
- GRADING PLAN LEGEND:**
- PROPOSED GRADE
 - EXISTING GRADE
 - PROPOSED CONTOUR
 - EXISTING CONTOUR
 - SURFACE DRAINAGE FLOW ARROW
 - PROPOSED SWALE



48 HOURS BEFORE DIGGING
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TOLL FREE
811 or 1-800-432-4770
SUNSHINE STATE ONE CALL CENTER

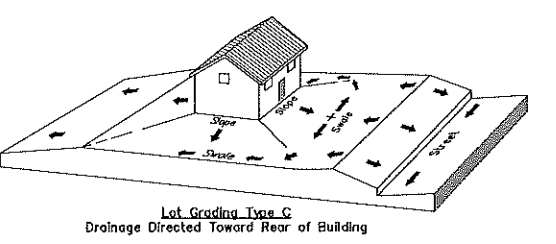
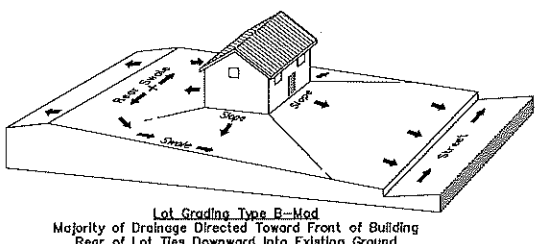
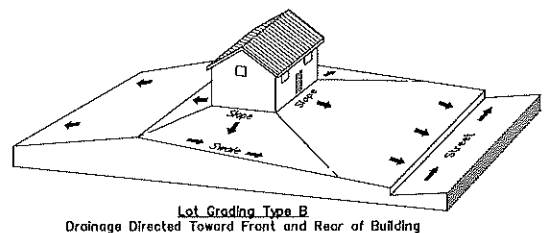
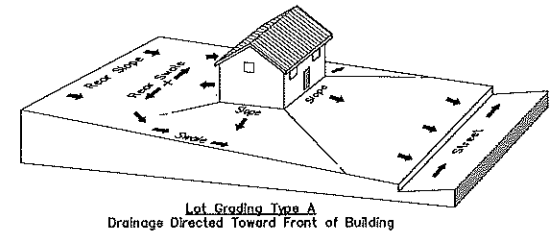
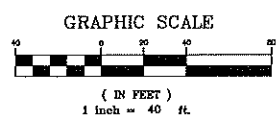
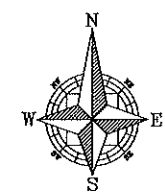
CIVIL ENGINEERING & LAND PLANNING		APPIAN ENGINEERING LLC.	
PAVING & GRADING PLAN - SOUTH		FINAL DEVELOPMENT PLAN	
BRIDLEWOOD SUBDIVISION		CITY OF APOPKA, FLORIDA	
DESIGNER: J. BAKER	DESIGNED: J. PALM	CHECKED: L. GLASSON	DATE: 02/12/2018
SCALE: 1" = 40'	PROJECT: AYX-001	SHEET: C5.0	
APPIAN ENGINEERING		APPIAN.COM • 407.960.5868	
2221 Lee Road, Suite 17, Winter Park, Florida 32789		REV. DATE DESCRIPTION	
		BY: JGP	

P:\PROJECT DRAWINGS\AVX-001 Equestrian Center (F-17089)\Drawings\CAD\Civil3D\LAYOUT\CA - Final Development Plan (PDP) Paving & Grading Plan.dwg Modified: 5/21/2018 By: jedm



GRADING PLAN LEGEND:

- PROPOSED GRADE
- EXISTING GRADE
- PROPOSED CONTOUR
- EXISTING CONTOUR
- SURFACE DRAINAGE FLOW ARROW
- PROPOSED SWALE



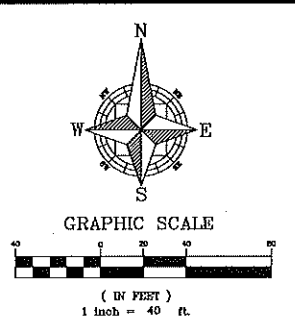
GRADING NOTES:

1. ALL GRADED LOTS SHALL PROVIDE A MINIMUM OF 2.0% SLOPE AWAY FROM THE HOUSE FOR A MINIMUM OF 5 FEET ON ALL SIDES
2. FINISH FLOOR TO BE SET 1" ABOVE THE DESIGN HIGH WATER ELEVATION OF ADJACENT STORMWATER RETENTION / DETENTION PONDS
3. LEFT BLANK INTENTIONALLY.
4. PER CITY OF APOPKA DESIGN GUIDELINES, NO LOTS SHALL BE ALLOWED TO DRAIN ACROSS ADJACENT LOTS.
5. A SLOPE STABILITY ANALYSIS FOR AREAS WITH A SLOPE OF 3H:1V SHALL BE PROVIDED IF REQUIRED.
6. CONTRACTOR TO CONSTRUCT ALL FINISHED PADS TO BE 6" BELOW F.F.E.

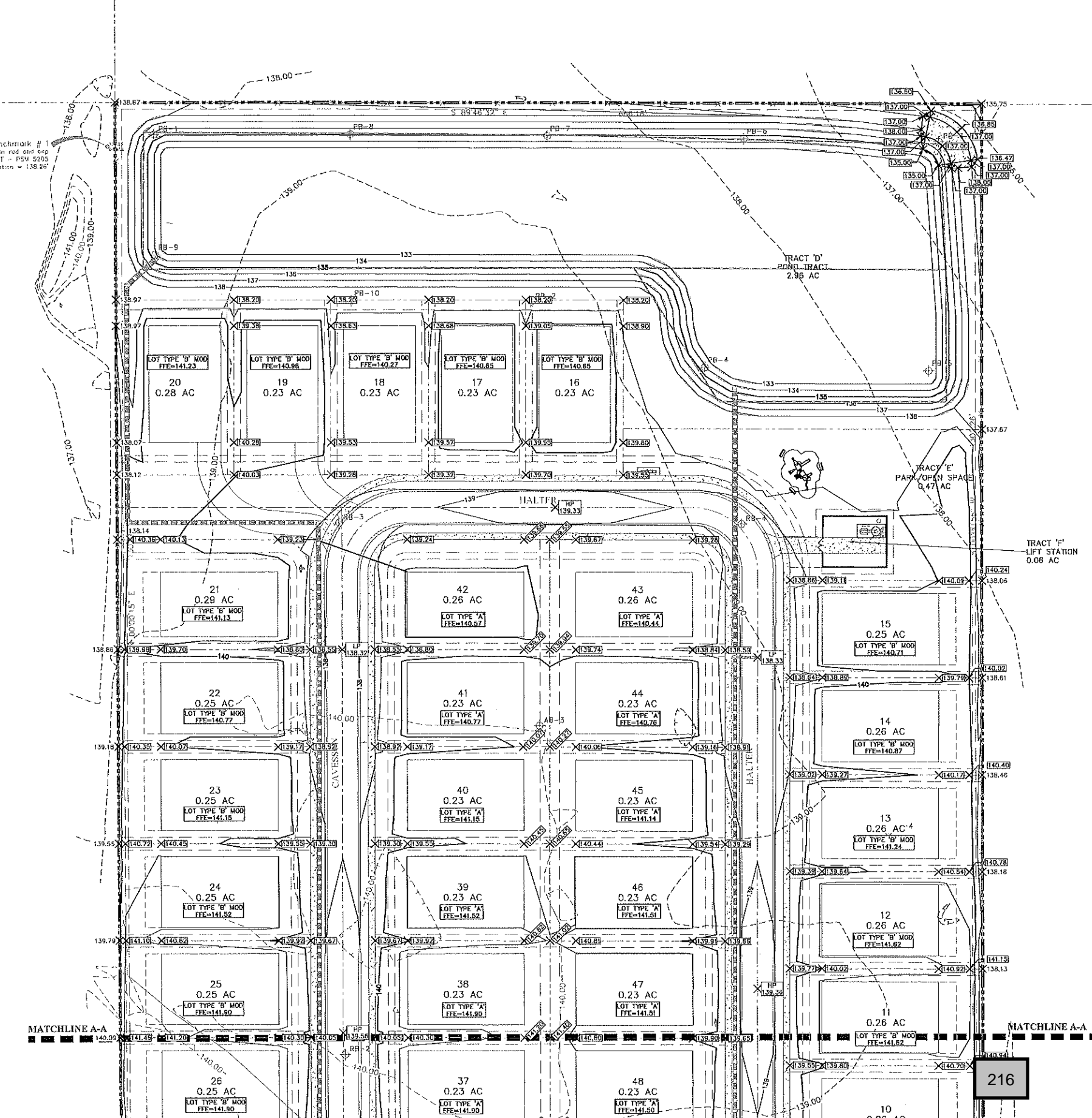
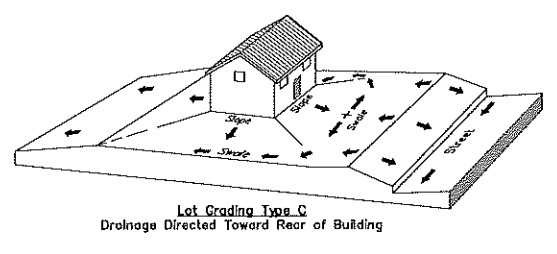
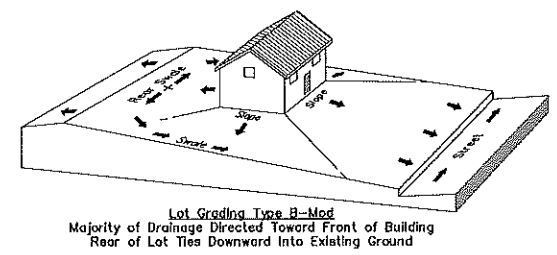
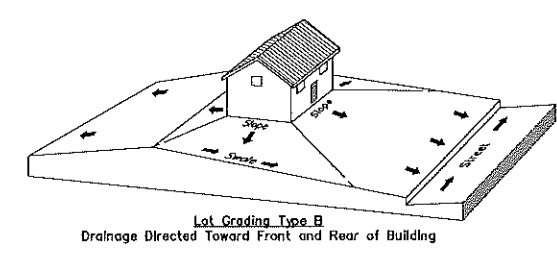
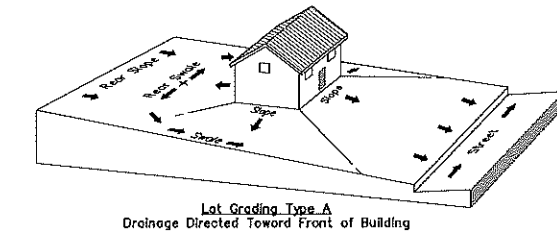
48 HOURS BEFORE DIGGING
 CALL TOLL FREE
 811 or 1-800-432-4770
 SUNSHINE STATE ONE CALL CENTER

CIVIL ENGINEERING LAND PLANNING		APPIAN ENGINEERING LLC.		APPHANEL.COM - 407.560.5868		2221 LAW BLVD, SUITE 17, WINTER PARK, FLORIDA 32789	
PAVING & GRADING PLAN - SOUTH				FINAL DEVELOPMENT PLAN			
BRIDLEWOOD SUBDIVISION				CITY OF APOPKA, FLORIDA			
SCALE	1" = 40'	PROJECT	AVX-001	CHECKED	L. CLASSON	DATE	02/12/2018
DRAWN	J. BAKER	DESIGNED	J. PALM				
<p>52118</p>							

Site Benchmark #1
Top of 3/8" iron rod and cap
aligned "IRAV PT" - FSV 5205
Elevation = 138.29'

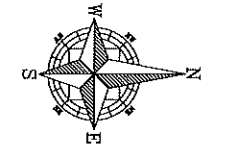
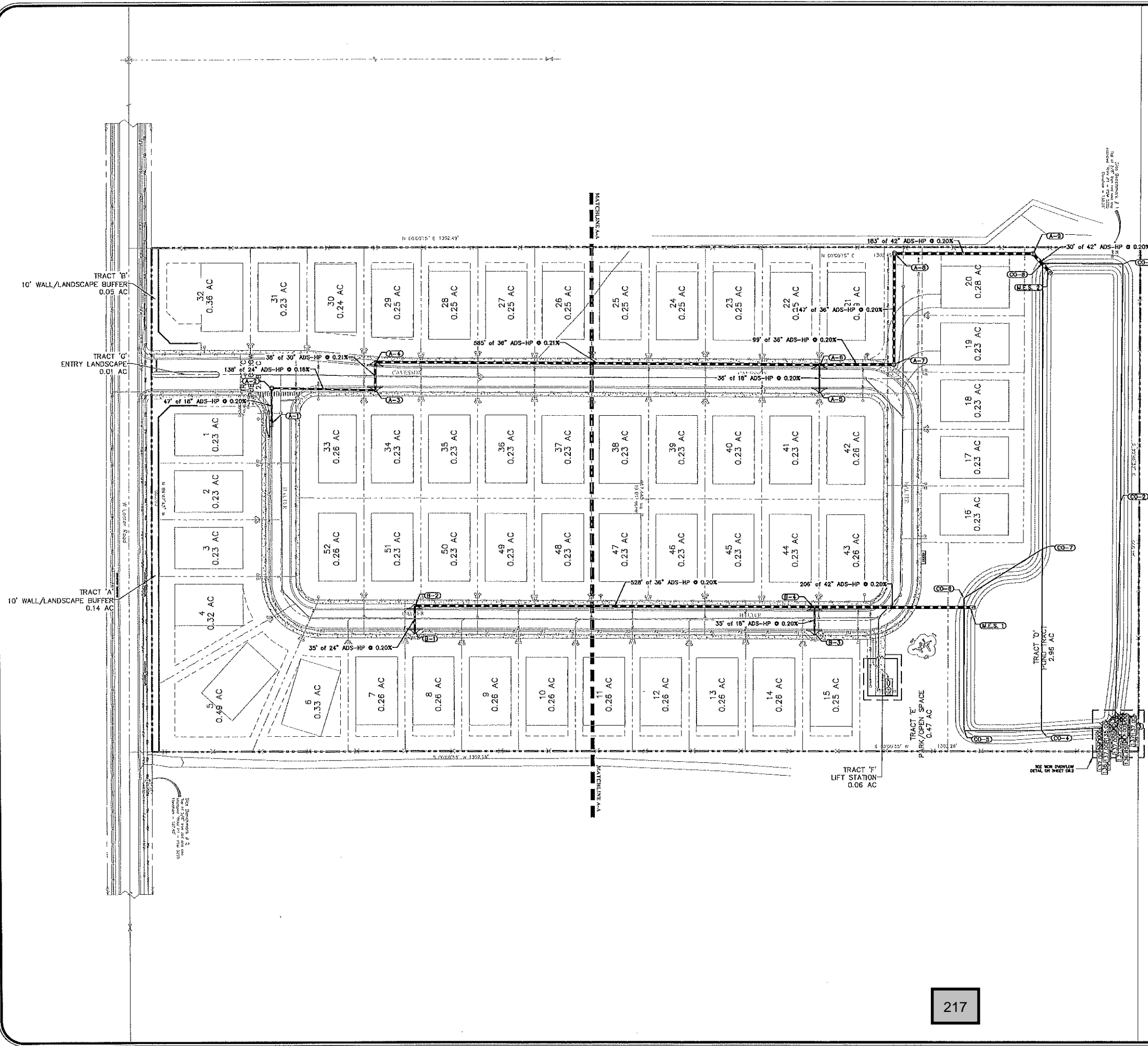


- GRADING PLAN LEGEND:**
- PROPOSED GRADE
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 - SURFACE DRAINAGE FLOW ARROW
 - PROPOSED SWALE



CIVIL ENGINEERING LAND PLANNING		APPIAN ENGINEERING LLC.		APPHANEL.COM • 407.960.5868		2221 Lee Road, Suite 17, Weston Park, Florida 32790	
DRAWN: J. BAKER		DESIGNED: J. PALM		CHECKED: L. CLASSON		DATE: 02/12/2018	
SCALE: 1" = 40'		PROJECT: AVX-001		SHEET: C5.2			
PAVING & GRADING PLAN - NORTH		FINAL DEVELOPMENT PLAN		BRIDLEWOOD SUBDIVISION		CITY OF APOPKA, FLORIDA	
APPIAN ENGINEERING		APPIAN ENGINEERING		APPIAN ENGINEERING		APPIAN ENGINEERING	
52118		SHEET 23 OF 44		48 HOURS BEFORE DIGGING CALL TOLL FREE 811 or 1-800-432-4770 FLORIDA STATE ONE CALL CENTER			

P:\PROJECT DRAWINGS\AVX-001 Equastion Center (P-17089)\Drawings\CAD\DWG\Layouts\04 - Final Development Plan (FDP)\Drainage Plan.dwg Modified: 5/21/2018 By: jaim



GRAPHIC SCALE
(IN FEET)
1 inch = 60 ft.

LEGEND

- STORM MANHOLE
- TYPE 2 CURB INLET
- P-INLET 5
- P-INLET 6
- MITER END SECTION
- TYPE C INLET
- PROPOSED STORM

DRAINAGE NOTES:

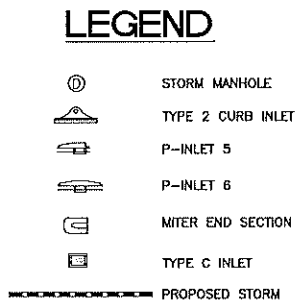
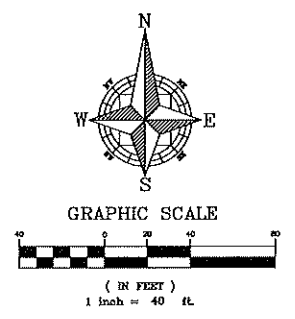
1. ALL REINFORCED CONCRETE PIPE (RCP) SHALL BE CLASS III UNLESS OTHERWISE SPECIFIED.
2. ALL REINFORCED CONCRETE PIPE (RCP) JOINTS SHALL BE WRAPPED PER FDOT 2017-2018 STANDARD INDEX 280
3. ALL DRAINAGE STRUCTURE INVERTS ARE TO BE POURED PER FDOT 2017-2018 STANDARD INDEX 201.

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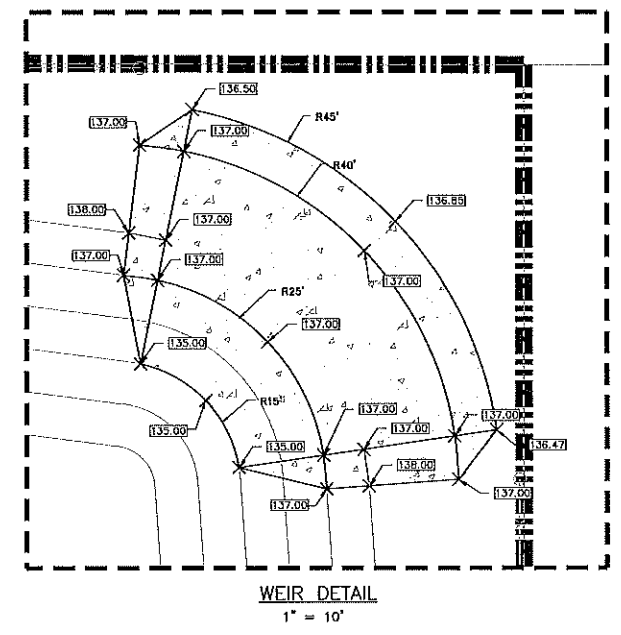
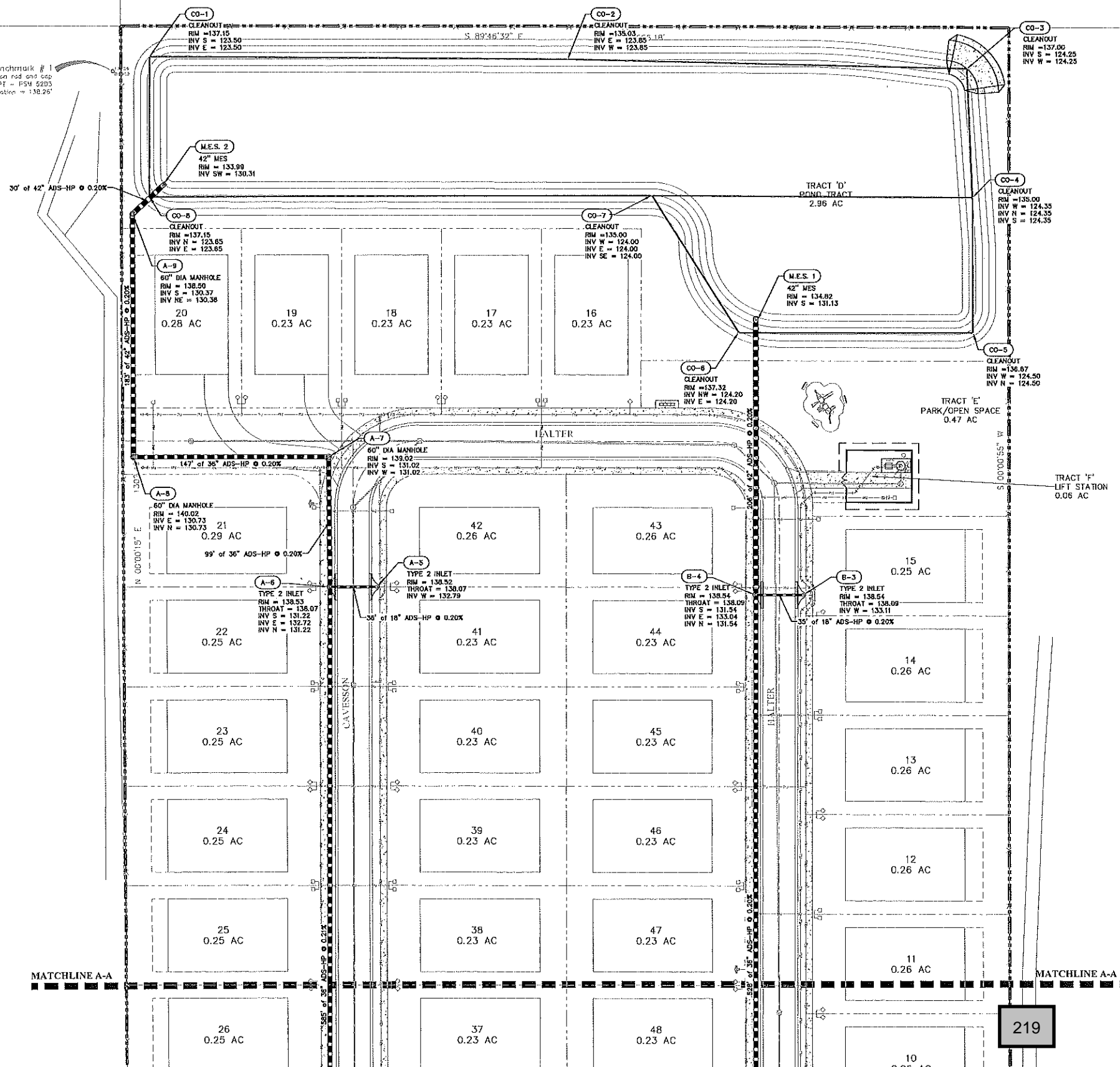
		CIVIL ENGINEERING LAND PLANNING APPIAN ENGINEERING LLC. APPIAN.COM • 407.860.5868 2221 Lee Road, Suite 17, Winter Park, Florida 32789	
DRAINAGE PLAN - OVERALL FINAL DEVELOPMENT PLAN		BRIDLEWOOD SUBDIVISION CITY OF APOPKA, FLORIDA	
SCALE	1" = 40'	DRAWN	J. BAKER
PROJECT	AVX-001	DESIGNED	J. PALM
SHEET	C6.0	CHECKED	L. CLASSON
		DATE	02/12/2018
		REV	DATE DESCRIPTION
		A	05/14/18 CITY OF APOPKA COMMENTS DATED 05/14/18
		J	
		BT	

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Site Benchmark # 1
Top of 3/8" iron rod and cap
stamped "IRAV PT - FSM 5203
Elevation = 138.29"



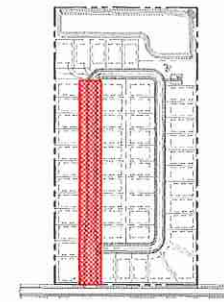
- DRAINAGE NOTES:**
- ALL REINFORCED CONCRETE PIPE (RCP) SHALL BE CLASS III UNLESS OTHERWISE SPECIFIED.
 - ALL REINFORCED CONCRETE PIPE (RCP) JOINTS SHALL BE WRAPPED PER FDOT 2017-2018 STANDARD INDEX 280
 - ALL DRAINAGE STRUCTURE INVERTS ARE TO BE POURED PER FDOT 2017-2018 STANDARD INDEX 201.



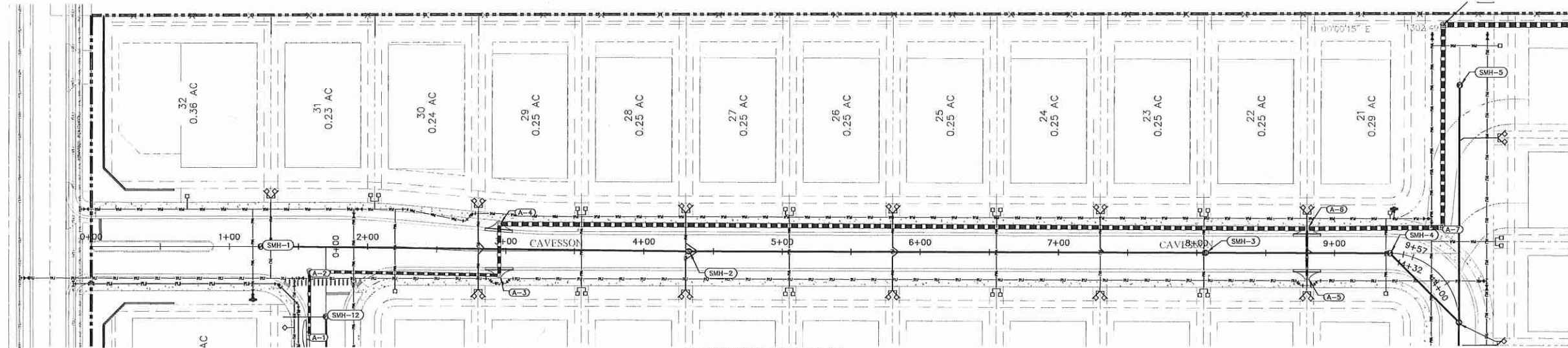
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CIVIL ENGINEERING I LAND PLANNING		APPIAN ENGINEERING LLC.		APPIAN ENGINEERING LLC.		APPIAN ENGINEERING LLC.		APPIAN ENGINEERING LLC.		APPIAN ENGINEERING LLC.		APPIAN ENGINEERING LLC.		APPIAN ENGINEERING LLC.		APPIAN ENGINEERING LLC.		APPIAN ENGINEERING LLC.		APPIAN ENGINEERING LLC.	
DRAINAGE PLAN - NORTH		FINAL DEVELOPMENT PLAN		BRIDLEWOOD SUBDIVISION		CITY OF APOPKA, FLORIDA		DATE		REV.		DATE		REV.		DATE		REV.		DATE	
SCALE	1" = 40'	PROJECT	AYX-001	CHECKED	L. CLASSON	DATE	02/12/2018	SHEET	C6.2	DATE	02/12/2018	DESCRIPTION		DATE		DESCRIPTION		DATE		DESCRIPTION	
DRAWN	J. BAKER	DESIGNED	J. PALM	CHECKED	L. CLASSON	DATE	02/12/2018	SHEET	C6.2	DATE	02/12/2018	DESCRIPTION		DATE		DESCRIPTION		DATE		DESCRIPTION	

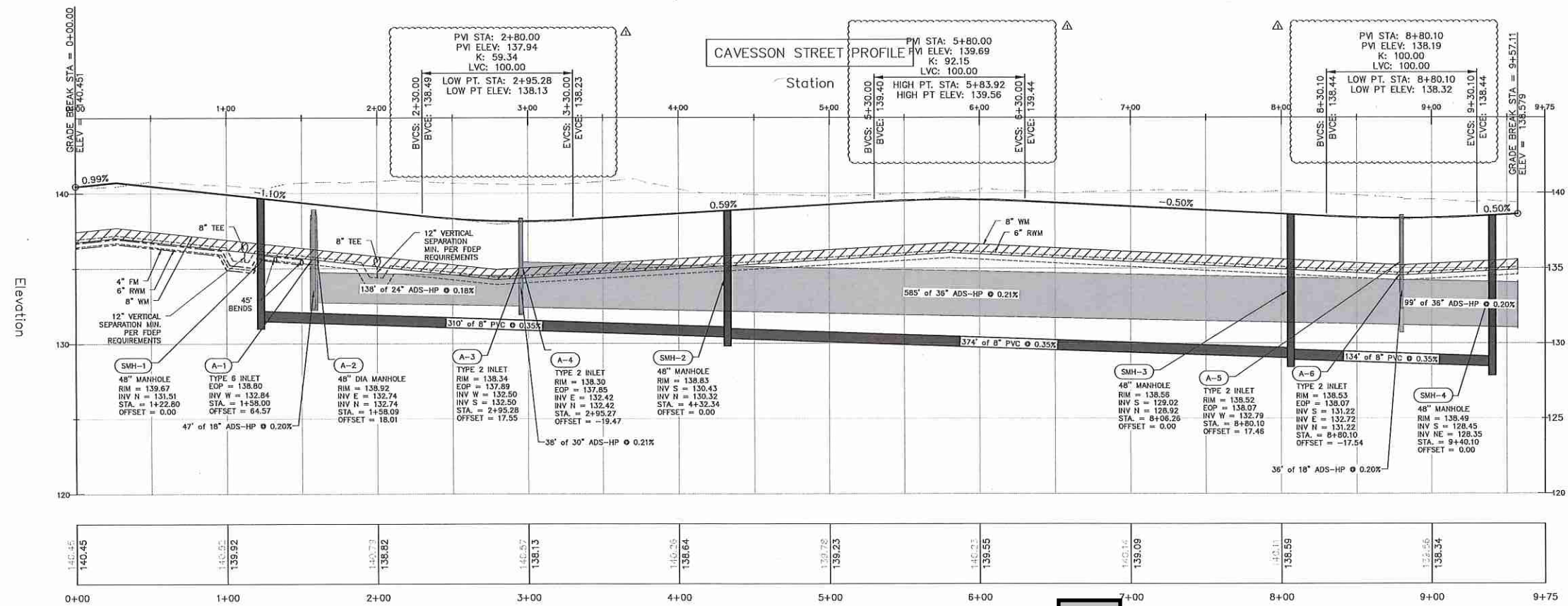




KEY MAP



CAVESSON STREET
STATION 0+00 TO 9+57



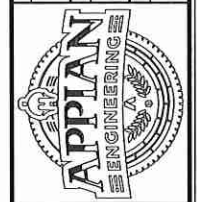
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VERTICAL SCALE: 1"=4'

220

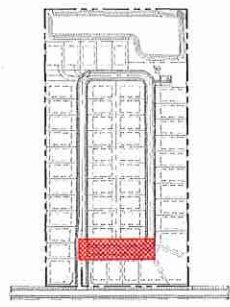
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P:\PROJECT DRAWINGS\AVX-001 Equestrian Center (P-17089)\Drawings\CAD Civil3D\Layouts\04 - Final Development Plan (PDF)\Plan & Profile.dwg Modified: 5/21/2018 By: jaim

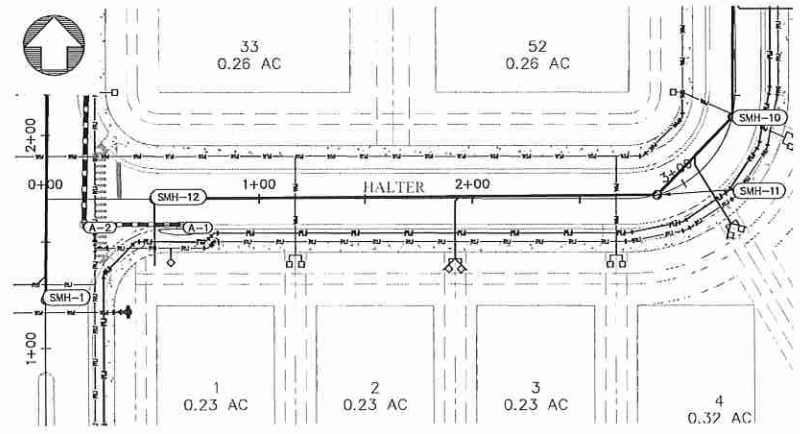
CIVIL ENGINEERING I LAND PLANNING		APPLAN ENGINEERING LLC.		APPLAN.COM - 407360.5868	
PLAN & PROFILE - CAVESSON STREET		FINAL DEVELOPMENT PLAN		BRIDLEWOOD SUBDIVISION	
DRAWN: J.BAKER		DESIGNED: J.PALM		CHECKED: L. CLASSON	
SCALE: 1" = 40'		PROJECT: AVX-001		SHEET: C7.0	
DATE: 02/12/2018		CITY OF APOPKA COMMENTS DATED 05/14/18		DESCRIPTION	
DATE: 02/12/2018		DATE: 05/14/18		DATE: 05/14/18	
DATE: 02/12/2018		DATE: 05/14/18		DATE: 05/14/18	



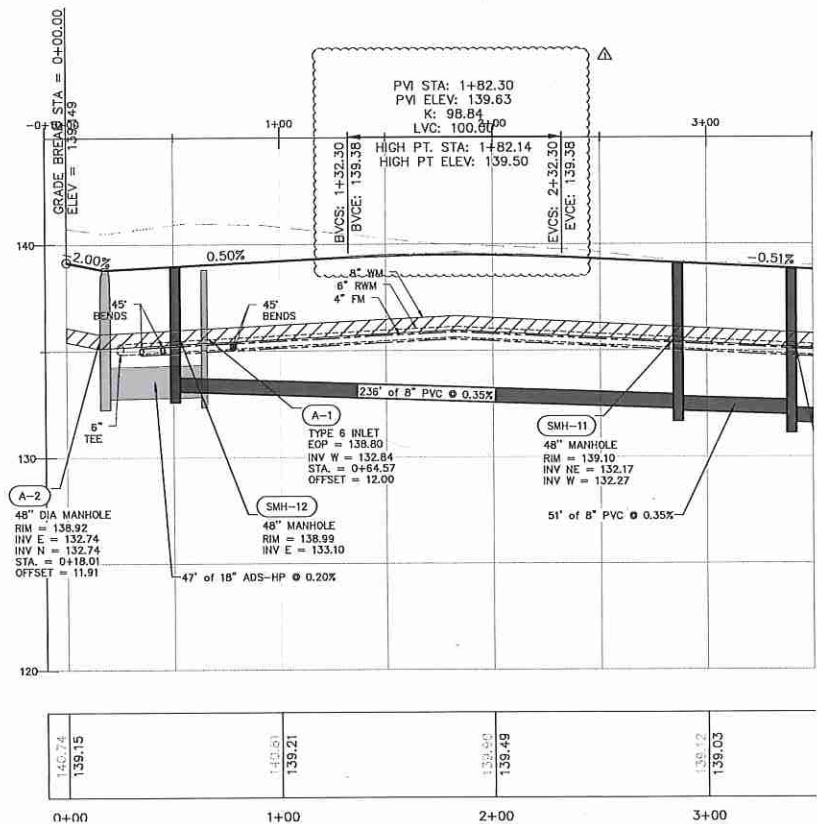
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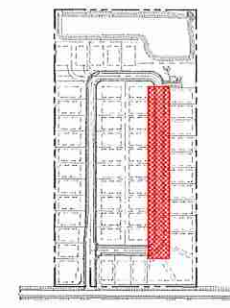
KEY MAP



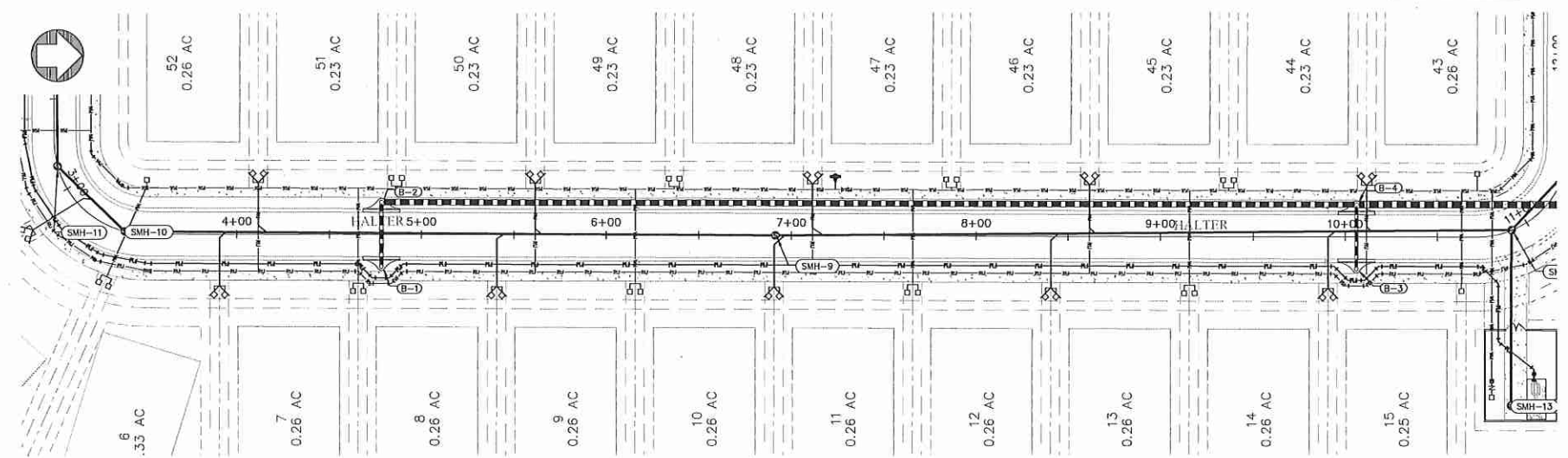
HALTER STREET
STATION 0+00 TO 3+00



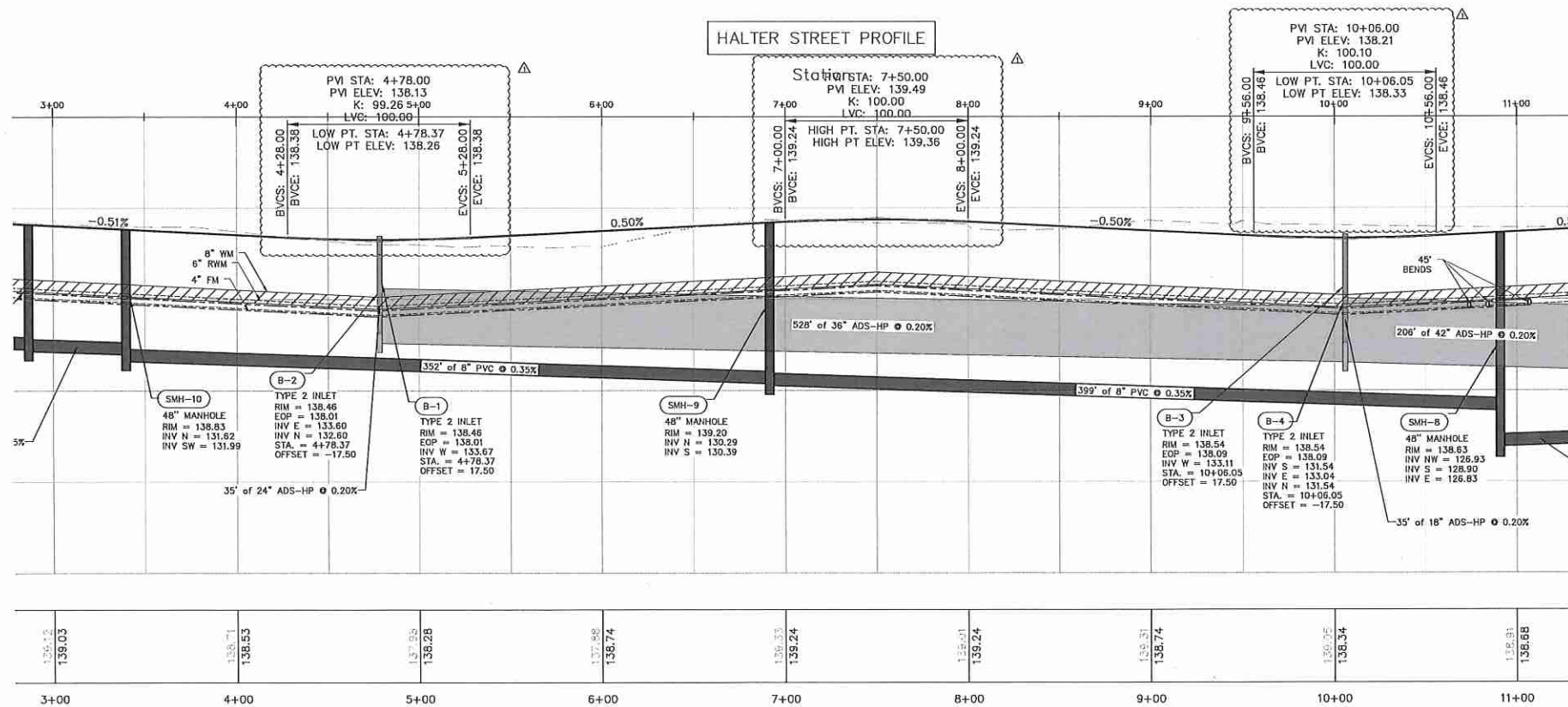
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VERTICAL SCALE: 1"=4'



KEY MAP



HALTER STREET
STATION 3+00 TO 11+00



HORIZONTAL SCALE: 1"=40'
VERTICAL SCALE: 1"=4'

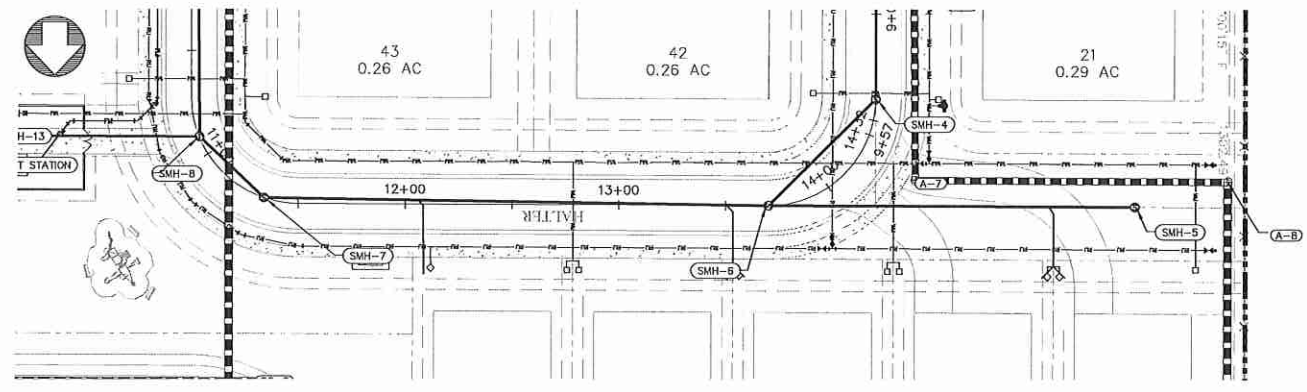
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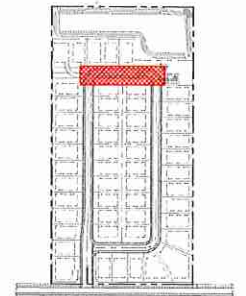
SHEET 28 OF 44

CIVIL ENGINEERING LAND PLANNING		APPIAN ENGINEERING LLC.	
PLAN & PROFILE - HALTER STREET STA. 0+00 - 11+00		FINAL DEVELOPMENT PLAN	
BRIDLEWOOD SUBDIVISION CITY OF APOPKA, FLORIDA		APPIAN.COM - 407.560.5868 2221 Lee Road, Suite 17, Winter Park, Florida 32789	
SCALE	1" = 40'	PROJECT	AVX-001
DRAWN	J-BAKER	CHECKED	L. CLASSON
DESIGNED	J-PAUM	DATE	02/12/2018
SHEET	C7.1	APPIAN ENGINEERING	

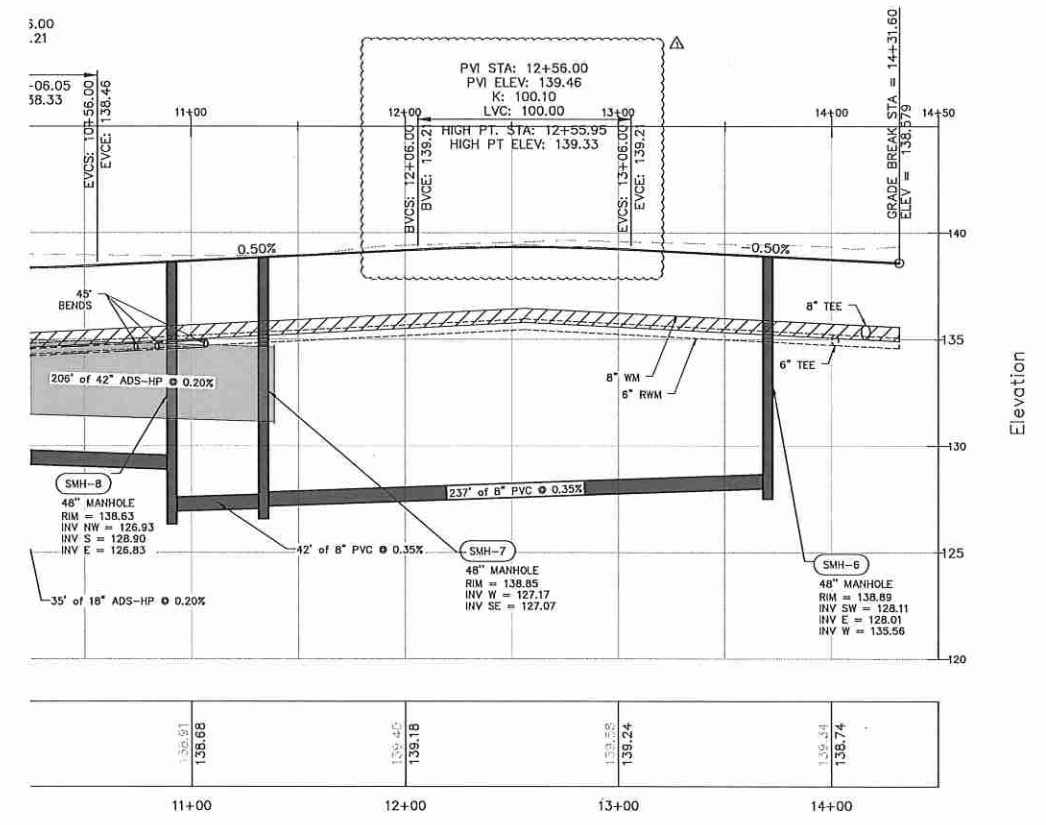
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**HALTER STREET
STATION 11+00 TO 14+32**

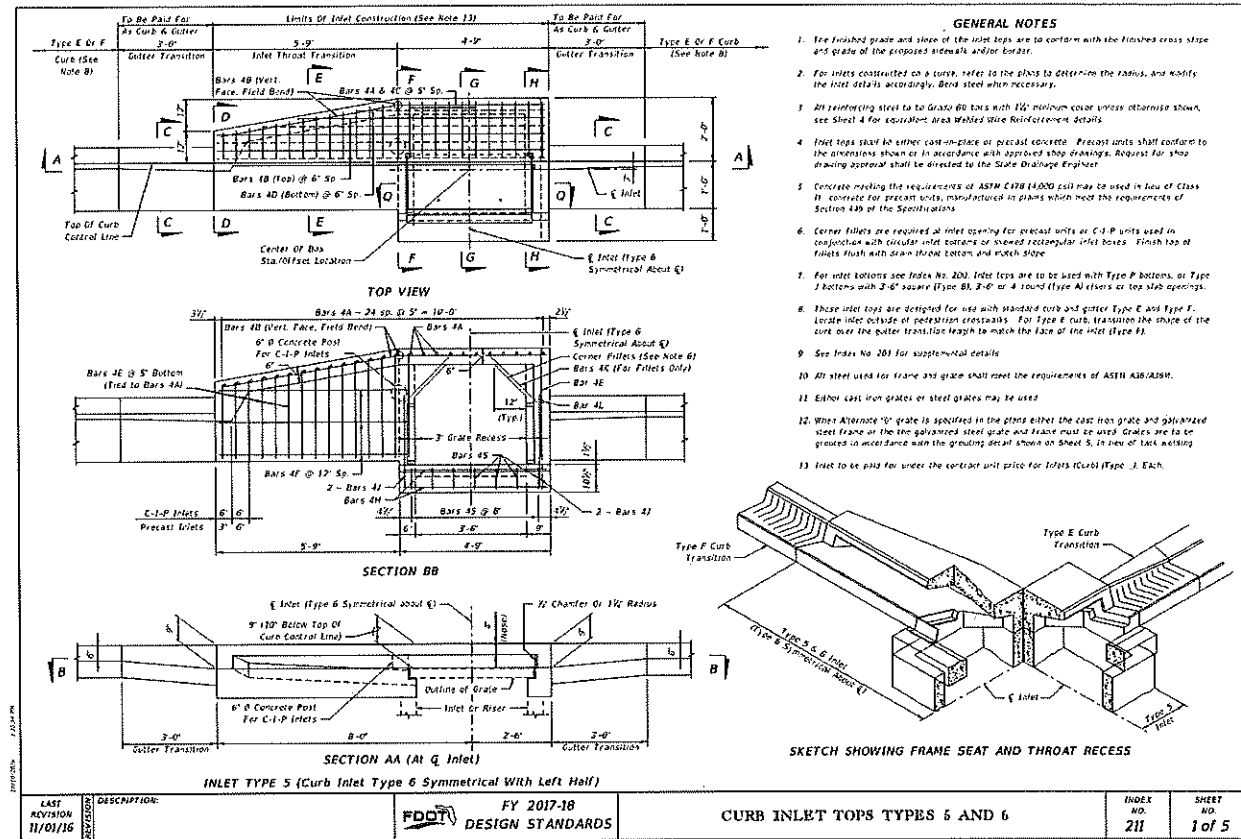


KEY MAP

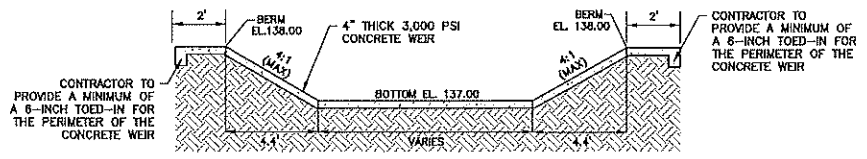


HORIZONTAL SCALE: 1"=40'
VERTICAL SCALE: 1"=4'

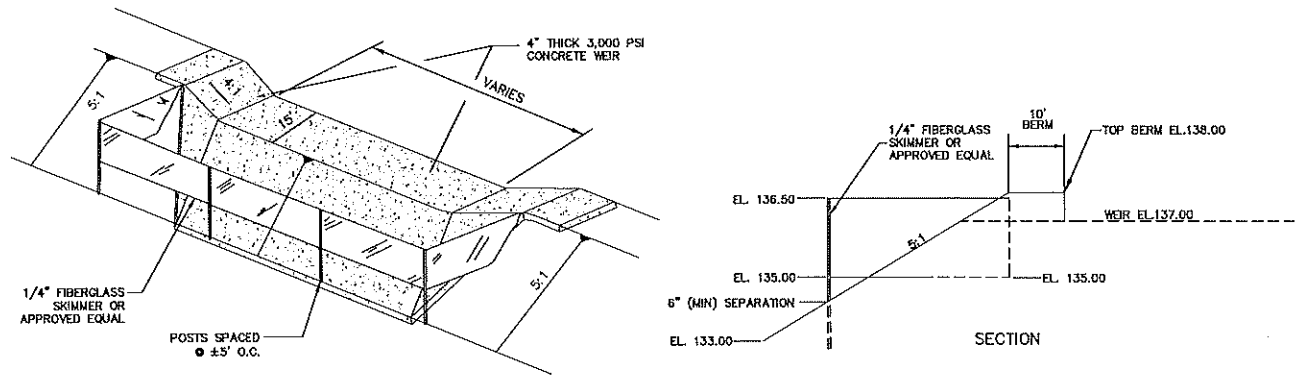
<p>CIVIL ENGINEERING LAND PLANNING APPIAN ENGINEERING LLC. APPANEL.COM - 407.560.5868 2221 Lee Road, Suite 17, Wynton Park, Panama 32789</p>		<p>DATE: 02/12/2018 DESCRIPTION: BRIDLEWOOD SUBDIVISION CITY OF APOPKA, FLORIDA</p>
<p>PLAN & PROFILE - HALTER STREET STA. 11+00 - 14+32 FINAL DEVELOPMENT PLAN</p>		<p>DATE: 02/12/2018</p>
<p>SCALE: 1" = 40'</p>	<p>DRAWN: J.BAKER</p>	<p>PROJECT: AVX-001</p>
<p>SHEET: C7.2</p>	<p>DESIGNED: J.PALM</p>	<p>CHECKED: L. CLASSON</p>
<p>48 HOURS BEFORE DIGGING CALL TOLL FREE 811 or 1-800-432-4770 SUNSHINE STATE ONE CALL CENTER</p>		



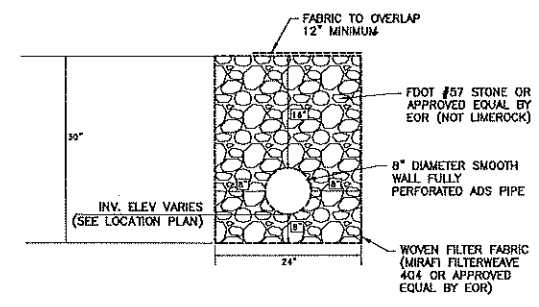
5 TYPE 5 & 6 INLETS
N.T.S.



6 OVERFLOW WEIR CROSS SECTION
N.T.S.



7 SKIMMER FOR OVERFLOW WEIR
N.T.S.



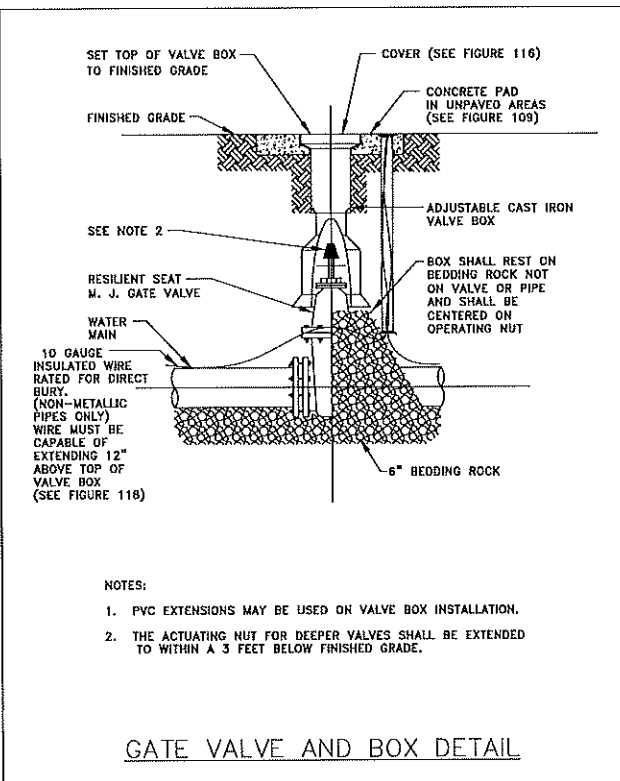
8 PROPOSED GROUNDWATER INTERCEPTOR DRAIN
LOCATED AT CENTERLINE OF 10 FOOT WIDE TRENCH
N.T.S.

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CALL TOLL FREE
811 or 1-800-432-4770
SUNSHINE STATE ONE CALL CENTER

<p>CIVIL ENGINEERING LAND PLANNING</p> <p>APPIAN ENGINEERING LLC.</p> <p>APPIAN.COM - 407.960.5868</p> <p>2221 Lee Road, Suite 17, Weston, FL, 32793</p>	<p>DRAINAGE DETAILS</p> <p>FINAL DEVELOPMENT PLAN</p> <p>BRIDLEWOOD SUBDIVISION</p> <p>CITY OF APOPKA, FLORIDA</p>	<p>SCALE: N.T.S.</p> <p>PROJECT: AYX-001</p> <p>SHEET: C9.1</p>	<p>DATE: 02/12/2018</p> <p>CHECKED: L. CLASSON</p> <p>DESIGNED: J. PALM</p> <p>DRAWN: J. BAKER</p>
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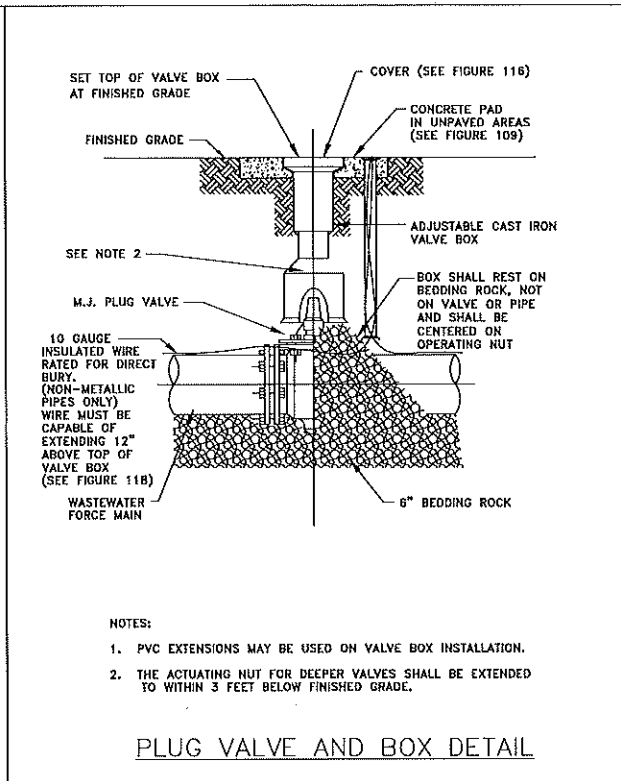
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P:\PROJECT DRAWINGS\AVX-001 Equestrian Center (P-17089)\Drawing\CAD Civil3D\LAYOUT\04 - Final Development Plan (FDP) Utility Details.dwg Modified: 5/18/2018 By: jpcim



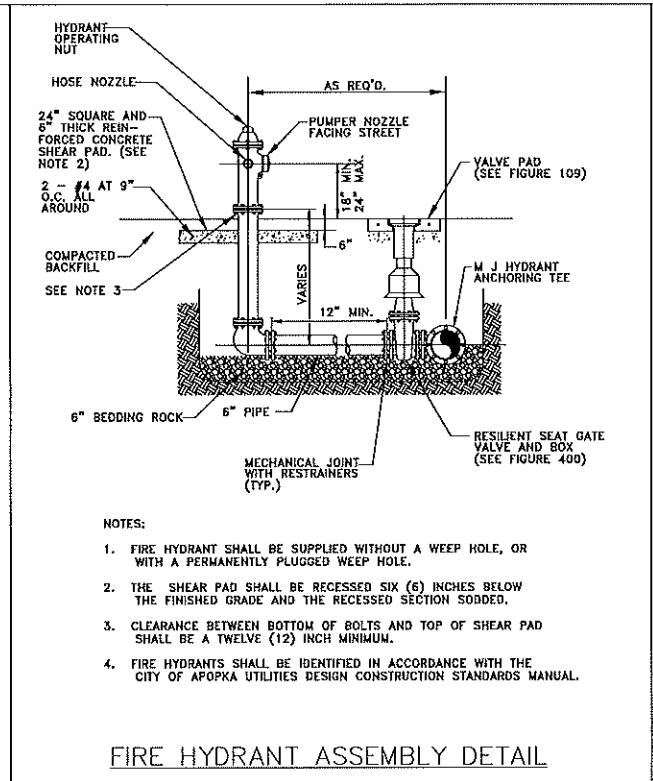
- NOTES:
1. PVC EXTENSIONS MAY BE USED ON VALVE BOX INSTALLATION.
 2. THE ACTUATING NUT FOR DEEPER VALVES SHALL BE EXTENDED TO WITHIN A 3 FEET BELOW FINISHED GRADE.

GATE VALVE AND BOX DETAIL



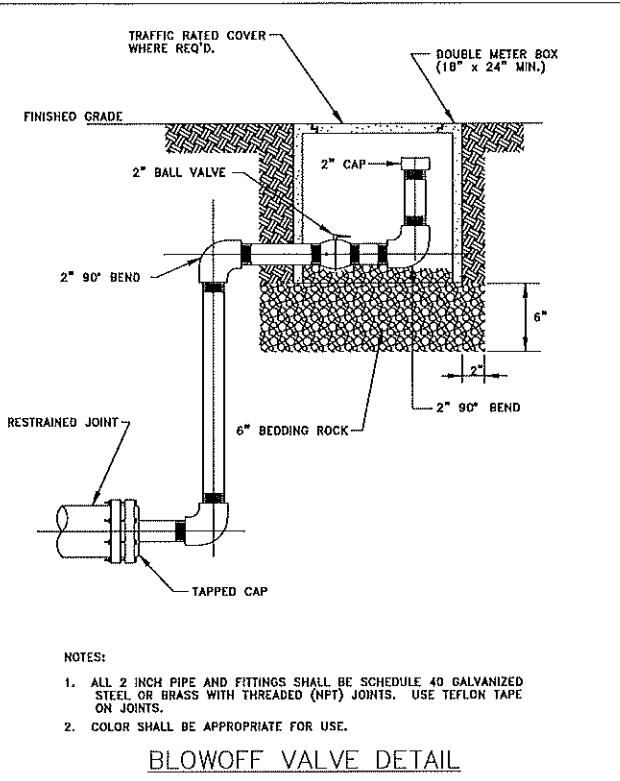
- NOTES:
1. PVC EXTENSIONS MAY BE USED ON VALVE BOX INSTALLATION.
 2. THE ACTUATING NUT FOR DEEPER VALVES SHALL BE EXTENDED TO WITHIN 3 FEET BELOW FINISHED GRADE.

PLUG VALVE AND BOX DETAIL



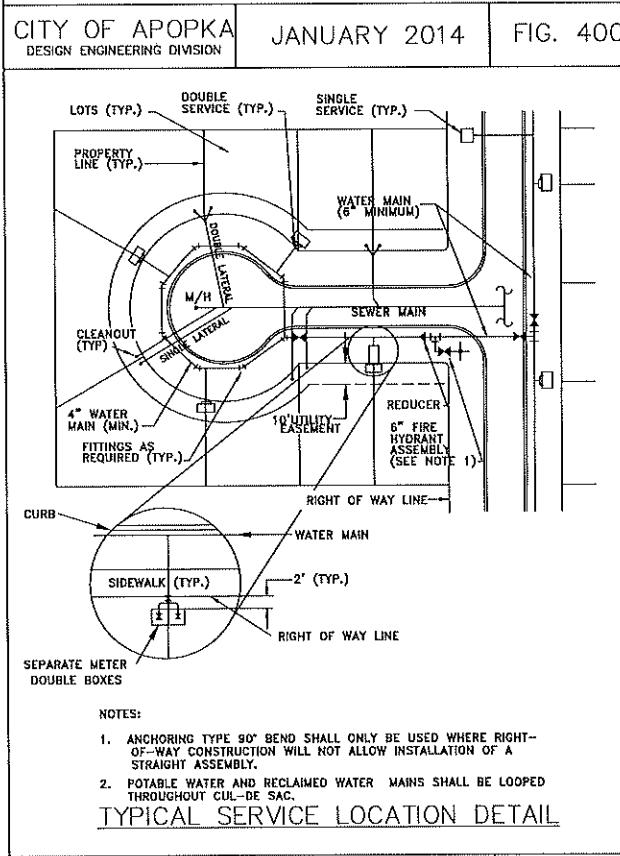
- NOTES:
1. FIRE HYDRANT SHALL BE SUPPLIED WITHOUT A WEEP HOLE, OR WITH A PERMANENTLY PLUGGED WEEP HOLE.
 2. THE SHEAR PAD SHALL BE RECESSED SIX (6) INCHES BELOW THE FINISHED GRADE AND THE RECESSED SECTION SODDED.
 3. CLEARANCE BETWEEN BOTTOM OF BOLTS AND TOP OF SHEAR PAD SHALL BE A TWELVE (12) INCH MINIMUM.
 4. FIRE HYDRANTS SHALL BE IDENTIFIED IN ACCORDANCE WITH THE CITY OF APOPKA UTILITIES DESIGN CONSTRUCTION STANDARDS MANUAL.

FIRE HYDRANT ASSEMBLY DETAIL



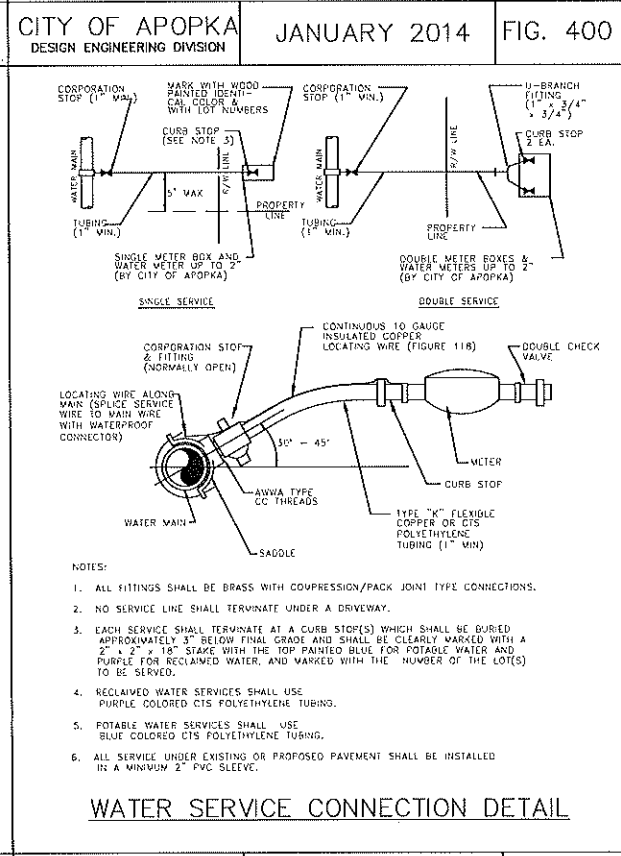
- NOTES:
1. ALL 2 INCH PIPE AND FITTINGS SHALL BE SCHEDULE 40 GALVANIZED STEEL OR BRASS WITH THREADED (NPT) JOINTS. USE TEFLON TAPE ON JOINTS.
 2. COLOR SHALL BE APPROPRIATE FOR USE.

BLOWOFF VALVE DETAIL



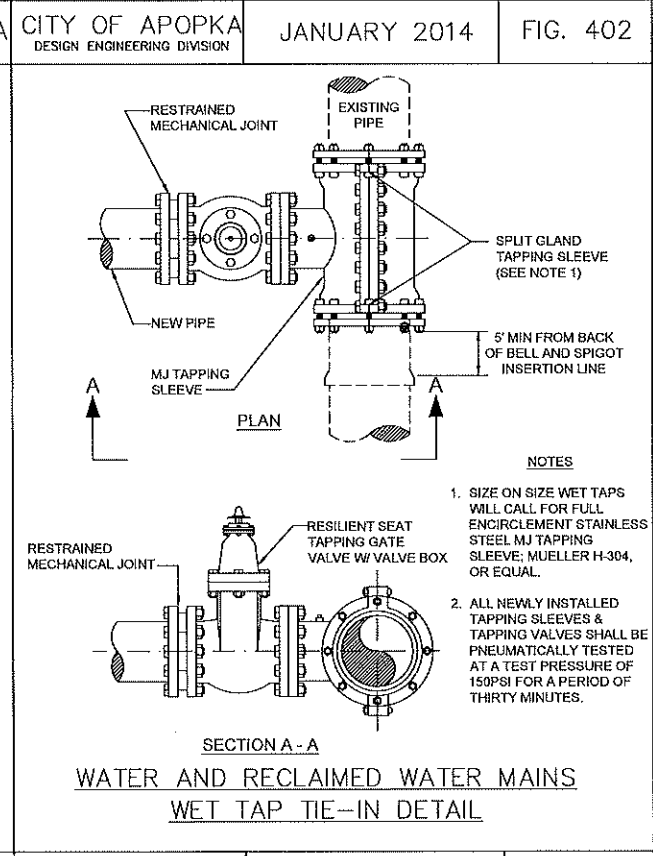
- NOTES:
1. ANCHORING TYPE 90° BEND SHALL ONLY BE USED WHERE RIGHT-OF-WAY CONSTRUCTION WILL NOT ALLOW INSTALLATION OF A STRAIGHT ASSEMBLY.
 2. POTABLE WATER AND RECLAIMED WATER MAINS SHALL BE LOOPED THROUGHOUT CUL-DE-SAC.

TYPICAL SERVICE LOCATION DETAIL



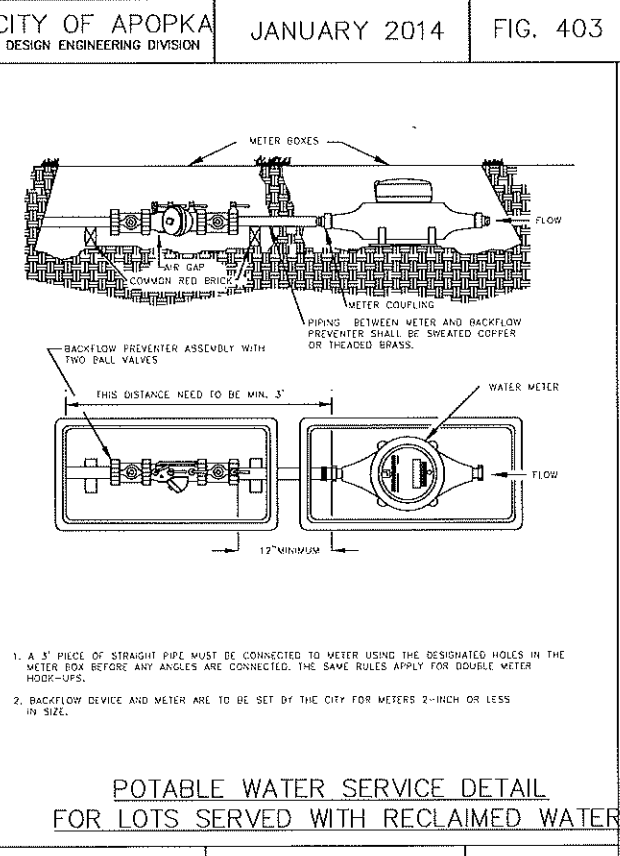
- NOTES:
1. ALL FITTINGS SHALL BE BRASS WITH COMPRESSION/PACK JOINT TYPE CONNECTIONS.
 2. NO SERVICE LINE SHALL TERMINATE UNDER A DRIVEWAY.
 3. EACH SERVICE SHALL TERMINATE AT A CURB STOP(S) WHICH SHALL BE CURBED APPROXIMATELY 3\"/>
 - 4. RECLAIMED WATER SERVICES SHALL USE PURPLE COLORED CIS POLYETHYLENE TUBING.
 - 5. POTABLE WATER SERVICES SHALL USE BLUE COLORED CIS POLYETHYLENE TUBING.
 - 6. ALL SERVICE UNDER EXISTING OR PROPOSED PAVEMENT SHALL BE INSTALLED IN A MINIMUM 2\"/>

WATER SERVICE CONNECTION DETAIL



- NOTES:
1. SIZE ON SIZE WET TAPS WILL CALL FOR FULL ENCIRCLED STAINLESS STEEL MJ TAPPING SLEEVE; MUELLER H-304, OR EQUAL.
 2. ALL NEWLY INSTALLED TAPPING SLEEVES & TAPPING VALVES SHALL BE PNEUMATICALLY TESTED AT A TEST PRESSURE OF 150PSI FOR A PERIOD OF THIRTY MINUTES.

SECTION A-A
WATER AND RECLAIMED WATER MAINS
WET TAP TIE-IN DETAIL



1. A 3\"/>
- 2. BACKFLOW DEVICE AND METER ARE TO BE SET BY THE CITY FOR METERS 2-INCH OR LESS IN SIZE.

POTABLE WATER SERVICE DETAIL
FOR LOTS SERVED WITH RECLAIMED WATER

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 400

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 400 A

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 402

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 403

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 404

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 405

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 406

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 505

REV	DATE	DESCRIPTION
1	02/14/18	CITY OF APOPKA COMMENTS DATED 02/14/18
2	02/14/18	REVISED PER COMMENTS

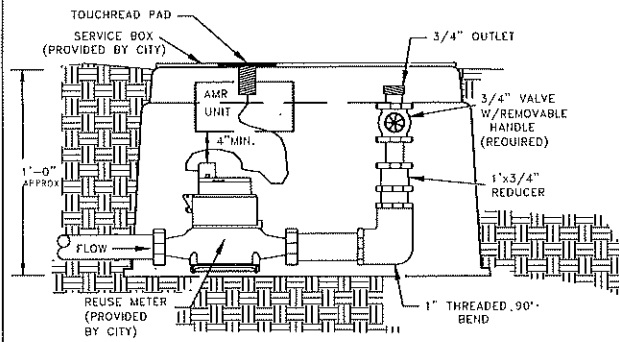
CIVIL ENGINEERING | LAND PLANNING
APPIAN ENGINEERING LLC.
APPIANENGINEERING.COM • 407.960.5868
2201 LAW ROAD, SUITE 17, WINTER HAVEN, FLORIDA 33780

POTABLE & RECLAIMED WATER DETAILS
FINAL DEVELOPMENT PLAN
BRIDLEWOOD SUBDIVISION
CITY OF APOPKA, FLORIDA

SCALE: N.T.S.
PROJECT: AVX-001
SHEET: C10.0

DATE: 02/12/2018

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811 or 1-800-432-4770
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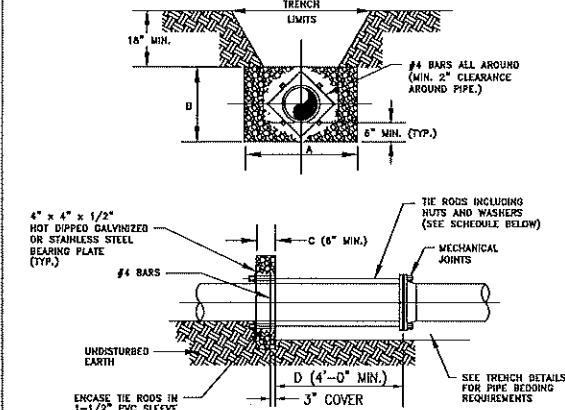


RECLAIMED WATER SERVICE CONNECTION
(FOR SERVICES W/O AN IRRIGATION SYSTEM)

	PIPE SIZE										
	6"	8"	10"	12"	16"	18"	20"	24"	30"	36"	48"
90° BEND	33	43	51	60							
45° BEND	14	18	22	25							
22-1/2° BEND	7	9	11	12							
11-1/4° BEND	4	5	6	6							
TEE**	1	7	24	44							
REDUCER (ONE SIZE SMALLER)	41	39	40								
DEAD END	74	96	115	136							

- * ONLY RESTRAIN BRANCH PIPE FOR TEES. ONLY RESTRAIN LARGER PIPE FOR REDUCERS
** LENGTH ALONG RUN ASSUMED TO BE 18'
- NOTES:
- FITTINGS SHALL BE DUCTILE IRON RESTRAINED JOINT TYPE. FM FITTINGS TO BE LINED WITH PROTECTO 401.
 - INSTALL FULL LENGTHS OF PIPE WITH TOTAL LENGTH CONTAINING ONLY RESTRAINED JOINTS EQUAL TO OR GREATER THAN LENGTH SHOWN IN TABLE.
 - WHERE TWO OR MORE FITTINGS ARE TOGETHER, USE FITTING WHICH YIELDS GREATEST LENGTH OF RESTRAINED PIPE.
 - IN LINE VALVES AND THROUGH RUN OF TEES OUTSIDE LIMITS OF RESTRAINED JOINTS FROM OTHER FITTINGS NEED NOT BE RESTRAINED UNLESS OTHERWISE INDICATED.
 - LENGTHS SHOWN IN THE TABLE HAVE BEEN CALCULATED IN ACCORDANCE WITH THE PROCEDURE OUTLINED IN "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" AS PUBLISHED BY DIPRA, FOR PVC WITH THE FOLLOWING ASSUMPTIONS:
TYPE OF PIPE: PVC
WORKING PRESSURE: 150 P.S.I.**
SOIL DESIGNATION: SAND/SILT
LAYING CONDITIONS: 3
** FM = 100 P.S.I. / WM OR RWM = 150 P.S.I.
 - FOR PIPE ENCASED IN POLYETHYLENE INCREASE THE GIVEN VALUE BY A FACTOR OF 1.5.
 - VALUES NOT LISTED IN THE TABLE TO BE COMPLETED BY THE ENGINEER.

RESTRAINED PIPE TABLE (PVC)



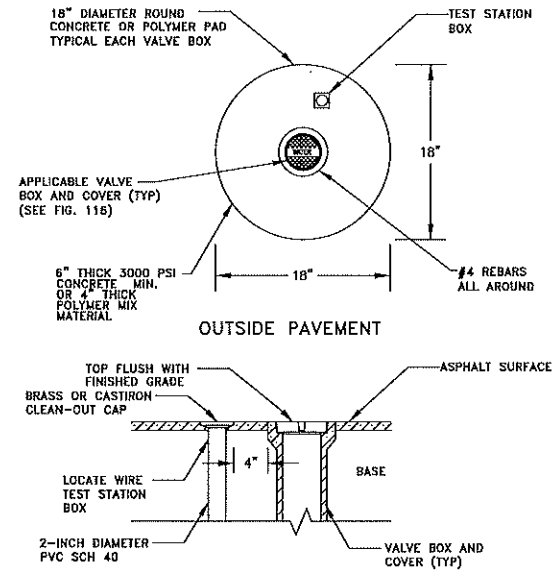
NOTES:

- ADDITIONAL REINFORCEMENTS SHALL BE AS SPECIFIED BY THE ENGINEER.
- MINIMUM COMPRESSIVE STRENGTH FOR CONCRETE SHALL BE 2800 P.S.I.
- BEDDING, BACKFILL, AND COMPACTION SHALL BE AS SPECIFIED ELSEWHERE IN THE STANDARD DRAWINGS.
- ALL FORM BOARDS SHALL BE REMOVED PRIOR TO BACKFILL.
- NO ALLOWANCE SHALL BE MADE FOR FRICTION BETWEEN THE PIPE WALL AND THE THRUST COLLAR.
- DESIGN PRESSURE: 150 P.S.I.

PIPE SIZE (INCHES)	DIMENSIONS (FT.)				TIE ROD SIZE
	A	B	C	D	
6	2.0	3.0	1.0	3/4	3
8	2.0	2.5	1.0	3/4	4
10	2.0	3.0	1.0	3/4	4
12	2.0	3.0	1.0	3/4	4
18	2.0	4.0	1.5	3/4	4
24	2.0	5.0	1.5	3/4	4
30	2.0	6.0	1.5	3/4	4
36	2.0	6.0	1.5	3/4	4

NOTE: THRUST BLOCK AREA TO BE COMPUTED ON BASIS OF 3000 LBS. PER SQ. FT. FOR BEDDING. (SEE NOTE 5 TO BE COMPLETED BY ENGINEER.)

WATER MAIN THRUST COLLAR DETAIL



VALVE BOX
VALVE IDENTIFICATION TAG TO BE INSTALLED BY CITY & PAID FOR BY DEVELOPER

CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 506

CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 105

CITY OF APOPKA
DESIGN ENGINEERING DIVISION

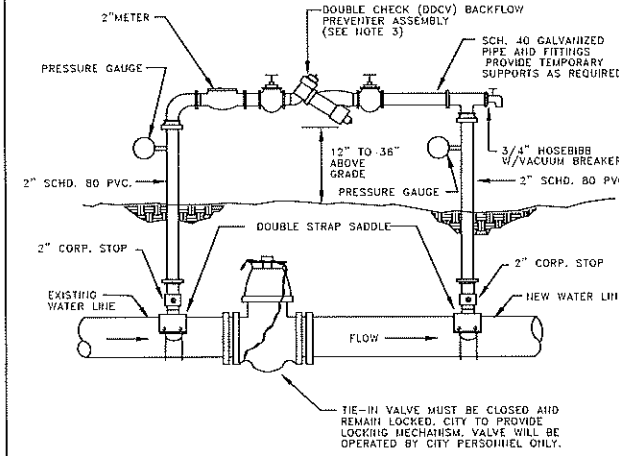
JANUARY 2014

FIG. 107

CITY OF APOPKA
DESIGN ENGINEERING DIVISION

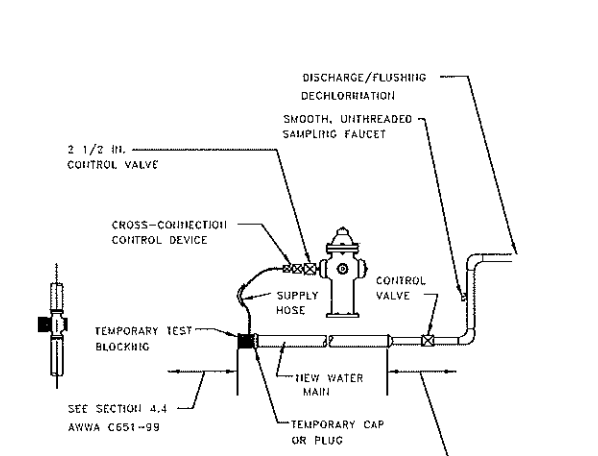
JANUARY 2014

FIG. 109



- NOTE:
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS, ASSEMBLY, AND THE INSTALLATION OF THE DEVICE.
 - SEE FIGURE 504C FOR PROCEDURES.
 - DDCV IS MINIMUM PROTECTION REQUIRED. A RPZ DEVICE MAY BE REQUIRED DEPENDENT ON PROJECT. PROVIDE COPY OF LATEST CERTIFICATION TEST RESULTS.

TEMPORARY JUMPER CONNECTION



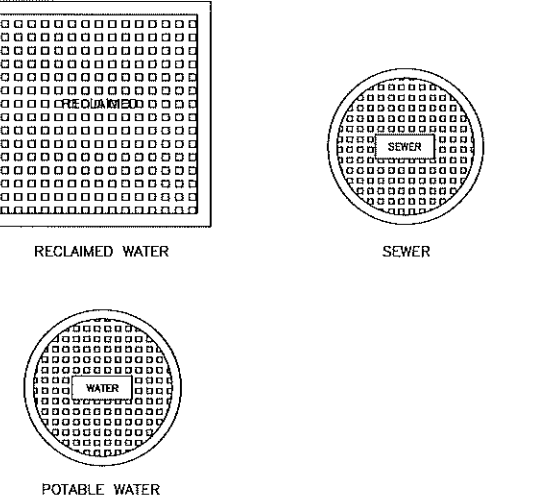
- NOTE:
- SEE FIGURE 504C FOR PROCEDURES.

TEMPORARY JUMPER CONNECTION FROM FIRE HYDRANT

TEMPORARY JUMPER CONNECTION NOTES:

- A temporary jumper connection is required of all connections between existing active water mains and proposed new water main improvements.
- Figures 504 A and 504 B to be used for filling any new water main of any size from existing active water mains and for flushing of new mains up to 8 inches in diameter (2.5 FPS minimum velocity) and for pulling bacteriological samples from any new water main of any size. The jumper connection shall be maintained until after flushing, testing and distribution of the new main has been successfully completed and cleared for use from the Florida Department of Environmental Protection (FDEP) and other pertinent agencies have been received. The jumper connection shall also be used to maintain a minimum pressure of 20 psi in the new mains after distribution and until the FDEP clearance letter is obtained. Throat blocking and/or restraints shall be provided temporarily, as required. Pipe and fittings used for connecting the new pipe to the existing pipe shall be disinfected prior to installation in accordance with AWWA C651, 2005 edition. The tapping sleeve and the exterior of the meter to be tapped shall be disinfected by spraying or swabbing per section II of AWWA C651-05.
- Flushing of 10 inches in diameter and larger water mains may be done through the tie-in valve under very controlled conditions. The following procedures shall be followed:
 - The tie-in valve shall be opened and pressure tested in the presence of the City engineer to verify water tightness prior to tie-in. Valves which are not water tight shall be replaced with a new valve installed immediately adjacent to the existing valve.
 - The temporary jumper connection shall be constructed as detailed. The jumper connection shall be used to fill the new water main and for providing water for bacteriological sampling of the new main as required by the FDEP permit.
 - Flushing shall not be attempted during peak demand hours of the existing water mains.
 - All downstream valves in the system must be open prior to opening the tie-in valve.
 - Provide for and monitor the pressure in the tie-in point. The pressure in the existing main must not drop below 30 psi.
 - The tie-in valve shall be opened a few turns only, ensuring a pressure drop across the valve is greater than 10 psi.
 - The tie-in valve shall be closed by the City personnel with flushing bagles.
 - The tie-in valve shall be opened only for flushing of the new main. The procedure shall be directed by the City and observed by the engineer.
 - After flushing, the tie-in valve shall be closed and locked in the closed position by the City personnel.
- The contractor shall provide documentation demonstrating that the double check backflow prevention device has been tested and is in good working order at the time of installation.
- Except as required to flush lines of greater than 8 inches in diameter, the tie-in valve shall remain closed and shall be locked in the closed position by the City. The tie-in valve shall remain locked closed until the new system has been cleared for use by FDEP and all other pertinent agencies.
- Upon receipt of clearance for use from FDEP and all other pertinent agencies, the contractor shall remove the temporary jumper connection. The corporation slope are to be closed and plugged with 2 inch brass pipe.
- All installation and maintenance of the temporary jumper connection and associated backflow prevention device, fittings, valve, etc. shall be the responsibility of the contractor.

PROCEDURES FOR TEMPORARY JUMPER CONNECTION



TYPICAL VALVE BOX COVER DETAILS

CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 504 A

CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 504 B

CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 504 C

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DESIGN ENGINEERING DIVISION

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FIG. 116

CIVIL ENGINEERING & LAND PLANNING
APPIAN ENGINEERING LLC.
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2201 Lake Road, Suite 17, Winter Park, Florida 32789

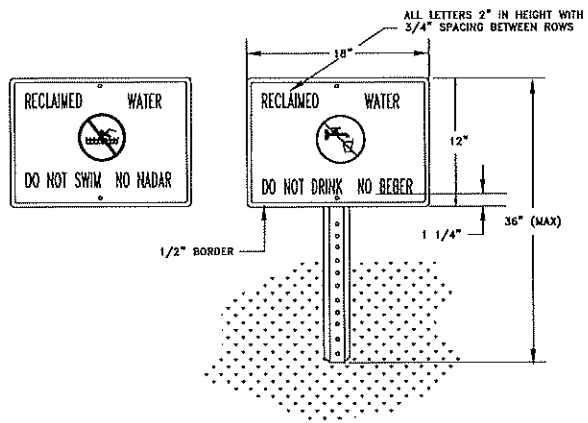
POTABLE & RECLAIMED WATER DETAILS
FINAL DEVELOPMENT PLAN
BRIDLEWOOD SUBDIVISION
CITY OF APOPKA, FLORIDA

SCALE: N.T.S.
PROJECT: AVX-001
SHEET: C10.1

DATE: 02/12/2018

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FLORIDA STATE ONE CALL CENTER

52118



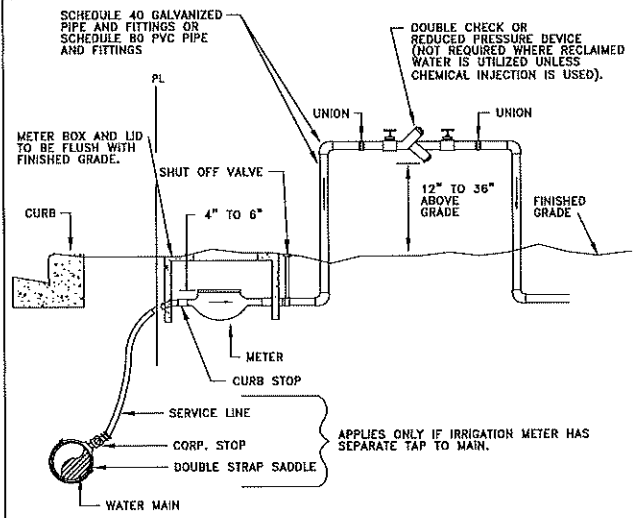
- NOTES:
- HEIGHT OF SIGN WILL DEPEND ON LOCATION AND SURROUNDING LANDSCAPE PLANT TYPES. IN ALL CASES, THE SIGN SHALL BE VISIBLE TO THE PUBLIC.
 - BACKGROUND SHALL BE WHITE, LETTERS AND FIGURES SHALL BE BLACK. PROHIBITIVE SYMBOL SHALL BE RED.
 - ENGINEERING GRADE REFLECTIVE MATERIALS SHALL BE USED.
 - POST SHALL BE U CHANNEL 12 FT, 2 LB. HOT ROLLED HIGH TENSILE RAIL OR BILLET STEEL, HOT DIP GALVANIZED PER ASTM A-123.
 - MOUNTING HARDWARE SHALL BE STAINLESS STEEL.
 - SIGNS SHALL BE PLACED BY THE CONTRACTOR IN ACCORDANCE WITH THE CITY APPROVED ENGINEERING PLANS AND/OR AS APPROVED BY PUBLIC SERVICES DEPARTMENT.

RECLAIMED WATER ADVISORY SIGN

CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 115



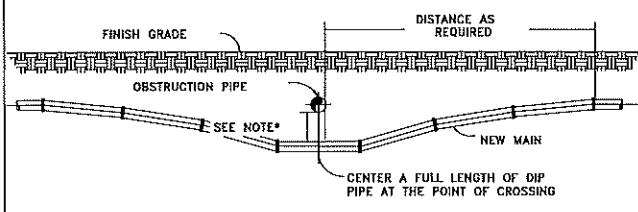
- NOTES:
- A POSITIVE DIELECTRIC CONNECTION SHALL BE MADE BETWEEN ALL GALVANIZED AND BRASS COMPONENTS.
 - METER SHALL BE INSTALLED JUST INSIDE THE ROW LINE OR PROPERTY LINE AND IN NO CASE SHALL IT BE INSTALLED IN THE SIDEWALK OR OTHER PAVED AREAS.
 - DOUBLE CHECK VALVES MAY BE USED AS LONG AS THEIR ARE NO CHEMICALS OR A WELL ON SITE.
 - A PVB DEVICE SHALL BE 12-INCHES MINIMUM ABOVE HIGHEST OUTLET OR SPRAYHEAD.
 - ALL BACKFLOW PREVENTION DEVICES ARE TO BE AWWA APPROVED.

IRRIGATION METER AND DOUBLE CHECK VALVE OR REDUCED PRESSURE BACKFLOW PREVENTER

CITY OF APOPKA
DESIGN ENGINEERING DIVISION

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FIG. 502



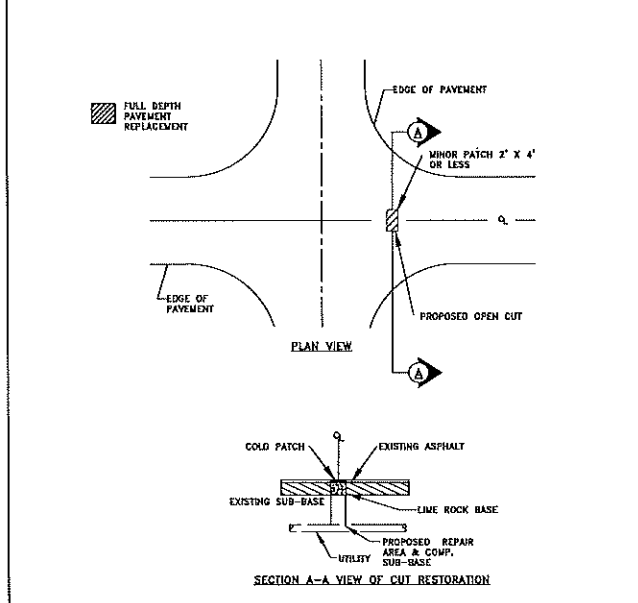
- NOTES:
- 18" MINIMUM CLEARANCE FOR WATER, SEWER AND RECLAIMED WATER MAIN CROSSINGS
 - 12" MINIMUM CLEARANCE REQUIRED FOR OTHER TYPE UTILITY CROSSINGS.
 - SEE ENCASUREMENT DETAIL IF MINIMUM CLEARANCE CANNOT BE OBTAINED.
- CONSTRUCT UNIFORM PIPE DEFLECTION NOT TO EXCEED 75% OF MANUFACTURER RECOMMENDED MAXIMUM DEFLECTION PER PIPE JOINT

UTILITY CROSSING PIPE DEFLECTION DETAIL

CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 117



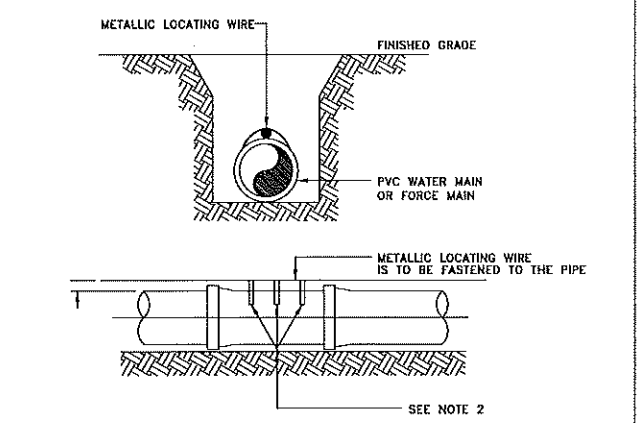
- NOTE:
- PROCTOR OF THE LIME ROCK MUST BE PROVIDED
 - DENSITIES TO BE PROVIDED BY GEOTECHNICAL ENGINEER.

OPEN-CUT DETAIL - MINOR PATCH

CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2015

FIG. 700



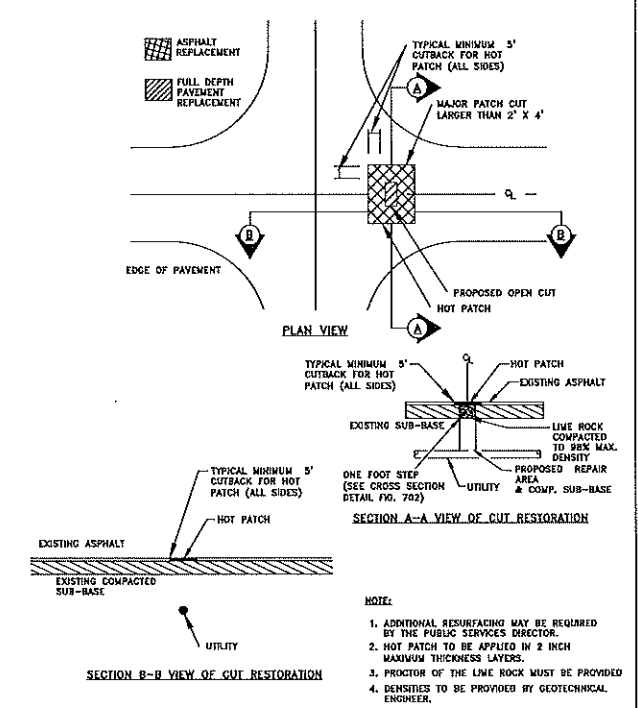
- NOTES:
- PVC PIPE SHALL REQUIRE INSULATED METALLIC LOCATING WIRE (10 AWG-SOLID CCS REINFORCED TRACER WIRE-INSULATED 30 MIL HDPE - 30 VOLT MFG. BY COPPERHEAD INDUSTRIES, LLC OR EQUAL) CAPABLE OF DETECTION BY A CABLE LOCATOR.
 - SHALL BE BURIED DIRECTLY ABOVE THE CENTERLINE OF THE PIPE AND ATTACHED WITH DUCT TAPE OR NYLON STRAPS AT 3 LOCATIONS PER JOINT. LOCATING WIRE SHALL TERMINATE AT THE TEST STATION BOX AS SHOWN IN FIG. 109.
 - BE CAPABLE OF EXTENDING 12" ABOVE TOP OF TEST STATION BOX IN SUCH A MANNER SO AS NOT TO INTERFERE WITH VALVE OPERATION.
 - SPLICES SHOULD BE MADE USING STANDARDS AND PRODUCTS DESIGNED FOR DIRECT BURIAL CONDUCTORS.
 - WIRE INSULATION SHALL BE COLOR CODED FOR THE TYPE OF PIPE BEING INSTALLED.

PVC PIPE LOCATING WIRE DETAIL

CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 118

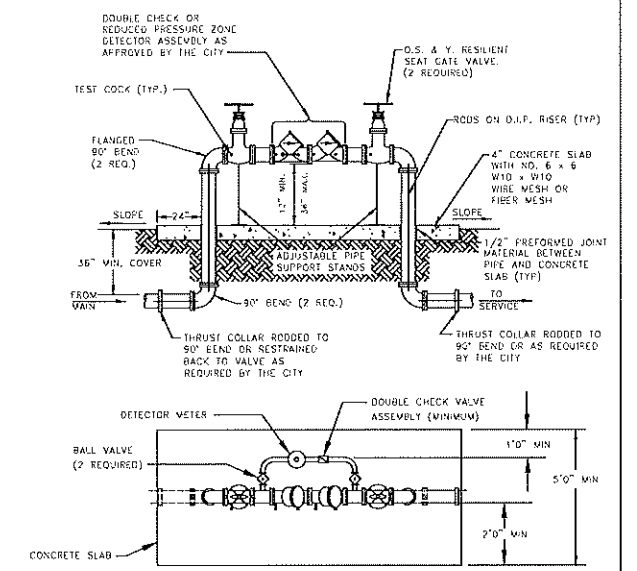


OPEN-CUT DETAIL - MAJOR PATCH

CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2015

FIG. 701



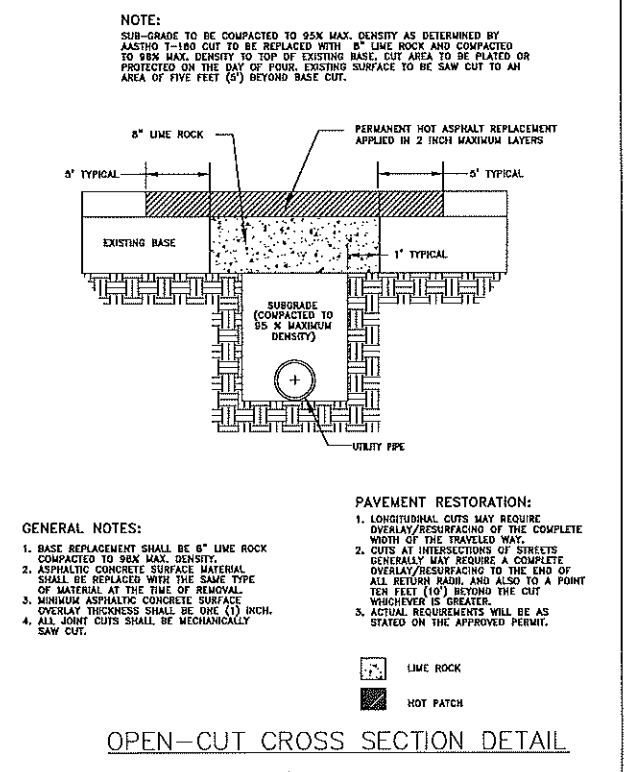
- NOTES:
- BYPASS METER MUST MEET AWWA STANDARD C700 OR C701.
 - METER MUST MEET AWWA STANDARD C707 AND TRANSMITTER MUST BE COMPATIBLE WITH THE CITY'S AMR SYSTEM.
 - ALL PIPE FITTINGS, MATERIALS, LABORS, AND APPURTENANCES SHALL BE SUPPLIED BY THE CONTRACTOR.
 - ALL PIPE AND FITTINGS TWO (2) INCHES AND SMALLER SHALL BE THREADED SCHEDULE 40 GALVANIZED STEEL, OR BRASS.

ABOVE GROUND DEVICE WITH DETECTOR BY-PASS
2 INCH AND ABOVE ASSEMBLY

CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 500 B



OPEN-CUT CROSS SECTION DETAIL

CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2015

FIG. 702

REV	DATE	DESCRIPTION
A	05/14/18	CITY OF APOPKA COMMENTS DATED 05/14/18
B		
C		
D		
E		
F		
G		
H		
I		
J		
K		
L		
M		
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Q		
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X		
Y		
Z		

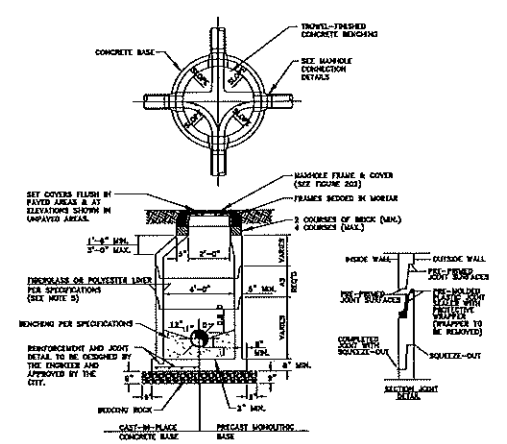
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 APPIAN.COM - 407.960.5868
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SCALE	N.T.S.
DRAWN	J-BANKER
DESIGNED	J-PALM
CHECKED	L. CLASSON
DATE	02/12/2018
PROJECT	AVX-001
SHEET	C10.2

POTABLE & RECLAIMED WATER DETAILS
 FINAL DEVELOPMENT PLAN
 BRIDLEWOOD SUBDIVISION
 CITY OF APOPKA, FLORIDA

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P:\PROJECT DRAWINGS\AVX-001-Equestrian Center (P-17088)\Drawings\CAD\Civil\04 - Final Development Plan (FDP)\Utility Details.dwg Modified: 5/18/2018 By: bjm



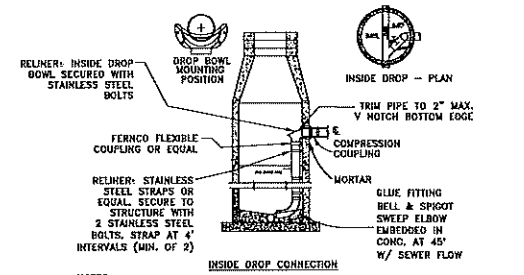
FORCE MAIN MANHOLE LINER*				
DIAMETER (INCHES)	HEIGHT (FEET)	MATERIAL	MANUFACTURER	
48	3-6	7-12	11-17	
60				
72				

* TO BE COMPLETED BY THE ENGINEER

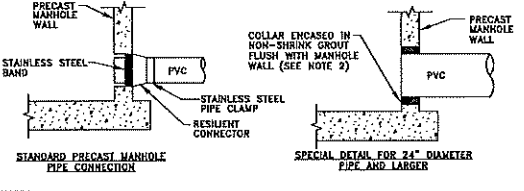
- NOTES:
- MANHOLE SHOWN IS FOR SEWER SIZE 8" THRU 24". SEE SECTION 20.4 OF THE MANUAL FOR MANHOLE DIAMETER FOR SEWERS LARGER THAN 24".
 - DROP CONNECTIONS ARE REQUIRED WHENEVER INVERT OF INFLUENT SEWER IS 24" OR MORE ABOVE THE INVERT OF THE MANHOLE. SEE MANHOLE CONNECTION DETAILS.
 - THE THICKNESS OF THE LINER SHALL BE 3/8" MINIMUM.
 - EACH BENCH WALL SHALL BE A MINIMUM OF 18 INCHES LONG FROM THE WALL OF THE MANHOLE TOWARD THE CENTER.
 - SANITARY SEWER MANHOLES MAY BE REQUIRED TO BE LINED IN ACCORDANCE WITH THE CITY OF APOPKA LIST OF APPROVED MATERIALS AND PRODUCTS AS DIRECTED BY THE CITY.

TYPICAL MANHOLE

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2015 FIG. 200



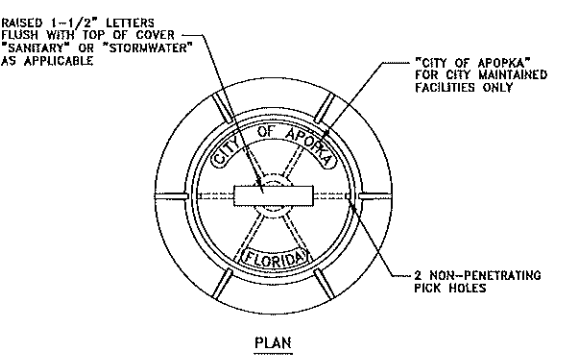
- NOTES:
- ALL INSIDE DROP CONNECTIONS FOR SERVICES AND COLLECTOR SEWERS SHALL USE THE DROP BOWL AS PRODUCED BY: RELINER-DURAN, INC. 53 MT. ARCHER RD. LYME, CT 06371 (800)454-0277 FAX: (860)434-3195 OR EQUAL.
 - SECURE DROP PIPE TO MANHOLE WALL WITH RELINER-DURAN, INC STAINLESS STEEL ADJUSTABLE CLAMPING BRACKETS.
 - FORCE MAIN RECEIVING MANHOLES MAY BE REQUIRED TO BE LINED IN ACCORDANCE WITH THE CITY OF APOPKA LIST OF APPROVED MATERIALS AND PRODUCTS AS DIRECTED BY THE CITY.



- NOTES:
- DROP PIPE AND FITTINGS SHALL BE OF EQUAL SIZE AND MATERIAL AS THE INFLUENT SEWER.
 - THE CITY MAY APPROVE ALTERNATE WATER TIGHT CONNECTION DETAILS FOR CONNECTION OF 24" DIAMETER PIPES AND LARGER.
 - AN INSIDE DROP CONNECTION SHALL BE REQUIRED FOR ALL INFLUENT WHICH HAVE AN INVERT 24" OR MORE ABOVE THE OUTFLOW PIPE INVERT.
 - CONCRETE TO BE MINIMUM OF 3000 PSI.

MANHOLE CONNECTION DETAILS

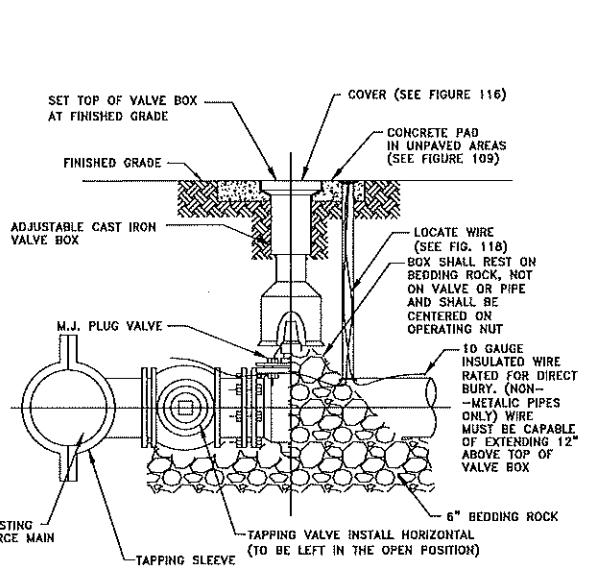
CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2015 FIG. 201



- NOTES:
- MANHOLE FRAME AND COVER ARE TO BE TRAFFIC BEARING RATED H-20, CLASS 30 MEETING ASTM A 48.

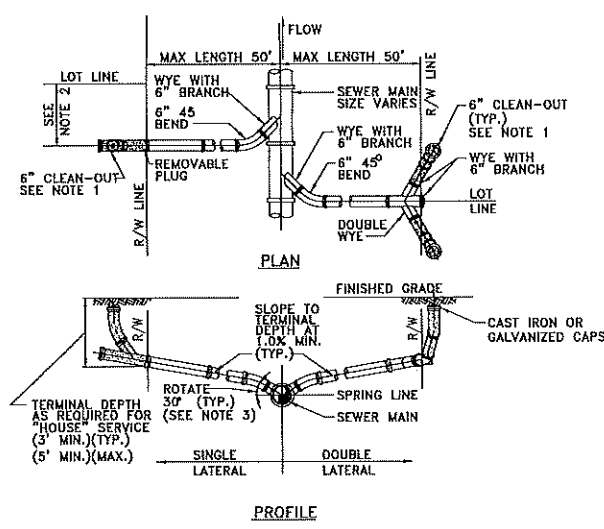
STANDARD MANHOLE FRAME AND COVER

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 202



FORCE MAIN WET TAP TIE-IN DETAIL

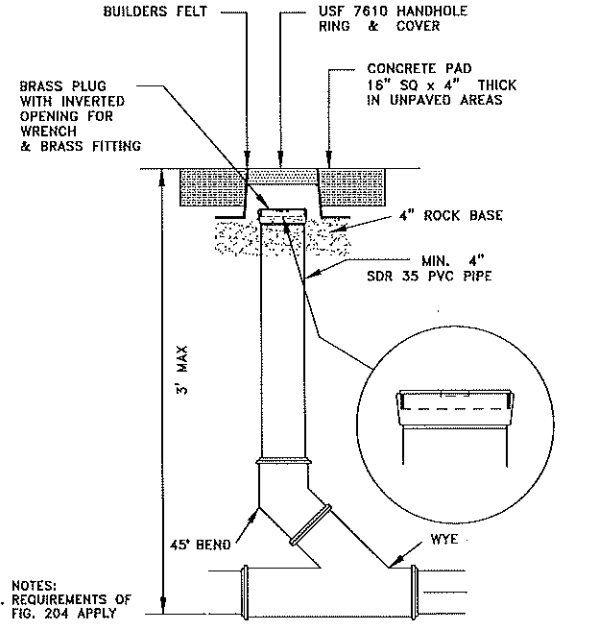
CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 206



- NOTES:
- CLEAN-OUT (SHOWN SHADED) SHALL BE INSTALLED BY THE BUILDER IN ACCORDANCE WITH STANDARD PLUMBING CODE.
 - LOCATE SINGLE LATERAL AS CLOSE TO LOT LINE AS POSSIBLE.
 - INVERT OF SERVICE LATERAL SHALL NOT ENTER SEWER MAIN BELOW SPRING LINE.
 - RESIDENTIAL SERVICES SHALL BE 4 INCHES & NON-RESIDENTIAL SERVICES SHALL BE 6 INCHES IN DIAMETER AS A MINIMUM.
 - GALVANIZED OR CAST IRON CLEAN-OUT CAP SHALL BE USED ON THE STUBOUT FOR EACH SERVICE.
 - LATERAL SHALL BE MARKED WITH AN "S" STAMPED OR CUT IN THE CURB.

SERVICE LATERAL DETAIL

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 204



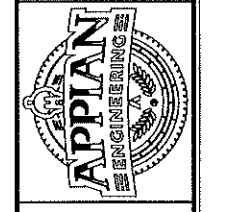
SANITARY SEWER SERVICE TRAFFIC RATED CLEAN-OUT DETAIL

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 205

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APPIAN ENGINEERING LLC.
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 APPIAN.COM • 407.960.5868
 DATE: 05/14/18 CITY OF APOPKA COMMENTS DATED 05/14/18

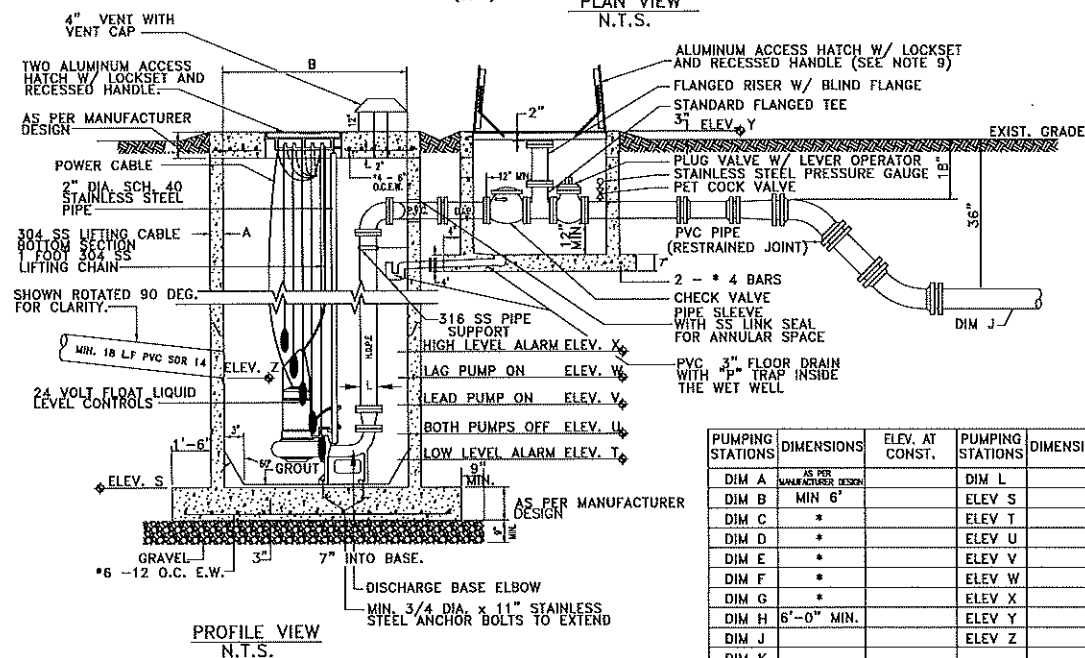
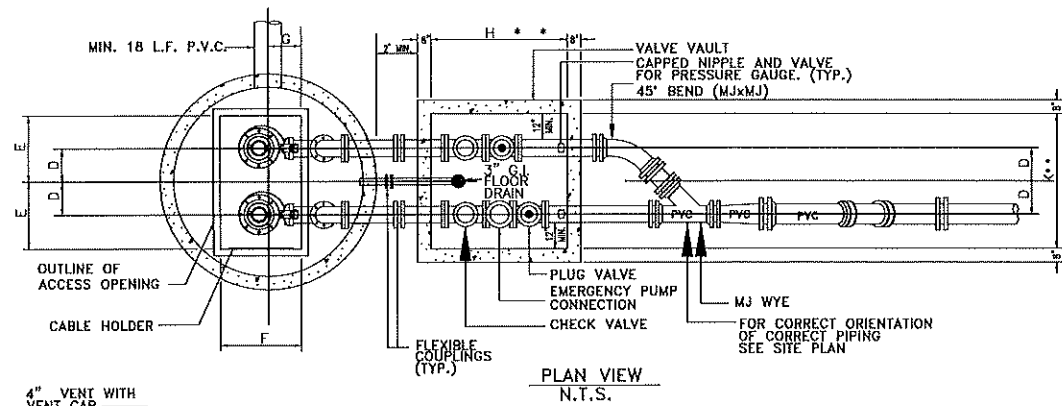
SANITARY SEWER DETAILS
 FINAL DEVELOPMENT PLAN
 BRIDLEWOOD SUBDIVISION
 CITY OF APOPKA, FLORIDA

SCALE	N.T.S.
PROJECT	AVX-001
SHEET	C10.3
DATE	02/12/2018



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PUMPING STATIONS	DIMENSIONS	ELEV. AT CONST.	PUMPING STATIONS	DIMENSIONS	ELEV. AT CONST.
DIM A	AS PER MANUFACTURER DESIGN		DIM L		
DIM B	MIN 6'		ELEV S		
DIM C	*		ELEV T		
DIM D	*		ELEV U		
DIM E	*		ELEV V		
DIM F	*		ELEV W		
DIM G	*		ELEV X		
DIM H	6'-0" MIN.		ELEV Y		
DIM J			ELEV Z		
DIM K					

* PER PUMP MANUFACTURERS REQUIREMENT

GENERAL NOTES:

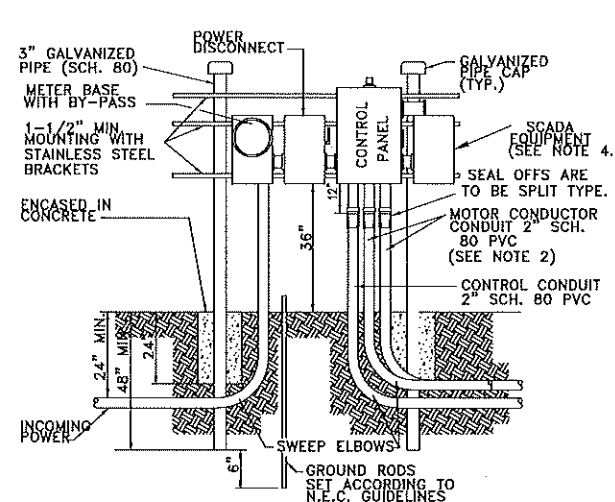
- VALVE VAULT AND WET WELL LIDS SHALL BE COATED WITH 1 COAT OF TNEC SERIES 66, COLOR ENOS, (2-3 MILS), FOLLOWED BY TOP COAT OF TNEC SERIES 73, COLOR ENOS, (2-3 MILS) OR EQUAL.
- THE WET WELL SHALL BE CONSTRUCTED OF FIBERGLASS REINFORCED POLYESTER (RFP) AND MANUFACTURED FROM COMMERCIAL GRADE POLYESTER RESIN OR VINYL ESTER RESIN, WITH FIBERGLASS REINFORCEMENTS. THE WET WELL SHALL BE A ONE PIECE UNIT AND MANUFACTURED BY L.F. MANUFACTURE, INC. OR EQUAL.
- IN LIEU OF RFP THE WET WELL MAY BE CONSTRUCTED OF PRECAST CONCRETE HAVING A MINIMUM WALL THICKNESS OF 8 INCHES. THE INTERIOR WALLS SHALL BE LINED USING A HIGH DENSITY POLYETHYLENE PRODUCT AS MANUFACTURED BY AGRU SURE GRIP, OR EQUAL.
- PIPING IN THE WET WELL TO BE HDPE WITH FUSED 45 DEGREE FITTINGS FROM WET WELL TO VALVE VAULT.
- INTERIOR OF THE VALVE VAULT AND PIPING IN THE VALVE VAULT WITH ConSed CS-55 (OR EQUAL), TWO COATS, 4 MILS EACH. PIPING SHALL BE COATED AFTER INSTALLATION.
- VALVE VAULT SHALL BE SIZED TO PERMIT EASY REMOVAL OF CHECK VALVE SPINDLES WITH MINIMUM CLEARANCES AS SHOWN FOR 6" DIAMETER PIPE AND SMALLER. CLEARANCES SHALL INCREASE AS REQUIRED FOR LARGER PIPE SIZES.
- VALVE VAULT SHALL HAVE SEALED FLOOR AND DRAIN.
- ALL LOCATIONS WHERE PIPES ENTER OR LEAVE THE WET WELL OR VALVE VAULT SHALL BE MADE WATERTIGHT WITH WALL SLEEVE AND STAINLESS STEEL LINK SEAL.
- THERE SHALL BE NO VALVES OR ELECTRICAL JUNCTION BOXES IN WET WELL.
- WET WELL AND VALVE VAULT COVERS SHALL BE ALUMINUM WITH 316 S.S. HARDWARE LOCK BRACKET, SIZE AS REQUIRED BY PUMP MANUFACTURER AND APPROVED BY THE CITY.
- FLEXIBLE COUPLING SHALL BE SLEEVE TYPE, EPOXY COATED.
- PUMPS SHALL BE:
MANUFACTURER: XYLEM ; MODEL: HP 3127 SH 248 ; DIA: 155 MM ; SPEED: 3510 RPM ; DISCHARGE SIZE: 3.13 IN.;
VOLTAGE: 460v ; HZ.: 60 ; PHASE: 3 ; H.P.: 11 ; MIN. SOLID SIZE: 3.0 IN.
- OPERATING CONDITIONS SHALL BE 77 GPM AT 139 FEET TDH.
- ALL HARDWARE IN WET WELL AND VALVE BOX TO BE 316 STAINLESS STEEL.
- "P" TRAP TO BE INSTALLED IN WET WELL.
- ALL PUBLIC LIFT STATIONS SHALL BE EQUIPPED WITH SCADA SYSTEM. THE DEVELOPER SHALL PAY THE CITY COST OF THE UNIT. THE CITY WILL BE RESPONSIBLE FOR INSTALLATION.
- ALL LIFT STATIONS SHALL BE FENCED WITH DECORATIVE STONE OR BRICK OR AS DIRECTED BY THE CITY.
- ALL LIFT STATIONS SHALL HAVE A 10 FEET WIDE CONCRETE DRIVEWAY, 35' LONG FROM EDGE OF WET WELL TO BACK OF CURB.
- ENGINEER SHALL PROVIDE A SCALED (1" = 20' MIN.) SITE SPECIFIC DETAIL.

PUMP STATION DETAIL

CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

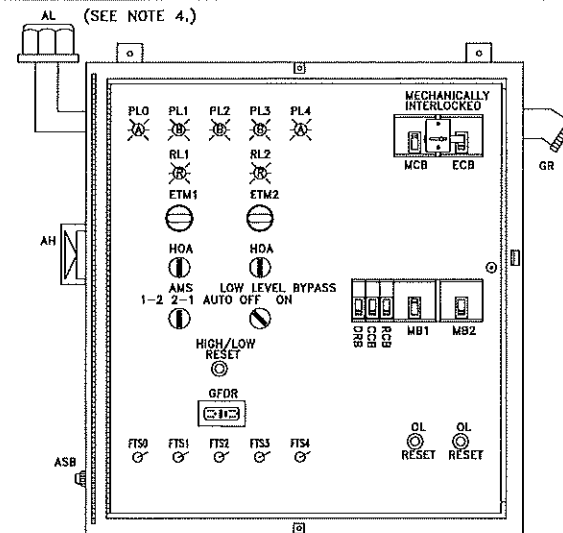
FIG. 301



- NOTES:
- DRAWING IS SHOWN FOR 230 VOLT POWER SUPPLY. THE LOCATION OF METER AND MAIN POWER DISCONNECT SHALL BE REVERSED FOR 480 VOLT SUPPLY.
 - WHEN TWO (2) SEPARATE CONDUCTOR-TYPE MOTORS ARE USED, CONDUIT SHALL BE INCREASED TO THREE (3) INCH.
 - POWER SUPPLY SHALL BE UNDERGROUND TO THE PUMP STATION AND SHALL BE THREE (3) PHASE FROM A THREE (3) PHASE SOURCE ONLY.
 - STUB OUT UNISTRUT LONG ENOUGH TO ACCOMMODATE A 24"x24" SCADA EQUIPMENT CABINET. CITY TO INSTALL SCADA EQUIPMENT CABINET.

DUPLEX PUMP STATION CONTROL PANEL INSTALLATION DETAIL

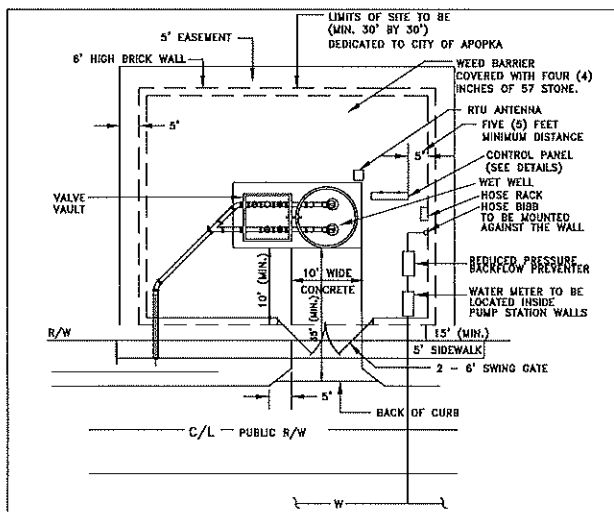
CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 302



- NOTES:
- OUTER DOOR REMOVED TO SHOW DEADFRONT LAYOUT. NEMA TYPE 3R 304 S.S. ENCL. WITH CONTINUOUS HINGE. ALL HARDWARE STAINLESS STEEL. TYPICAL, ACTUAL LAYOUT MAY VARY WITH HORSEPOWER.
 - SERIES 3 (Q-FRAME) CIRCUIT BREAKERS
 - GENERATOR OUTLET FOR 230V - PYLE NATIONAL MODEL JRE4100/480V - CROUSE HINDS MODEL AR 2042.
 - THE HEIGHT OF THE ALARM LIGHT WILL NEED TO BE MADE VISIBLE FROM OUTSIDE THE LIFT STATION.

DUPLEX PUMP STATION CONTROL PANEL FRONT LAYOUT

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 303



- NOTES:
- DRIVEWAY AND APRON SHALL BE SIX (6) INCH THICK, 3000 P.S.I. CONCRETE. WITH NO. 6XB WIRE MESH OR FIBER MESH.
 - POWER TO THE PUMP STATION SHALL BE THROUGH UNDERGROUND CONDUIT FROM SUPPLY SOURCE IN RIGHT-OF-WAY.
 - GATE TO BE DECORATIVE BLACK POWDER COATED ALUMINUM W/PICKET SPACING = OR < 4"
 - WALLS ARE TO BE BRICK OR DECORATIVE STONE.
 - WET WELL LID MUST OPEN TOWARD CONTROL PANEL (HINGE SIDE TOWARD PANEL).
 - LIFT STATION WALL TO BE PLACED AT LEAST 15FT. BEHIND THE R/W LINE.

PUMP STATION TYPICAL SITE PLAN

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 300

CONTROL PANEL AND ELECTRICAL INFORMATION IS FOR CONCEPTUAL PURPOSES. LIFT STATION MANUFACTURER IS REQUIRED TO PROVIDE SIGNED AND SEALED DRAWINGS FROM AN ELECTRICAL ENGINEER FOR CONTROL PANEL AND ELECTRICAL SPECIFICATIONS. THE ENGINEER OF RECORD'S SIGNATURE AND SEAL ON THIS SHEET IS ONLY FOR THE CIVIL ENGINEERING PORTION.

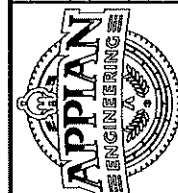
- NOTES:
- CONTRACTOR TO GRADE LIFT STATION SITE SUCH THAT WET WELL AND VALVE VAULT ARE A MIN OF 3" ABOVE SURROUNDING GRADE ELEVATION. ALSO, DRAINAGE IS SLOPED AWAY FROM THESE STRUCTURES.
 - THE ELECTRICAL DETAILS ARE SHOWN FOR CONCEPTUAL PURPOSES ONLY AND THE SUPPLIER SHALL PROVIDE FINAL SIGNED & SEALED DRAWINGS FOR ALL ELECTRICAL WORK.
 - CONTRACTOR TO VERIFY ELECTRICAL SERVICE PHASE, CURRENT AND VOLTAGE AVAILABILITY AND INCLUDE VERIFICATION OF SUCH IN SHOP DRAWING SUBMITTAL PRIOR TO PURCHASE AND/OR INSTALLATION OF PUMP AND CORRELATED ELECTRICAL LIFT STATION COMPONENTS.

REV.	DATE	DESCRIPTION
1	01/14/14	ISSUE FOR PERMITS
2	01/14/14	ISSUE FOR PERMITS
3	01/14/14	ISSUE FOR PERMITS
4	01/14/14	ISSUE FOR PERMITS
5	01/14/14	ISSUE FOR PERMITS
6	01/14/14	ISSUE FOR PERMITS
7	01/14/14	ISSUE FOR PERMITS
8	01/14/14	ISSUE FOR PERMITS
9	01/14/14	ISSUE FOR PERMITS
10	01/14/14	ISSUE FOR PERMITS
11	01/14/14	ISSUE FOR PERMITS
12	01/14/14	ISSUE FOR PERMITS
13	01/14/14	ISSUE FOR PERMITS
14	01/14/14	ISSUE FOR PERMITS
15	01/14/14	ISSUE FOR PERMITS
16	01/14/14	ISSUE FOR PERMITS
17	01/14/14	ISSUE FOR PERMITS
18	01/14/14	ISSUE FOR PERMITS
19	01/14/14	ISSUE FOR PERMITS
20	01/14/14	ISSUE FOR PERMITS
21	01/14/14	ISSUE FOR PERMITS
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24	01/14/14	ISSUE FOR PERMITS
25	01/14/14	ISSUE FOR PERMITS
26	01/14/14	ISSUE FOR PERMITS
27	01/14/14	ISSUE FOR PERMITS
28	01/14/14	ISSUE FOR PERMITS
29	01/14/14	ISSUE FOR PERMITS
30	01/14/14	ISSUE FOR PERMITS

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APPIAN ENGINEERING LLC.
APPANEL.COM - 407.960.5868
2221 Low Road, Suite 17, Winter Park, Florida 32789
STATE OF FLORIDA LICENSE NO. 00000000000000000000

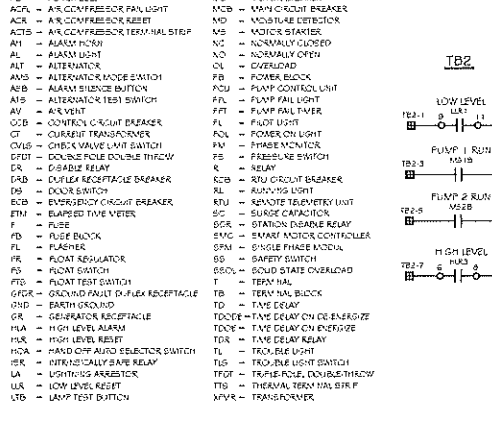
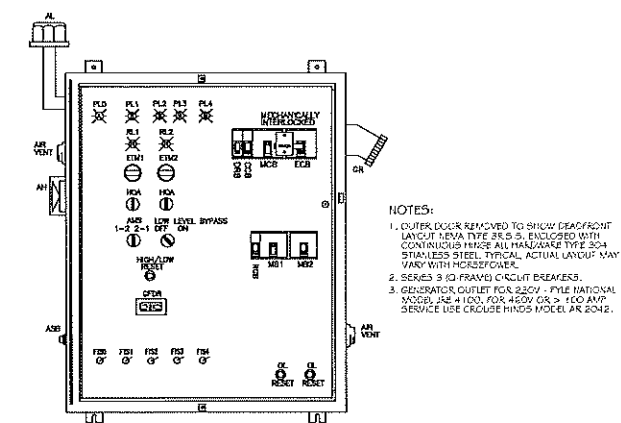
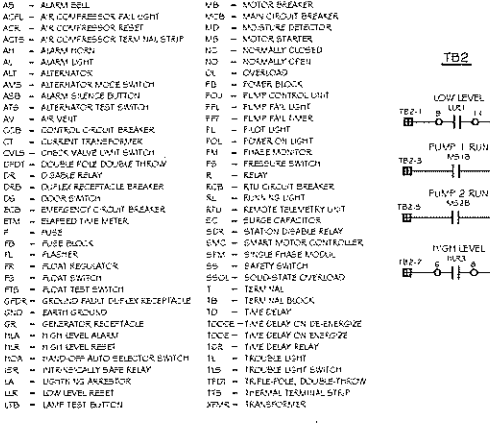
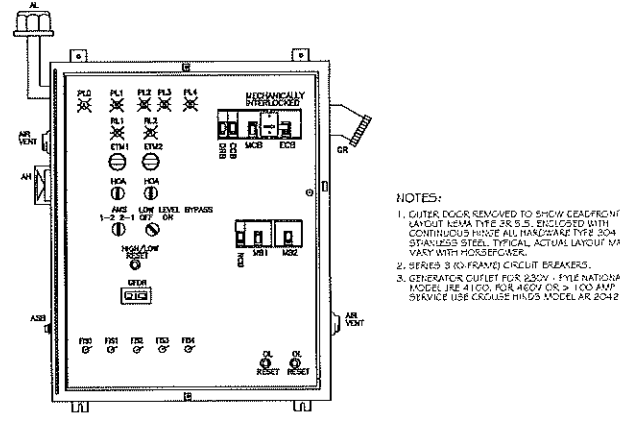
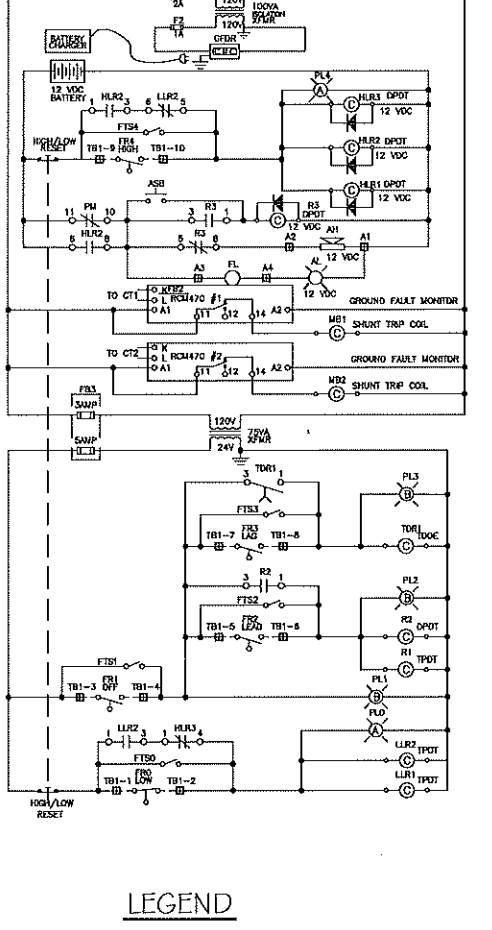
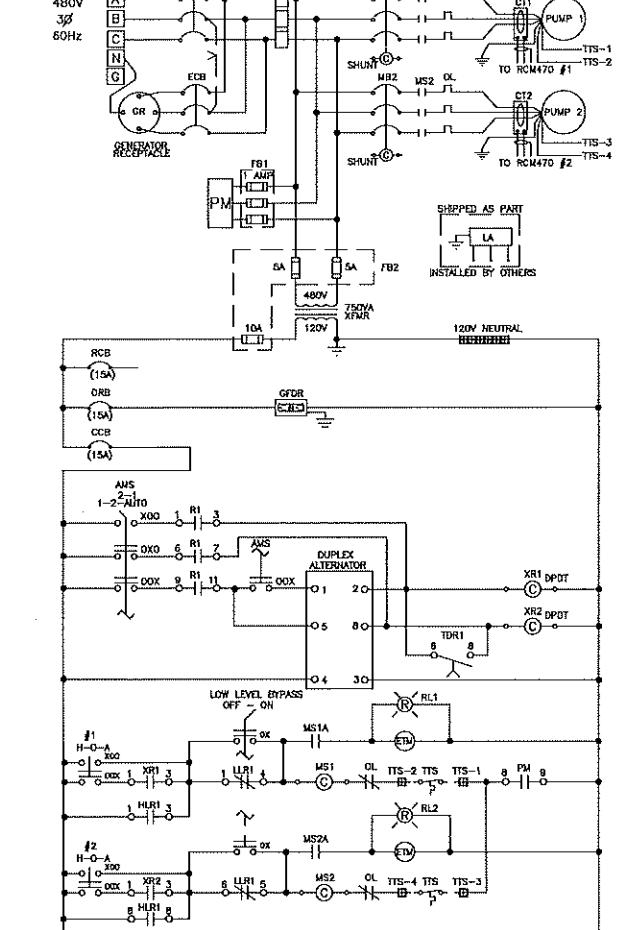
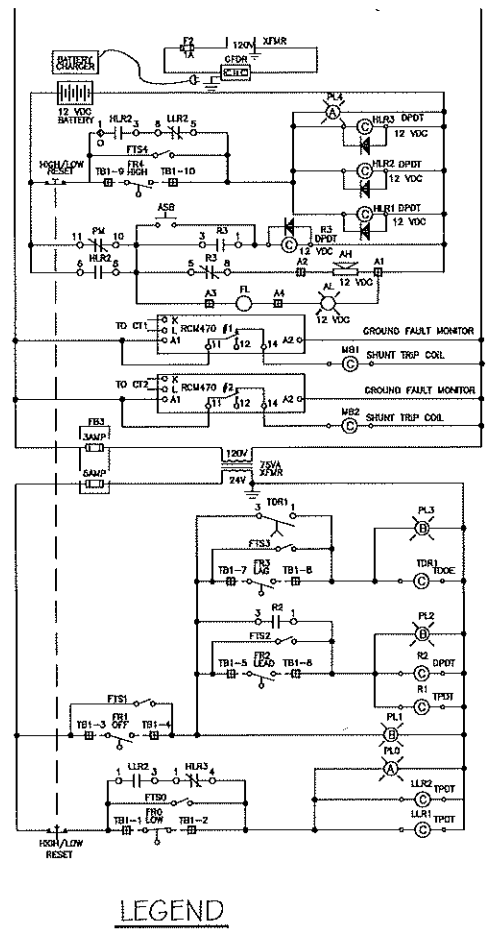
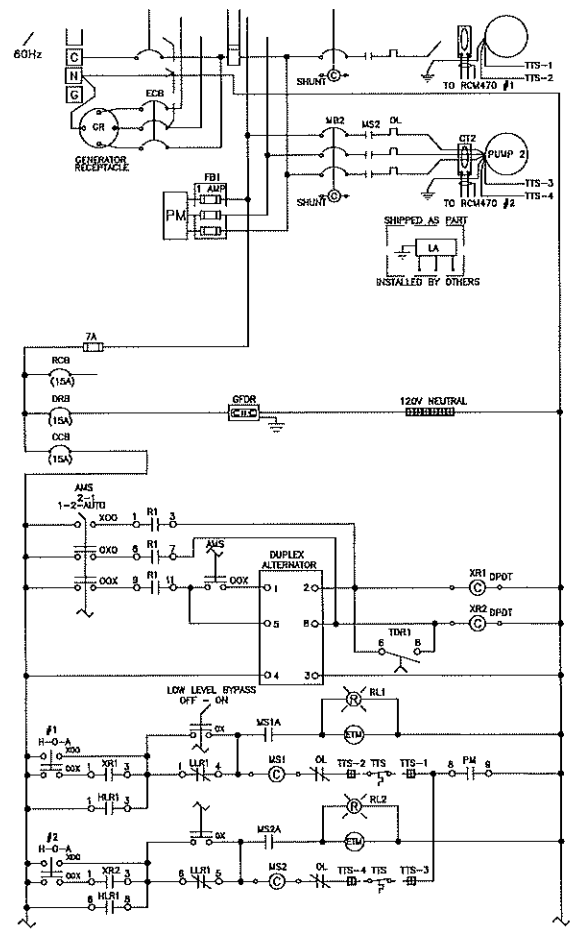
LIFTSTATION DETAILS
FINAL DEVELOPMENT PLAN
BRIDLEWOOD SUBDIVISION
CITY OF APOPKA, FLORIDA

SCALE	N.T.S.
PROJECT	AVX-001
SHEET	C11.0
DATE	02/12/2018



48 HOURS BEFORE DIGGING
CALL TOLL FREE
811 or 1-800-432-4770
FLORIDA STATE ONE CALL CENTER

P:\PROJECT DRAWINGS\AVX-001 Equitration Center (P-17089)\Drawings\CAD Cml\3D Layouts\04 - Final Development Plan (FDP) Lift Station Details.dwg Modified: 4/16/2016 By: pdm



DUPLEX PUMP CONTROL PANEL
GENERAL LAYOUT & SCHEMATIC
(230V-3PH)
WITH GENERATOR RECEPTACLE

DUPLEX PUMP CONTROL PANEL
GENERAL LAYOUT & SCHEMATIC
(480V-3PH)
WITH GENERATOR RECEPTACLE

CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014 FIG. 305 A

CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014 FIG. 305 C

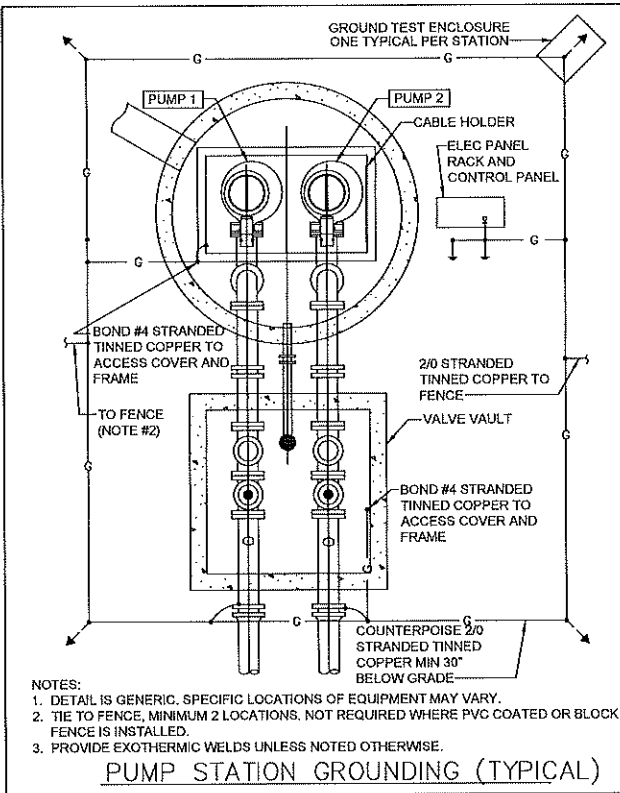
CONTROL PANEL AND ELECTRICAL INFORMATION IS FOR CONCEPTUAL PURPOSES. LIFT STATION MANUFACTURER IS REQUIRED TO PROVIDE SIGNED AND SEALED DRAWINGS FROM AN ELECTRICAL ENGINEER FOR CONTROL PANEL AND ELECTRICAL SPECIFICATIONS. THE ENGINEER OF RECORD'S SIGNATURE AND SEAL ON THIS SHEET IS ONLY FOR THE CIVIL ENGINEERING PORTION.

NOTES:
1. CONTRACTOR TO GRADE LIFT STATION SITE SUCH THAT WET WELL AND VALVE VAULT ARE A MIN OF 3" ABOVE SURROUNDING GRADE ELEVATION. ALSO, DRAINAGE IS SLOPED AWAY FROM THESE STRUCTURES.
2. THE ELECTRICAL DETAILS ARE SHOWN FOR CONCEPTUAL PURPOSES ONLY AND THE SUPPLIER SHALL PROVIDE FINAL SIGNED DRAWINGS FOR ALL ELECTRICAL WORK.
3. CONTRACTOR TO VERIFY ELECTRICAL SERVICE PHASE SEQUENCE AND VOLTAGE AVAILABILITY AND INCLUDE VERIFICATION OF SUCH DATA IN SUBMITTAL PRIOR TO PURCHASE AND/OR INSTALLATION OF PUMP AND CORRELATED ELECTRICAL LIFT STATION COMPONENTS.

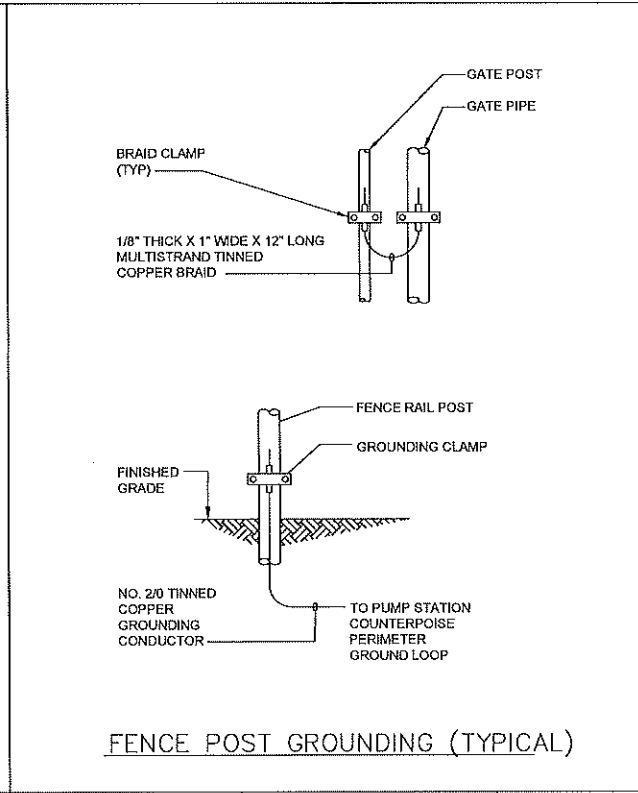
48 HOURS BEFORE DIGGING
CALL TOLL FREE
811 or 1-800-432-4770
FLORIDA STATE ONE CALL CENTER

SCALE	N.T.S.	PROJECT	AVX-001	CHECKED	L. CLASSON	DATE	02/12/2016
DRAWN	J. BAKER	DESIGNED	J. PALM	DATE	02/12/2016	C11.1	
<p>CIVIL ENGINEERING LAND PLANNING</p> <p>APPIAN ENGINEERING LLC.</p> <p>APPIAN.ENG.COM • 407.560.5668</p> <p>2221 Lee Road, Suite 17, Weston Park, Ft. Worth, Texas 76098</p>							
<p>LIFT STATION DETAILS</p> <p>FINAL DEVELOPMENT PLAN</p> <p>BRIDEWOOD SUBDIVISION</p> <p>CITY OF APOPKA, FLORIDA</p>							

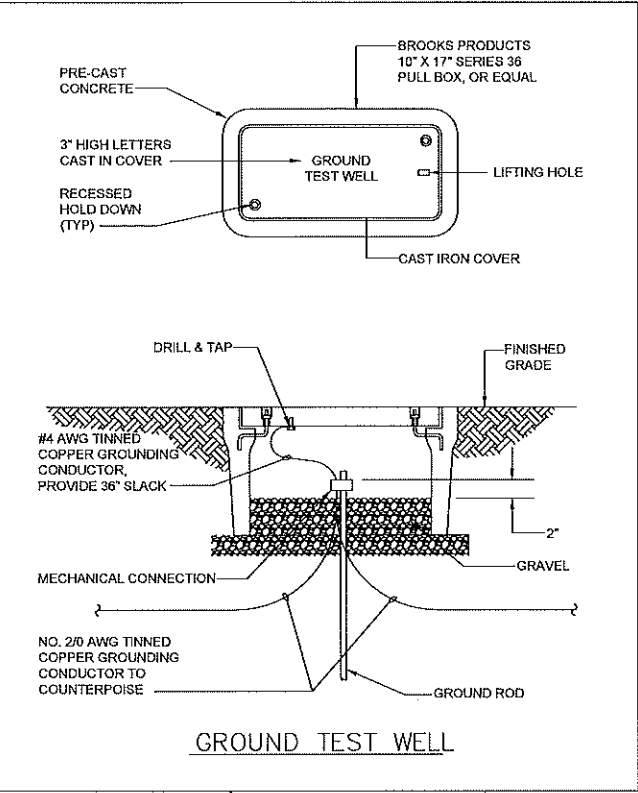
P:\PROJECT DRAWINGS\10-01 Equestrian Center (P-17089)\Drawings\CAD\Civil\13\Layouts\04 - Final Development Plan (PDP)\Lift Station Details.dwg Modified: 4/16/2018 By: bolm



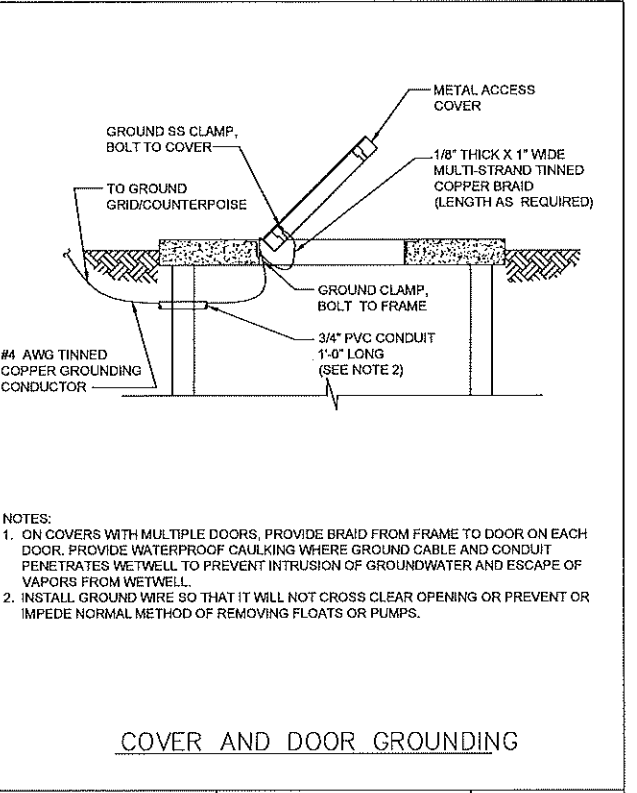
CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 307



CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 307 A

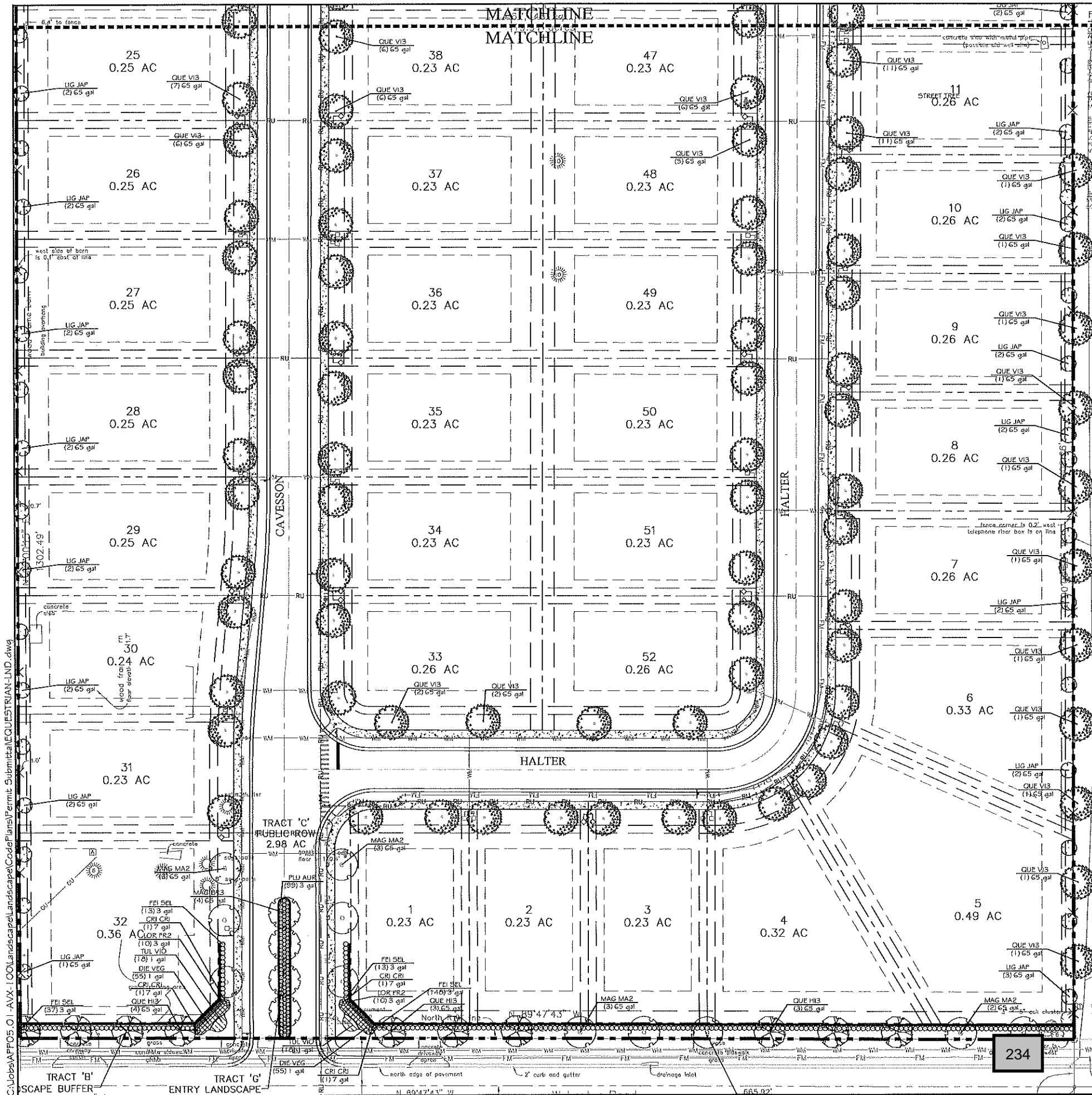


CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 307 B



CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 307 C

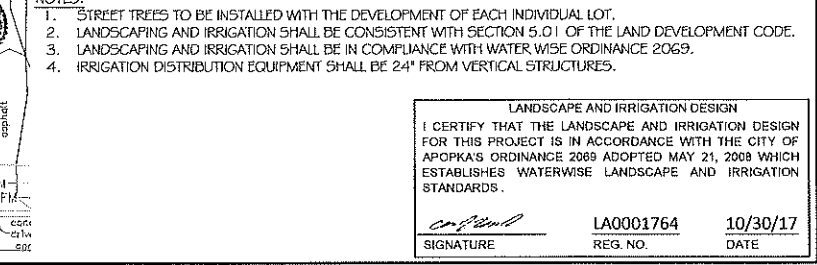
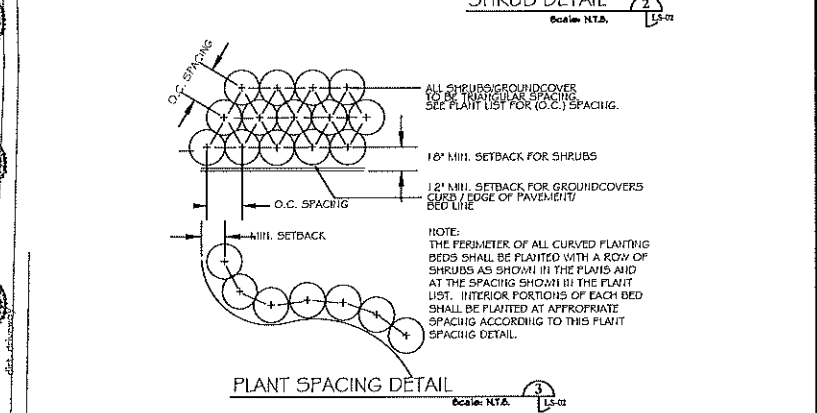
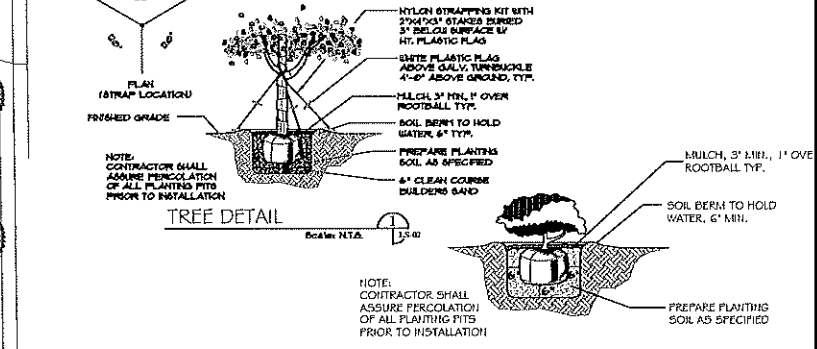
CIVIL ENGINEERING I LAND PLANNING		APPIAN ENGINEERING LLC.		APPIAN.COM - 407.960.5868		2211 Law Road, Suite 17, Winter Park, Florida 32789		DATE: 05/14/18		DESCRIPTION:	
LIFTSTATION DETAILS		FINAL DEVELOPMENT PLAN		BRIDLEWOOD SUBDIVISION		CITY OF APOPKA, FLORIDA		SCALE: N.T.S.		PROJECT: AYX-001	
DRAWN: J-BANKER		DESIGNED: J-PALM		CHECKED: L. CLASSON		DATE: 02/12/2018		SHEET: C11.2		48 HOURS BEFORE DIGGING CALL TOLL FREE 811 or 1-800-432-4770	
APPIAN ENGINEERING		APPIAN ENGINEERING		APPIAN ENGINEERING		APPIAN ENGINEERING		APPIAN ENGINEERING		APPIAN ENGINEERING	



PLANT SCHEDULE

QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
10	Acer rubrum 'October Glory'™	October Glory Maple	65 gal	3' DBH	15' HT.	
4	Liquidambar styraciflua	Sweet Gum	65 gal	3' DBH	15' HT.	
20	Quercus virginiana	Live Oak	65 gal	3' DBH	15' HT.	
10	Quercus virginiana 'Catherine'	Catherine Live Oak	65 gal	3' DBH	12' HT.	
1	Magnolia grandiflora 'Bracken Brown Beauty'	Bracken Brown Magnolia	65 gal	3' DBH	12' HT.	
1	Magnolia grandiflora 'Majesty Beauty'™	Majesty Magnolia	65 gal	3' DBH	10'-12' HT.	
2	Quercus virginiana	Live Oak	65 gal	3' DBH	12' HT.	
2	Quercus virginiana 'Catherine'	Catherine Live Oak	65 gal	3' DBH	12' HT.	
2	Magnolia grandiflora 'Bracken Brown Beauty'	Bracken Brown Magnolia	65 gal	3' DBH	12' HT.	
2	Magnolia grandiflora 'Majesty Beauty'™	Majesty Magnolia	65 gal	3' DBH	10'-12' HT.	
1	Quercus virginiana	Live Oak	65 gal	3' DBH	12' HT.	
1	Quercus virginiana 'Catherine'	Catherine Live Oak	65 gal	3' DBH	12' HT.	
1	Magnolia grandiflora 'Bracken Brown Beauty'	Bracken Brown Magnolia	65 gal	3' DBH	12' HT.	
1	Magnolia grandiflora 'Majesty Beauty'™	Majesty Magnolia	65 gal	3' DBH	10'-12' HT.	

- ### LANDSCAPE NOTES:
- ALL PLANT MATERIAL SHALL BE FLORIDA GRADE NO. 1 OR BETTER AS SPECIFIED IN GRADING AND STANDARDIZATION FOR NURSERY PLANTS, PARTS 1 AND 2, BY DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, AND SHALL CONFORM TO CURRENT AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS FOR NURSERY STOCK, LATEST EDITION.
 - IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR OR OWNER'S REPRESENTATIVE, NOT THE LANDSCAPE ARCHITECT, FOR THE NURSERY SELECTION OF PLANT MATERIAL AND TO ENSURE THE HEALTH AND SAFETY OF ALL PLANTS SELECTED.
 - CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, ORDINANCES AND LOCAL REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS TO PERFORM THE WORK.
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF DIGGING CONDITIONS AND PROTECTING EXISTING UTILITIES AND WATER CONDUITS, UTILITIES, WELLS, CREEKS, ETC. TO LANDSCAPE PROJECT. BEFORE ANY DIGGING, CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS TO INSTALLATION OF PLANTINGS, AND IS RESPONSIBLE FOR ALL NECESSARY PERMITS TO CONDUCT ANY DIGGING.
 - ALL TREES ON SITE SHOULD BE INSPECTED ANNUALLY AND AFTER ALL STORM EVENTS TO ENSURE THE HEALTH AND SAFETY OF ALL TREES.
 - THE LANDSCAPE CONTRACTOR SHALL ACQUIRE ITSELF WITH ALL CIVIL DRAWINGS AS THEY RELATE TO PAVING SITE GRADINGS, AND ALL UTILITIES, INCLUDING WATER, SEWER AND ELECTRICAL UTILITIES TO PRECLUDE ANY INTERFERENCES AND ENSURE PROPER TREE INSTALLATION. THE EXACT LOCATION OF ALL EXISTING STRUCTURES, UNDERGROUND UTILITIES, EXISTING UNDERGROUND SPRINKLERS AND FIRE MAY NOT BE INDICATED ON DRAWINGS. THE CONTRACTOR SHALL CONDUCT HIS WORK IN A MANNER TO PREVENT INTERFERENCE OR DAMAGE TO EXISTING SYSTEMS WHICH MUST REMAIN OPERATIONAL. THE CONTRACTOR SHALL PROTECT UTILITIES SERVICES WHICH MUST REMAIN OPERATIONAL AND SHALL BE RESPONSIBLE FOR THESE REPLACEMENT IF DAMAGED BY HIM.
 - ALL PLANTING BEDS SHALL RECEIVE A 3" LAYER OF MULCH OVER ROOTBALLS OF PLANT MATERIAL. MULCH SHALL BE 3" MIN. OVER ROOTBALL TYP.
 - IN THE EVENT OF A CONFLICT BETWEEN QUANTITIES ON THE PLANT LIST AND THE PLANS, THE PLAN SHALL TAKE PRECEDENCE.



Landscape Designs, LLC

■ Landscape Architecture
■ Site Planning

4465 Gabriella Lane
Winter Park, FL 32792
PH: (407) 484-3414
FX: (407) 671-1604

PROJECT AND OWNER
BRIDLEWOOD SUBDIVISION

City of Apopka
Florida

Applan Engineering, LLC
2221 Lee Road, Suite 17
Winter Park, FL 32789
PH: (407) 980-8586

CONSULTANTS

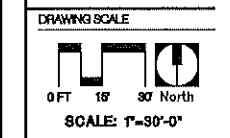
LANDSCAPE ARCHITECT
CARL J. KELLY JR., RLA

REG.#: C001764

PROJECT NO.	APPOS.01
DESIGNED BY	CJK
DRAWN BY	CJK
CHECKED BY	CJK
DATE	10/30/17

ISSUED FOR:

- 01/18/18 Site Changes
- 02/14/18 City Comments
- 03/18/18 Permit Set
- 04/18/18 Owner Changes
- 04/23/18 Owner Changes
- 05/07/18 Owner Changes
- 05/20/18 City Comments



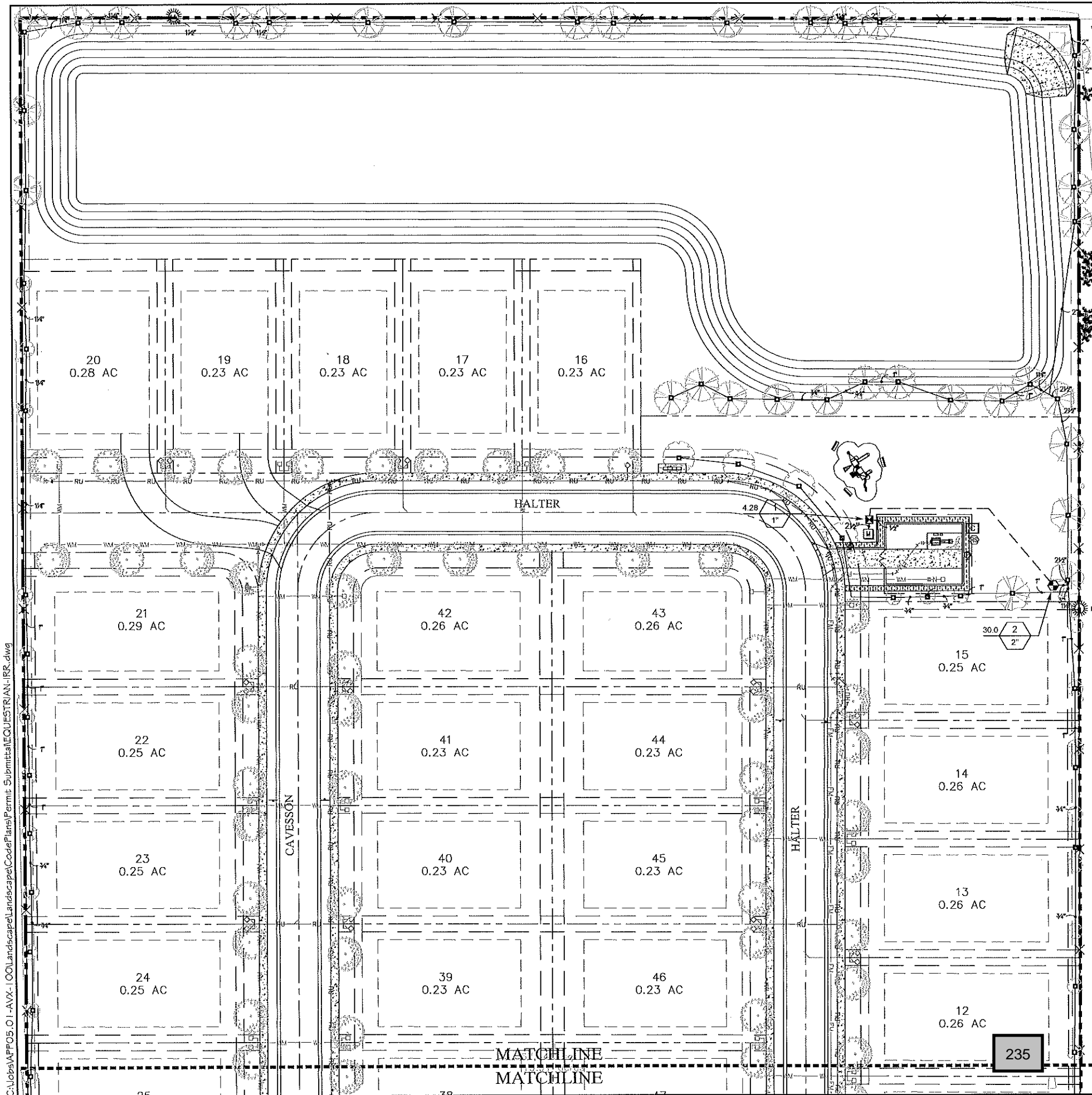
DRAWING TITLE
LANDSCAPE SITE PLAN & TREE MITIGATION

DRAWING NUMBER

LS-02

SHEET 41 OF 44

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IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	ARC	PSI	GPM	RADIUS
	Rain Bird 180G-FRS-11P 15 Strip Series Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal, Side and Bottom Inlet, 1/2" NPT Female Threaded Inlet, Pressure Regulating, With Non Potable Purple Cap.	49	CST	30	1.21	4x30'
	Rain Bird 180G-FRS-11P 15 Strip Series Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal, Side and Bottom Inlet, 1/2" NPT Female Threaded Inlet, Pressure Regulating, With Non Potable Purple Cap.	1	EST	30	0.61	4x15'
	Rain Bird 180G-FRS-11P 5 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal, Side and Bottom Inlet, 1/2" NPT Female Threaded Inlet, Pressure Regulating, With Non Potable Purple Cap.	17	180	30	0.20	5'
	Rain Bird 180G-FRS-11P 8 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal, Side and Bottom Inlet, 1/2" NPT Female Threaded Inlet, Pressure Regulating, With Non Potable Purple Cap.	4	180	30	0.52	8'
	Rain Bird 180G-FRS-11P 10 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal, Side and Bottom Inlet, 1/2" NPT Female Threaded Inlet, Pressure Regulating, With Non Potable Purple Cap.	62	180	30	0.79	10'
	Rain Bird 180G-FRS-11P 10 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal, Side and Bottom Inlet, 1/2" NPT Female Threaded Inlet, Pressure Regulating, With Non Potable Purple Cap.	1	90	30	0.39	10'
	Rain Bird 1800-1400 Flood Flood Bubbler	125	360	30	0.50	1'
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY				
	Rain Bird XC2-100-PRF-BF Dnp Control Kit, 1" DV valve, 1" pressure regulating back flush filter.	2				
	Rain Bird XC2-1F-100-PRF Dnp Control Kit, 1" Low Flow valve, 3/4" pressure regulating RBY filter and 30psi pressure regulator.	1				
	Rain Bird MDCFPDAP Dnline Flush Valve purple cap in compression fitting coupler.	1				
	Rain Bird AR Valve Kit 1" Air Relief Valve kit with 6" dnp valve box.	1				
	Area to Receive Dnline Rain Bird LD-06-24 Landscape Dnline with 0.6 l/gph emitters at 24" o.c. Dnline laterals spaced at 24" apart, with emitters offset for triangular pattern.	4,235 s.f.				
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY				
	Rain Bird PESB-FRS-D 1", 1-1/2", 2" Plastic Industrial Valves, Low Flow Operating Capability, Globe Configuration, With Pressure Regulating Module, and Scrubber Technology for Reliable Performance in Dirty Water Irrigation Applications.	4				
	Rain Bird ESP-LXME (2) Plastic wall mount controller with 8 to 48 stations adjusted modularly in four station increments, with SM4, SM6, and SM12 station modules. Supply number of stations as required for project at one station per valve.	1				
	Rain Bird ESP-LXME (2) Plastic wall mount controller with 8 to 48 stations adjusted modularly in four station increments, with SM4, SM6, and SM12 station modules. Supply number of stations as required for project at one station per valve.	1				
	Rain Bird R50-DEX (2) Rain Sensor, with bracket, extension wire	2				
	Water Meter 2" RE-USE METER	1				
	Water Meter 2" RE-USE METER	1				
	Irrigation Lateral Line: Polyethylene and PVC Class 200 Polyethylene SDR-7 up to 1-1/4", then PVC Class 200 SDR 21 for 1-1/2" and larger. Only lateral transition pipe uses 3/4" and above are indicated on the plan, with all others being 1/2" in size.	7,332 l.f.				
	Irrigation Mainline: PVC Class 200 SDR 21	379.5 l.f.				
	Pipe Sleeve: PVC Schedule 40 Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction.	199.1 l.f.				
	Valve Closet Valve Number Valve Flow Valve Size					
<p>NOTES:</p> <ol style="list-style-type: none"> ALL PIPE SIZES SHALL NOT EXCEED A VELOCITY OF 5' SEC. ALL HEADS SHALL BE MIN. 4" FROM PAVED SURFACES USE PRESSURE COMPENSATING SCREENS (RAIN BIRD PCS-090) TO ADJUST NOZZLE RADIUS WHERE NECESSARY 						



Landscape Designs, LLC

■ Landscape Architecture
■ Site Planning

4465 Gabriella Lane
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EX: (407) 671-1604

PROJECT AND OWNER

BRIDLEWOOD SUBDIVISION

City of Apopka
Florida

Applan Engineering, LLC
2221 Lee Road, Suite 17
Winter Park, FL 32789
PH: (407) 980-6866

CONSULTANTS

LANDSCAPE ARCHITECT
CARL J. KELLY JR., RLA

REG.#: 0001764

PROJECT NO.	APP05.01
DESIGNED BY	CJK
DRAWN BY	CJK
CHECKED BY	CJK
DATE	10/30/17

ISSUED FOR:

01/18/18 Site Changes
02/14/18 City Comments
03/18/18 Permit Set
04/18/18 Owner Changes
04/23/18 Owner Changes
05/07/18 Owner Changes
05/21/18 City Comments

DRAWING SCALE



DRAWING TITLE

IRRIGATION SITE PLAN

DRAWING NUMBER

IR-01

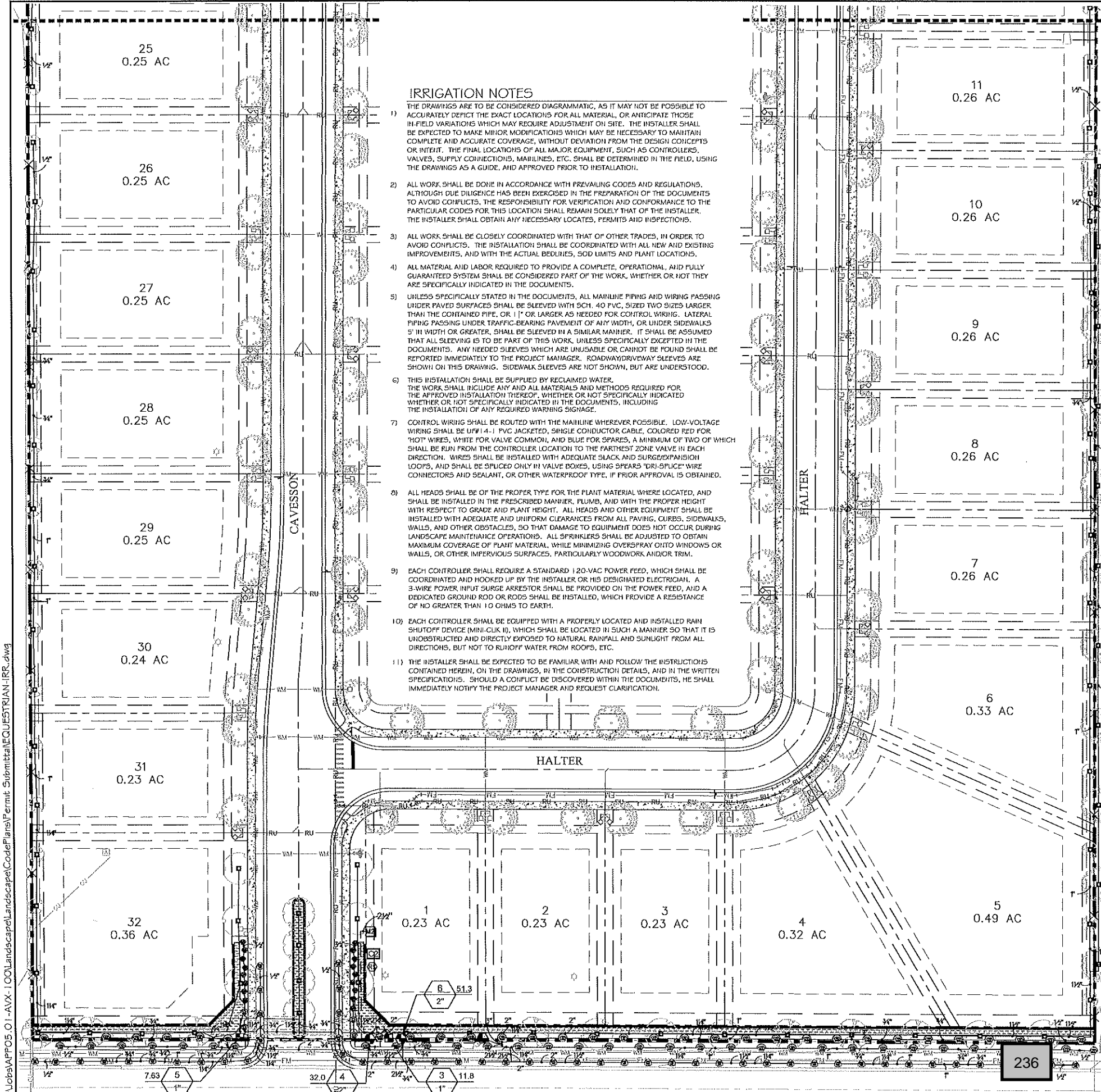
SHEET **42** OF **44**

LANDSCAPE AND IRRIGATION DESIGN

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

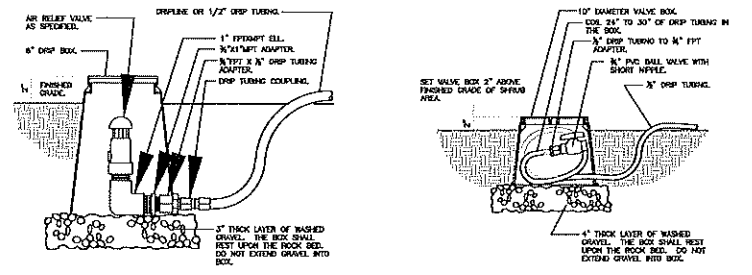
Carl J. Kelly Jr. LA0001764 10/30/17
SIGNATURE REG. NO. DATE

C:\Lobs\APP05_01-ANX-100Landscape\CodePlans\Permit Submittal\EQ\ESTR\AN-IRR.dwg

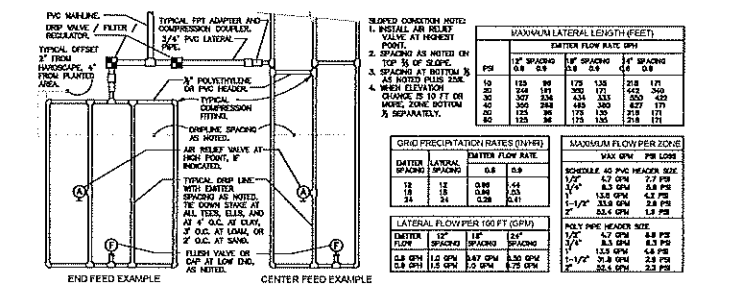


IRRIGATION NOTES

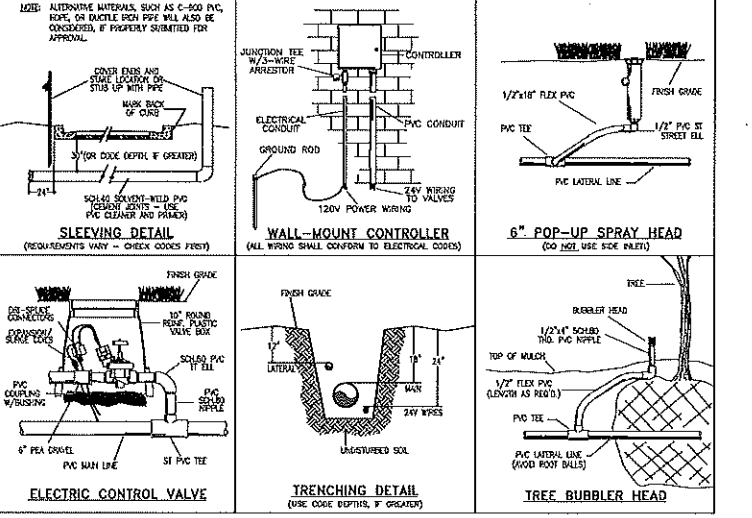
- THE DRAWINGS ARE TO BE CONSIDERED DIAGRAMMATIC, AS IT MAY NOT BE POSSIBLE TO ACCURATELY DEPICT THE EXACT LOCATIONS FOR ALL MATERIAL, OR ANTICIPATE THOSE IN-FIELD VARIATIONS WHICH MAY REQUIRE ADJUSTMENT ON SITE. THE INSTALLER SHALL BE EXPECTED TO MAKE MINOR MODIFICATIONS WHICH MAY BE NECESSARY TO MAINTAIN COMPLETE AND ACCURATE COVERAGE, WITHOUT DEVIATION FROM THE DESIGN CONCEPTS OR INTENT. THE FINAL LOCATIONS OF ALL MAJOR EQUIPMENT, SUCH AS CONTROLLERS, VALVES, SUPPLY CONNECTIONS, MAINLINES, ETC. SHALL BE DETERMINED IN THE FIELD, USING THE DRAWINGS AS A GUIDE, AND APPROVED PRIOR TO INSTALLATION.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH PREVAILING CODES AND REGULATIONS. ALTHOUGH DUE DILIGENCE HAS BEEN EXERCISED IN THE PREPARATION OF THE DOCUMENTS TO AVOID CONFLICTS, THE RESPONSIBILITY FOR VERIFICATION AND CONFORMANCE TO THE PARTICULAR CODES FOR THIS LOCATION SHALL REMAIN SOLELY THAT OF THE INSTALLER. THE INSTALLER SHALL OBTAIN ANY NECESSARY LOCATES, PERMITS AND INSPECTIONS.
- ALL WORK SHALL BE CLOSELY COORDINATED WITH THAT OF OTHER TRADES, IN ORDER TO AVOID CONFLICTS. THE INSTALLATION SHALL BE COORDINATED WITH ALL NEW AND EXISTING IMPROVEMENTS, AND WITH THE ACTUAL BOUNDARIES, SOD LIMITS AND PLANT LOCATIONS.
- ALL MATERIAL AND LABOR REQUIRED TO PROVIDE A COMPLETE, OPERATIONAL, AND FULLY GUARANTEED SYSTEM SHALL BE CONSIDERED PART OF THE WORK, WHETHER OR NOT THEY ARE SPECIFICALLY INDICATED IN THE DOCUMENTS.
- UNLESS SPECIFICALLY STATED IN THE DOCUMENTS, ALL MAINLINE PIPING AND WIRING PASSING UNDER PAVED SURFACES SHALL BE SLEEVED WITH SCH. 40 PVC, SIZED TWO SIZES LARGER THAN THE CONTAINED PIPE, OR 1" OR LARGER AS NEEDED FOR CONTROL WIRING. LATERAL PIPING PASSING UNDER TRAFFIC-BEARING PAVEMENT OF ANY WIDTH, OR UNDER SIDEWALKS 5' IN WIDTH OR GREATER, SHALL BE SLEEVED IN A SIMILAR MANNER. IT SHALL BE ASSUMED THAT ALL SLEEVING IS TO BE PART OF THIS WORK, UNLESS SPECIFICALLY EXCEPTED IN THE DOCUMENTS. ANY NEEDED SLEEVES WHICH ARE UNUSABLE OR CANNOT BE FOUND SHALL BE REPORTED IMMEDIATELY TO THE PROJECT MANAGER. ROADWAY/DRIVEWAY SLEEVES ARE SHOWN ON THIS DRAWING. SIDEWALK SLEEVES ARE NOT SHOWN, BUT ARE UNDERSTOOD.
- THIS INSTALLATION SHALL BE SUPPLIED BY RECLAIMED WATER. THE WORK SHALL INCLUDE ANY AND ALL MATERIALS AND METHODS REQUIRED FOR THE APPROVED INSTALLATION THEREOF, WHETHER OR NOT SPECIFICALLY INDICATED WHETHER OR NOT SPECIFICALLY INDICATED IN THE DOCUMENTS, INCLUDING THE INSTALLATION OF ANY REQUIRED WARNING SIGNAGE.
- CONTROL WIRING SHALL BE ROUTED WITH THE MAINLINE WHEREVER POSSIBLE. LOW-VOLTAGE WIRING SHALL BE UFF (4-1) PVC JACKETED, SINGLE CONDUCTOR CABLE, COLORED RED FOR "HOT" WIRES, WHITE FOR VALVE COMMON, AND BLUE FOR SPARES, A MINIMUM OF TWO OF WHICH SHALL BE RUN FROM THE CONTROLLER LOCATION TO THE FARTHEST ZONE VALVE IN EACH DIRECTION. WIRES SHALL BE INSTALLED WITH ADEQUATE SLACK AND SURGE/EXPANSION LOOPS, AND SHALL BE SPLICED ONLY IN VALVE BOXES, USING SPEARS "DRI-SPLICE" WIRE CONNECTORS AND SEALANT, OR OTHER WATERPROOF TYPE, IF PRIOR APPROVAL IS OBTAINED.
- ALL HEADS SHALL BE OF THE PROPER TYPE FOR THE PLANT MATERIAL WHERE LOCATED, AND SHALL BE INSTALLED IN THE PRESCRIBED MANNER, PLUMB, AND WITH THE PROPER HEIGHT WITH RESPECT TO GRADE AND PLANT HEIGHT. ALL HEADS AND OTHER EQUIPMENT SHALL BE INSTALLED WITH ADEQUATE AND UNIFORM CLEARANCES FROM ALL PAVING, CURBS, SIDEWALKS, WALLS, AND OTHER OBSTACLES, SO THAT DAMAGE TO EQUIPMENT DOES NOT OCCUR DURING LANDSCAPE MAINTENANCE OPERATIONS. ALL SPRINKLERS SHALL BE ADJUSTED TO OBTAIN MAXIMUM COVERAGE OF PLANT MATERIAL, WHILE MINIMIZING OVERSPRAY ONTO WINDOWS OR WALLS, OR OTHER IMPERVIOUS SURFACES, PARTICULARLY WOODWORK AND/OR TRIM.
- EACH CONTROLLER SHALL REQUIRE A STANDARD 120-VAC POWER FEED, WHICH SHALL BE COORDINATED AND HOOKED UP BY THE INSTALLER OR HIS DESIGNATED ELECTRICIAN. A 3-WIRE POWER INLET SURGE ARRESTOR SHALL BE PROVIDED ON THE POWER FEED, AND A DEDICATED GROUND ROD OR RODS SHALL BE INSTALLED, WHICH PROVIDE A RESISTANCE OF NO GREATER THAN 10 OHMS TO EARTH.
- EACH CONTROLLER SHALL BE EQUIPPED WITH A PROPERLY LOCATED AND INSTALLED RAIN SHUTOFF DEVICE (MINI-CLIK II), WHICH SHALL BE LOCATED IN SUCH A MANNER SO THAT IT IS UNOBSTRUCTED AND DIRECTLY EXPOSED TO NATURAL RAINFALL AND SUNLIGHT FROM ALL DIRECTIONS, BUT NOT TO RUNOFF WATER FROM ROOFS, ETC.
- THE INSTALLER SHALL BE EXPECTED TO BE FAMILIAR WITH AND FOLLOW THE INSTRUCTIONS CONTAINED HEREIN, ON THE DRAWINGS, IN THE CONSTRUCTION DETAILS, AND IN THE WRITTEN SPECIFICATIONS. SHOULD A CONFLICT BE DISCOVERED WITHIN THE DOCUMENTS, HE SHALL IMMEDIATELY NOTIFY THE PROJECT MANAGER AND REQUEST CLARIFICATION.



1 DRIP AIR RELIEF VALVE IN BOX N.T.S. DETAIL-FILE
2 DRIP FLUSH VALVE N.T.S. DETAIL-FILE



3 TYPICAL DRIPLINE LAYOUT REQUIREMENTS N.T.S. DETAIL-FILE



VALVE SCHEDULE (75% OF IRRIGATION SYSTEM IS LOW VOLUME IRRIGATION)

NUMBER	MODEL	SIZE	TYPE	GPM	PSI	PSI @ POC	PRECIP
1	Rain Bird KCZ-LF-100-PRF	1"	Area for Dripline	4.28	41.20	41.60	0.54 in/h
2	Rain Bird PESB-PRS-D	2"	Bubbler	30.00	33.77		15.32 in/h
3	Rain Bird KCZ-100-PRF-BP	1"	Area for Dripline	11.80	30.28	30.72	0.54 in/h
4	Rain Bird PESB-PRS-D	2"	Bubbler	27.00	39.56		15.32 in/h
5	Rain Bird KCZ-100-PRF-BP	1"	Area for Dripline	7.63	31.05	32.28	0.54 in/h
6	Rain Bird PESB-PRS-D	2"	Turf Spray	51.30	37.71	40.40	1.05 in/h
Unknown	Rain Bird PESB-PRS-D	2"	Turf Spray	63.45	40.62		1.06 in/h

DISTRIBUTION EQUIPMENT SHALL BE 24" FROM VERTICAL STRUCTURES

- NOTES:**
- STREET TREES TO BE INSTALLED WITH THE DEVELOPMENT OF EACH INDIVIDUAL LOT.
 - LANDSCAPING AND IRRIGATION SHALL BE CONSISTENT WITH SECTION 5.01 OF THE LAND DEVELOPMENT CODE.
 - LANDSCAPING AND IRRIGATION SHALL BE IN COMPLIANCE WITH WATER WISE ORDINANCE 20G9.
 - IRRIGATION DISTRIBUTION EQUIPMENT SHALL BE 24" FROM VERTICAL STRUCTURES.

LANDSCAPE AND IRRIGATION DESIGN
I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

Signature: _____ REG. NO. LA0001764 DATE: 10/30/17



Landscape Designs, LLC

■ Landscape Architecture
■ Site Planning

4465 Gabriella Lane
Winter Park, FL 32792
PH: (407) 484-3414
EX: (407) 671-1604

PROJECT AND OWNER
BRIDLEWOOD SUBDIVISION

City of Apopka
Florida

Applan Engineering, LLC
2221 Lee Road, Suite 17
Winter Park, FL 32789
PH: (407) 980-8866

CONSULTANTS

LANDSCAPE ARCHITECT
CARL J. KELLY JR., RLA

REG.#: 0001764

PROJECT NO. APP05.01
DESIGNED BY: CJK
DRAWN BY: CJK
CHECKED BY: CJK
DATE: 10/30/17

ISSUED FOR:
01/18/18 Site Changes
02/14/18 City Comments
03/18/18 Permit Set
04/16/18 Owner Changes
04/23/18 Owner Changes
05/07/18 Owner Changes
05/21/18 City Comments

DRAWING SCALE



DRAWING TITLE

IRRIGATION SITE PLAN

DRAWING NUMBER

IR-02

SHEET 43 OF 44

C:\Jobs\APP05.01 - AVX - 100\landscape\landscape\Permit Submittal\EQUESTRIAN_IRR.dwg



Landscape Designs, LLC

- Landscape Architecture
- Site Planning

4465 Gabriella Lane
Winter Park, FL 32792
PH: (407) 484-3414
FR: (407) 671-1604

PROJECT AND OWNER

BRIDLEWOOD SUBDIVISION

City of Apopka
Florida

Applan Engineering, LLC
2221 Lee Road, Suite 17
Winter Park, FL 32789
PH: (407) 960-6856

CONSULTANTS

LANDSCAPE ARCHITECT
CARL J. KELLY JR., RLA

REG.#: 0001764

PROJECT NO. APP05.01
DESIGNED BY CJK
DRAWN BY CJK
CHECKED BY CJK
DATE 10/30/17

ISSUED FOR:
01/18/18 Site Changes
02/14/18 City Comments
03/18/18 Permit Set
04/18/18 Owner Changes
04/23/18 Owner Changes
05/07/18 Owner Changes
05/20/18 City Comments

DRAWING SCALE



0 FT 10' 20' North
SCALE: 1"=20'-0"

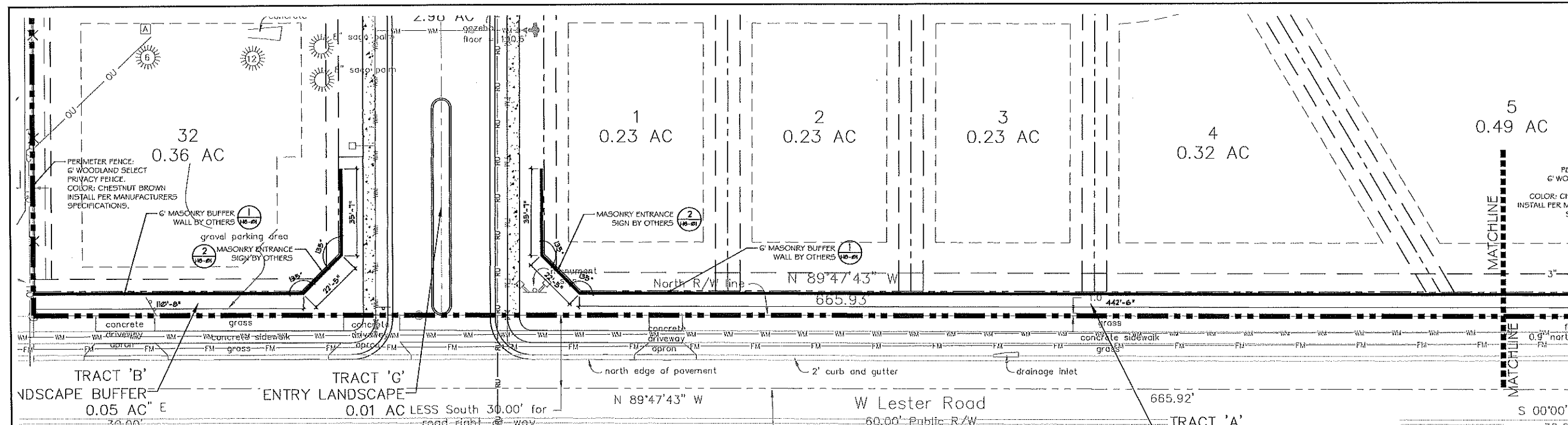
DRAWING TITLE

HARDSCAPE
SITE PLAN &
DETAILS

DRAWING NUMBER

HS-01

SHEET 44 OF 44



STRUCTURAL DESIGN CRITERIA:

- A. STRUCTURAL DESIGN IS IN ACCORDANCE WITH THE GOVERNING PROVISIONS OF THE FOLLOWING CODES, STANDARDS AND SPECIFICATIONS:**
1. FLORIDA BUILDING CODE - 2011 EDITION
 2. ASCE 7-02 MIN. DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES.
 3. ACI 318-07, BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
 4. ACI 530-09, BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES
 5. AISI SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS, A588, NINTH EDITION.
 6. AISI D11 STRUCTURAL WELDING CODE - STEEL
 7. SPECIFICATIONS FOR ALUMINUM STRUCTURES, FOURTH EDITION.
 8. AISI D12 STRUCTURAL WELDING CODE - ALUMINUM

- B. SUPERIMPOSED DESIGN LOADS:**
- LIVE LOADS (MIN) DEAD LOADS:
GENERAL: 20 PSF DEAD WEIGHT
- WIND LOADS: DESIGN WIND SPEED: 140 MPH
MEAN ROOF HEIGHT: 15 FEET
EXPOSURE: B
STRUCTURE: SIGN, CF=12, G=25
DESIGN WIND PRESSURE: 22 PSF

- C. FOUNDATIONS:**
1. ASSUMED SAFE BEARING PRESSURE = 2,000 PSF.
 2. ALL UNSUITABLE SOIL SHALL BE REMOVED AND REPLACED WITH CLEAN STRUCTURAL FILL PLACED IN LOOSE LAYERS NOT EXCEEDING EIGHT (8") INCHES AND COMPACTED TO 95% (ASTM D698 - STANDARD PROCTOR) OF MAX. DRY DENSITY.
 3. CONTRACTOR SHALL PREPARE THE SUBSURFACE SOILS PER THE GEOTECHNICAL REQUIREMENTS STIPULATED IN GEOTECHNICAL REPORT.

GENERAL:

1. ALL DIMENSIONS AND PLACEMENTS SPECIFIED WITHIN THIS DRAWING ARE TO BE VERIFIED BY OWNER PRIOR TO INSTALLATION.
2. ALL ELEVATIONS ARE REFERENCED TO FINISHED GRADE EL. +000.00' ± 0'-0". ALL ELEVATIONS SHOWN ON PLANS ARE REFERENCED TO THIS DATUM UNLESS NOTED.
3. THE GENERAL CONTRACTOR SHALL FIELD MEASURE ALL DIMENSIONS MARKED (V/F) PRIOR TO FABRICATION OR START OF CONSTRUCTION.
4. NO STRUCTURAL MEMBER SHALL BE CUT, NOTCHED OR OTHERWISE REDUCED IN STRENGTH WITHOUT THE PRIOR NOTIFICATION OF THE STRUCTURAL ENGINEER.

5. THE GENERAL CONTRACTOR SHALL COORDINATE ALL OTHER DISCIPLINES FOR ANY ITEMS WHICH AFFECT THE STRUCTURAL DRAWINGS.
6. TEMPORARY BRACINGS, GUY WIRES, ETC. SHALL BE USED WHERE NECESSARY TO ADEQUATELY RESIST ALL CONSTRUCTION LOADS.
7. INSURE POSITIVE DRAINAGE IN ALL AREAS.
8. CONTRACTOR TO VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS BETWEEN PROPOSED WALLS/COLUMNS AND EXISTING UTILITIES.

CAST-IN-PLACE REINFORCED CONCRETE:

1. ALL CONCRETE WORK SHALL CONFORM TO ACI STANDARD BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-07/318R-07).
2. ALL CONCRETE WORK SHALL ALSO CONFORM TO ALL APPLICABLE SECTIONS OF THE P.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
3. MINIMUM 28 DAY COMPRESSIVE STRENGTH:
- CONCRETE WALKS, SIDEWALK BANDINGS, BENCH FOUNDATIONS AND HANDICAP RAMPS: CLASS I
- CONCRETE SIDEWALKS, CURBS AND GUTTER, 6" DRIVEWAY BANDING, HEADER CURBS AND VALLEY GUTTERS: CLASS I
- CONCRETE STREET LIGHT POLE AND TRAFFIC POLE BASES, AND TREE GRATE COLLARS: CLASS II
- SLURPS PER F.D.O.T. STANDARD SPECIFICATIONS.
4. REINFORCING STEEL SHALL CONFORM TO ASTM A-618 GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185 (6"x6", 21 WWP).
5. TERMINATE ALL DISCONTINUED TOP BARS WITH 180 DEGREE STANDARD HOOK UNLESS OTHERWISE NOTED.
6. AT CHANGES IN DIRECTION OF CONCRETE WALLS, STRIP FOOTINGS AND BOND BEAMS, PROVIDE CORNER BARS AT SAME SIZE AND SPACING AS HORIZONTAL STEEL.
7. METAL EXPANSION CAPS: TO BE FURNISHED WITH ONE END OF EACH DOUCEL BAR IN EXPANSION JOINTS. CAPS TO BE A MINIMUM OF 3" IN LENGTH WITH ONE END CLOSED, TO ALLOW BAR MOVEMENT OF NOT LESS THAN 1/4" UNLESS OTHERWISE INDICATED. PLASTIC COATED DOUCEL BARS MAY BE USED IF APPROVED BY ENGINEER.
8. JOINT MATERIAL: JOINT SEALER IS TO BE GRAY ELASTOMERIC PUTTY MANUFACTURED BY REYNOLD CHEMICAL PRODUCTS, INC., MINNEAPOLIS, MN, OF APPROVED EQUAL.
9. CONTRACTION JOINTS: TO BE PROVIDED TO A DEPTH 1/4 OF CONCRETE THICKNESS, AS FOLLOWS:
1. TOOLED JOINTS:
2. SAILED JOINTS IF REQUIRED, TO BE CUT INTO HARDENED CONCRETE AS SOON AS SURFACE WILL NOT BE TORN, ABRASION, OR OTHERWISE DAMAGED BY CUTTING ACTION.
3. CONTRACTION JOINTS ARE TO BE PLACED AT INTERVALS EQUAL TO THE WIDTH OF THE SLAB FOR WALKS, INTERVALS NOT TO EXCEED 10 FEET.

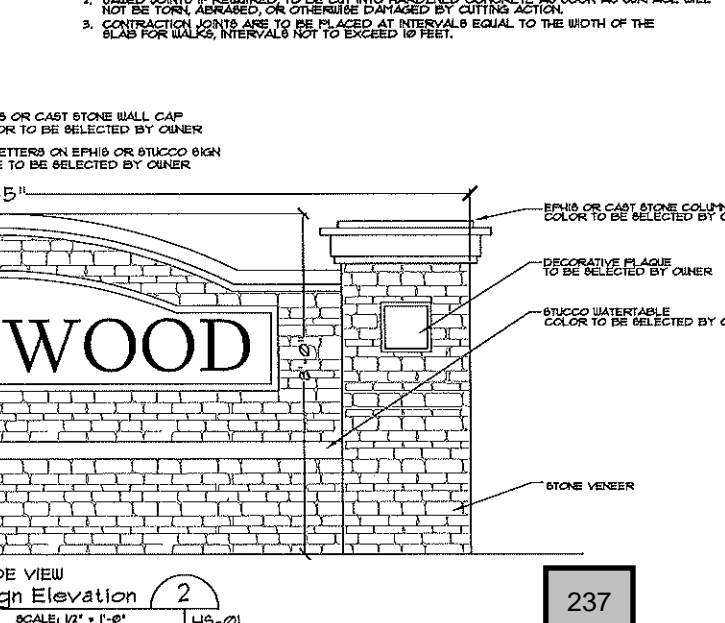
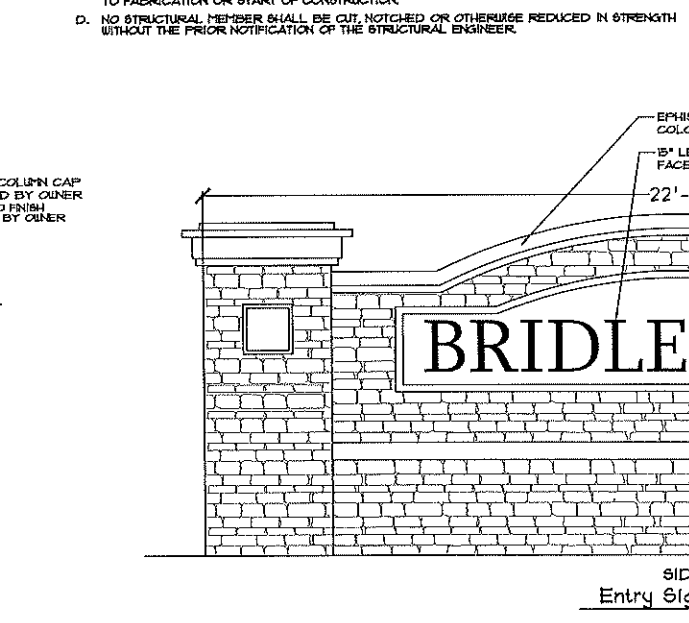
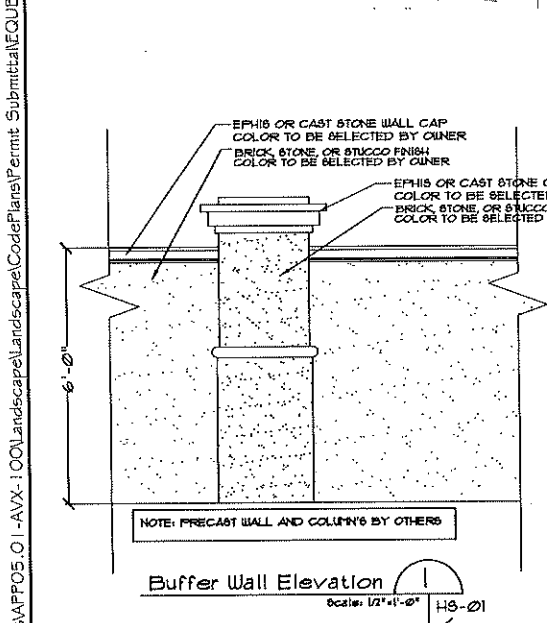
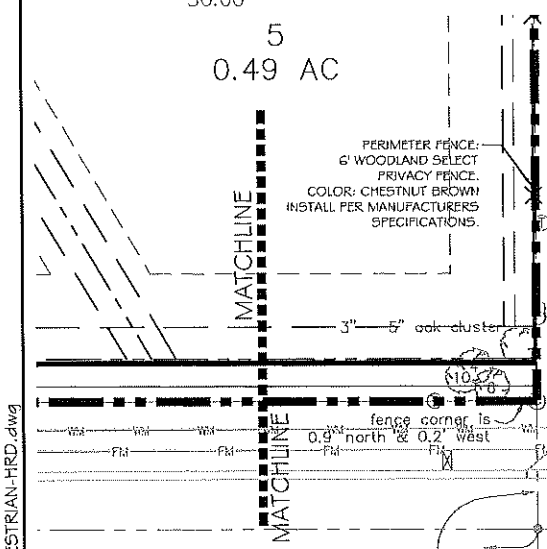
4. CONTRACTION JOINTS FOR CONCRETE BANDING IN THE STREET AND SIDEWALK SHALL BE AT 10 FOOT INTERVALS (MAX).
5. CONSTRUCTION JOINTS: WHERE PLACEMENT OPERATIONS ARE STOPPED FOR A PERIOD OF MORE THAN 1/2 HOUR, EXCEPT WHERE SUCH JOINTS TERMINATE AT EXPANSION JOINTS.

L. EXPANSION JOINTS:

1. PROVIDE EXPANSION JOINTS BETWEEN ADJUTING CONCRETE CURBS, WALKS, WALLS, COLUMNS, AND OTHER NON YIELDING MATERIALS, UNLESS OTHERWISE INDICATED ON HARDSCAPE DETAILS.
 2. FOR CURBS AND GUTTER WORK EXPANSION JOINTS SHALL BE PLACED AT EVERY ONE HUNDRED LINEAR FEET.
 3. ALL EXPOSED EXPANSION JOINT MATERIALS SHALL BE RECESSED 1/4 INCH AND SEALED WITH THE JOINT SEALER AS SPECIFIED.
- M. CONCRETE FINISHES:**
1. AFTER STRIKING OFF AND CONSOLIDATING CONCRETE, SMOOTH THE SURFACE BY SCREEDING AND FLOATING. USE HAND METHOD ONLY WHERE MECHANICAL FLOATING IS NOT POSSIBLE. ADJUST THE FLOATING TO COMPACT THE SURFACE AND PRODUCE A UNIFORM TEXTURE. THE USE OF ADDITIONAL WATER WILL BE PROHIBITED IN ALL PHASES OF THE FINISHING.
 2. AFTER FLOATING, TEST SURFACE FOR TRULNESS WITH A 10 FOOT STRAIGHTEDGE. DISTRIBUTE CONCRETE AS REQUIRED TO REMOVE SURFACE IRREGULARITIES, AND REFOAT REPAIRED AREAS TO PROVIDE A CONTINUOUS SMOOTH FINISH.
 3. WORK EDGES OF GUTTERS, BACK TOP EDGE OF CURBS, SCORE LINES AND FORMED JOINTS WITH AN EDGING TOOL AND ROUND TO 1/2" RADIUS UNLESS OTHERWISE INDICATED ON HARDSCAPE DETAILS. ELIMINATE ANY TOOL MARKS ON CONCRETE SURFACE.
 4. AFTER COMPLETION OF FLOATING, AND WHEN EXCESS MOISTURE OR SURFACE SHEEN HAS DISAPPEARED, COMPLETE SURFACE FINISHING AS SPECIFIED ON DETAILS.
 5. DO NOT REMOVE FORMS FOR 24 HOURS AFTER CONCRETE HAS BEEN PLACED. AFTER FORM REMOVAL, CLEAN ENDS OF JOINTS AND POINT-UP ANY MINOR HONEYCOMBED AREAS. REMOVE AND REPLACE AREAS OR SECTIONS WITH MAJOR DEFECTS.
 6. GENERAL: CONSTRUCT EXPANSION JOINTS AND CONTRACTION JOINTS PER THE PLAN WITH FACE PERPENDICULAR TO SURFACE OF CONCRETE, UNLESS OTHERWISE INDICATED ON HARDSCAPE DETAILS. CONSTRUCT TRANSVERSE JOINTS AT RIGHT ANGLES TO THE CENTERLINE, UNLESS OTHERWISE INDICATED.

CONCRETE MASONRY

1. DESIGN CRITERIA: ACI 530-09/ASCE 5-09, ACI 530J-09/ASCE 6-09.
2. HOLLOW UNITS: MIN. 4,000 PSI @ 28 DAYS, MIN. 45% SOLID, ASTM C 90, GRADE N, HIGH STRENGTH BLOCK. NORMAL WEIGHT. Fm=2,500 PSI.
3. MORTAR: ASTM C 710, TYPE S, MIN. 3,000 PSI @ 28 DAYS, 3/8" FULL BEDDING, REMOVE MORTAR PROTRUDING INTO CELL CAVITIES TO BE REINFORCED AND GROUTED.
4. GROUT: ASTM C 416, MIN. 2,800 PSI @ 28 DAYS, 3/8" AGGREGATE MAX. 8"-10" SLUMP.
5. REINFORCEMENT:
1. HORIZONTAL JOINTS: 8TD, DUR-O-WALL @ 16" O.C. USE PREFABRICATED CORNERS AND TEES @ WALL INTERSECTIONS, OVERLAP DISCONTINUED ENDS AND EXTEND INTO COLUMNS 12" MIN.
2. VERTICAL AND HORIZONTAL REINFORCEMENT: ASTM 618, GRADE 60, TYP. @ WALL INTERSECTIONS, EACH SIDE OF OPENINGS, AND @ WALL ENDS, HOOK TOP OF ALL DISCONTINUED BARS, LAP CONT. REIN. 48 BAR DIA. UNO.
3. USE BAR SPACERS IN EVERY 4TH COURSE WHERE CELLS ARE TO BE GROUTED.
4. PROVIDE CLEANOUT OPENINGS FOR EACH GROUTED CELL. 5. HIGH LIFT GROUTING SHALL BE USED WITH A MAXIMUM FOUR OF 12"-0" IN 4" MAX LIFTS WITH ONE HOUR BETWEEN LIFTS. VIBRATE EACH LIFT AND RECONSOLIDATE PREVIOUS LIFT AFTER PLACING NEXT LIFT. VERTICAL CORES TO BE FILLED WITH GROUT SHALL HAVE A MINIMUM CLEAR DIMENSION OF 3"x3". H. WHERE EXPANSION ANCHOR BOLTS ARE SET IN MASONRY WALLS, FILL BLOCK CELLS WITH GROUT FOR BOLTED COURSE AND TWO COURSES BELOW ANCHOR ELEVATION.



NOTE: PRECAST WALL AND COLUMNS BY OTHERS

Scale: 1/2" = 1'-0" HS-01

Scale: 1/2" = 1'-0" HS-01

Scale: 1/2" = 1'-0" HS-01

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SIGNATURE LA0001764 10/30/17
REG NO. DATE

Bridlewood Subdivision

City of Apopka, Orange County, Florida

Section 28, Township 20 South, Range 28 East

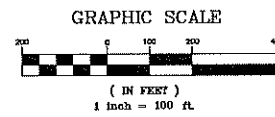
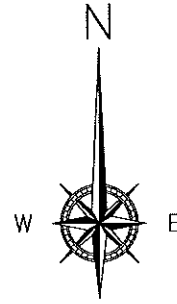
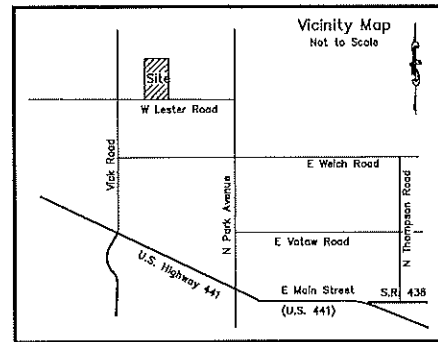
Property Description

The West 1/2 of the Southeast 1/4 of the Southwest 1/4 of Section 28, Township 20 South, Range 28 East, Orange County, Florida, LESS all that portion lying within the road right-of-way.

Being more particularly described as follows:

COMMENCE at the Southwest corner of the Southwest 1/4 of Section 28, Township 20 South, Range 28 East, Orange County, Florida, thence South 89°47'43" East, along the South line of the Southwest 1/4 of said Section 28, a distance of 1331.85 feet; thence departing said South line, North 00°00'15" East, along the West line of the West 1/2 of the Southeast 1/4 of the Southwest 1/4 of said Section 28, a distance of 30.00 feet to a point on the North right of way line of West Lester Road and POINT OF BEGINNING; thence continue North 00°00'15" East, along the West line of the West 1/2 of the Southeast 1/4 of the Southwest 1/4 of said Section 28, a distance of 1302.49 feet to the Northwest corner of the West 1/2 of the Southeast 1/4 of said Section 28; thence South 89°46'32" East, along the North line of the West 1/2 of the Southeast 1/4 of the Southwest 1/4 of said Section 28, a distance of 666.18 feet to the Northeast corner of the West 1/2 of the Southeast 1/4 of the Southwest 1/4 of said Section 28; thence South 00°00'55" West, along the East line of the West 1/2 of the Southeast 1/4 of the Southwest 1/4 of said Section 28, a distance of 1302.26 feet to a point on the North line of West Lester Road; thence North 89°47'43" West, along said North right of way line, a distance of 665.93 feet to the POINT OF BEGINNING.

Contains 19.91 acres, more or less.



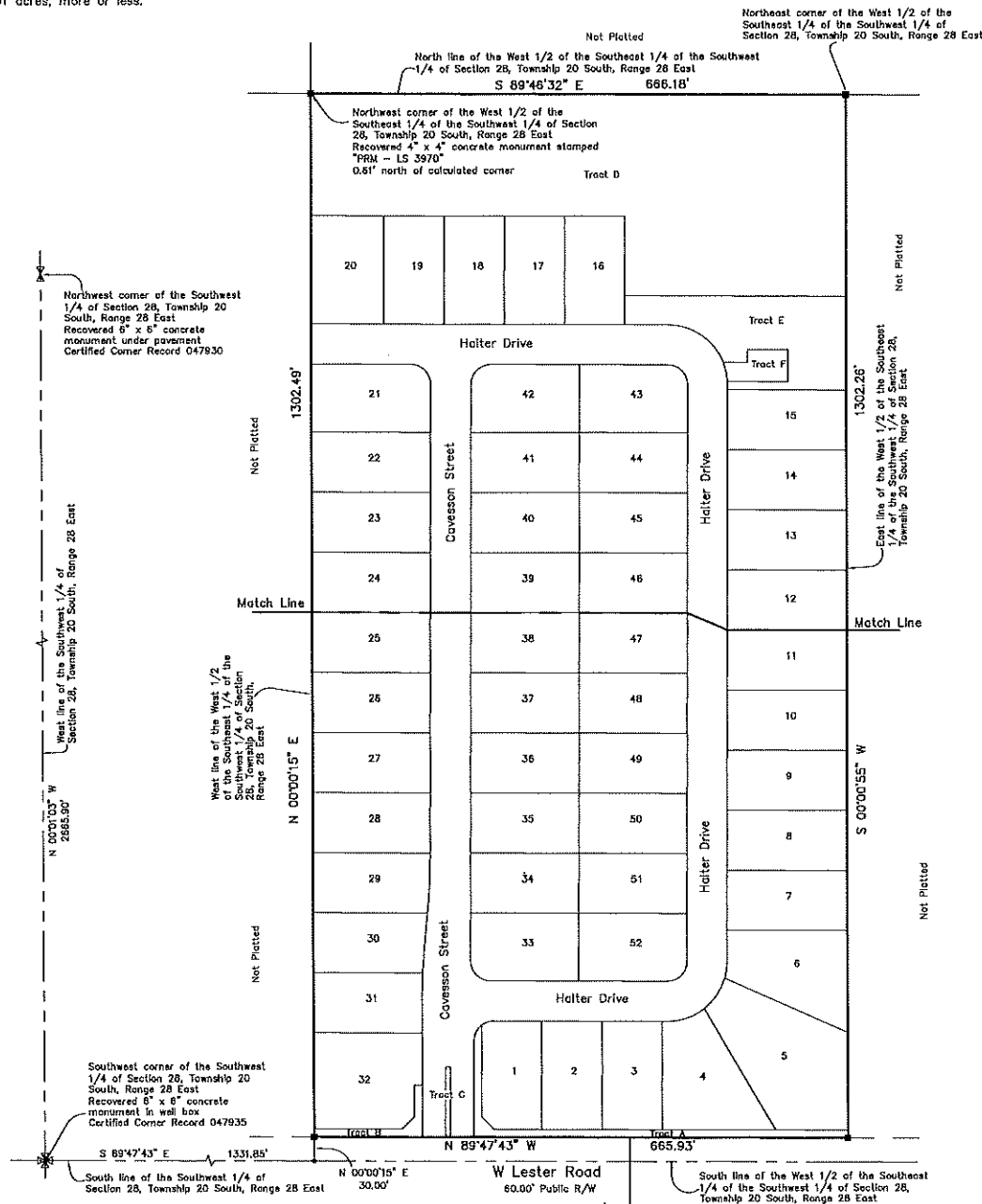
Note: See Sheets 2 and 3 for Abbreviations and Legend

Notes

- Bearings shown hereon are based on the South line of the Southwest 1/4 of Section 28, Township 20 South, Range 28 East being assumed as South 89°47'43" East.
- All lines are radial to curves unless otherwise noted as non radial (NR).
- Tracts A and B is a Wall and Landscape area and is owned and maintained by the Bridlewood Homeowners Association, Inc.
- Tract C is a Landscape Entry area and is owned and maintained by the Bridlewood Homeowners Association, Inc.
- Tract D is Stormwater Pond area and is owned and maintained by the Bridlewood Homeowners Association, Inc.
- Tract E is a Park area and is owned and maintained by the Bridlewood Homeowners Association, Inc.
- Tract F is a Lift Station area and shall be owned and maintained by the City of Apopka, Florida.
- The Drainage Easements are hereby dedicated to the Bridlewood Homeowners Association, Inc. and shall be maintained by the individual lot owners; provided, however, if the lot owners fail to maintain, then Bridlewood Homeowners Association, Inc. shall have the right to maintain pursuant to the Declaration of Covenants and Restrictions for Bridlewood Subdivision. No obstructions, modifications or changes to the swales within any drainage easement areas are allowed by the lot owners, their guests or invitees.
- The Utility Easements are hereby dedicated to the City of Apopka, Florida and the perpetual use of the public.
- All platted utility easements shall also be easements for the construction, installation, maintenance, and operation of cable television services; provided, however, no such construction, installation, maintenance, and operation of cable television services shall interfere with the facilities and services of an electric, telephone, gas, or other public utility. In the event a cable television company damages the facilities of a public utility, it shall be solely responsible for the damages. This paragraph shall not apply to those private easements granted to or obtained by a particular electric, telephone, gas, or other public utility. Further, such construction, installation, maintenance, and operation shall comply with the National Electrical Safety Code as adopted by the Florida Public Service Commission.
- An emergency access easement to the retention ponds and all drainage easements shown hereon is hereby granted to the City of Apopka, Florida for emergency maintenance purposes. An emergency access easement will not impose any obligation, burden, or responsibility of liability upon the City of Apopka, Florida to enter upon the property it does not own or take any action to maintain or repair the drainage system on the property.

Notice:

This plat, as recorded in its graphic form, is the official depiction of the subdivided lands described herein and will in no circumstances be supplanted in authority by any other graphic or digital form of the plat. There may be additional restrictions that are not recorded on this plat that may be found in the public records of this city.



Benchmark Surveying & Mapping, LLC
 Certificate of Authorization Number - LB-7874
 Post Office Box 771065, Winter Garden, Florida 34777-1065
 3110 Red Fox Run, Kissimmee, Florida 34746
 (407) 654-6183
 www.benchmarksurveyingandmapping.com

Bridlewood Subdivision DEDICATION

KNOW ALL MEN BY THESE PRESENTS, that the undersigned being the owner in fee simple of the lands described in the foregoing caption to this plat, does hereby dedicate said lands and plat for the uses and purposes therein expressed and dedicate the street right of way, Tract F (lift station) and the utility easements to the City of Apopka, Florida and the perpetual use of the public.

IN WITNESS WHEREOF, the undersigned has caused these presents to be signed by the officer named below on _____
 AVEX HOMES, LLC, a Florida limited liability company

By: _____
 Print name: _____ Title: _____

Signed in the presence of:
 Sign Name: _____ Sign Name: _____
 Print Name: _____ Print Name: _____

STATE OF _____
 COUNTY OF _____
 The foregoing instrument was acknowledged before me this _____ day of _____, 2018, by _____
 AVEX HOMES, LLC, a Florida limited liability company on behalf of the company. He [is personally known to me] [has produced _____ as identification]

Notary Signature _____
 Printed Notary Name _____
 Commission # _____
 Expiration Date _____

CERTIFICATE OF SURVEYOR

KNOW ALL MEN BY THESE PRESENTS, that the undersigned, being a licensed and Professional Land Surveyor, does hereby certify that on October 16, 2017, he completed the survey of said lands shown in the foregoing plat and said survey was made under his responsible direction and that the permanent reference monuments have been placed as required by Chapter 177, Florida Statutes; and that said land is located in the City of Apopka, Florida.
 Signed _____ Date _____
 EBY Joe Jenkins, Jr.
 Florida Professional Surveyor and Mapper License Number 5205
 Benchmark Surveying and Mapping, LLC
 Certificate of Authorization Number 7874
 3110 Red Fox Run, Kissimmee, Florida 34746
 P.O. Box 771065, Winter Garden, Florida 34777-1065

CERTIFICATE OF APPROVAL BY MUNICIPALITY

THIS IS TO CERTIFY, that on _____ the City Council approved the foregoing plat.
 Mayor _____ Date _____

CERTIFICATE OF APPROVAL BY CITY ENGINEER

Examined and approved: _____ Date _____
 City Engineer

CERTIFICATE OF APPROVAL BY THE DEVELOPMENT REVIEW BOARD

THIS IS TO CERTIFY, that on _____ the foregoing plat was approved by the Apopka Land Development Review Committee.
 By: _____ Chairman

CERTIFICATE OF REVIEW BY CITY SURVEYOR

Pursuant to Section 177.081, Florida Statutes, I have reviewed this plat for conformity to Chapter 177 Part 1 of the Florida Statutes and that said plat complies with the technical requirements of that chapter; provided however, that my review does not include field verification of any of the coordinates, points or measurements shown on this plat.
 Signed: _____ Date: _____
 Printed name: Ralph A. Nieto, P.S.M.
 NIETO WHITTAKER SURVEYING, LLC
 Registration Number 6025

CERTIFICATE OF COUNTY COMPTROLLER

I HEREBY CERTIFY that the foregoing plat was recorded in the Orange County Official Records on _____ as File No. _____
 County Comptroller in and for Orange County, Florida.
 By: _____

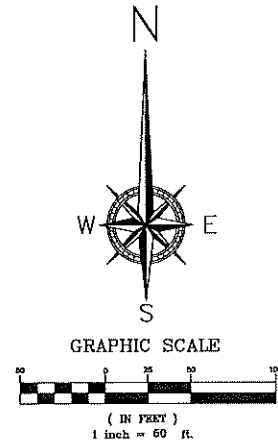
Bridlewood Subdivision

City of Apopka, Orange County, Florida
Section 28, Township 20 South, Range 28 East

Sheet 2 of 3

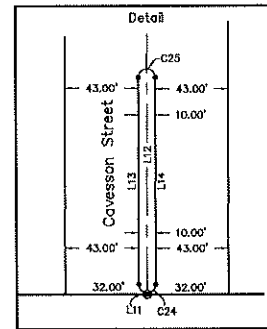
PLAT
BOOK

PAGE



Northwest corner of the Southwest 1/4 of Section 28, Township 20 South, Range 28 East
Recovered 6" x 6" concrete monument under pavement
Certified Corner Record 047930

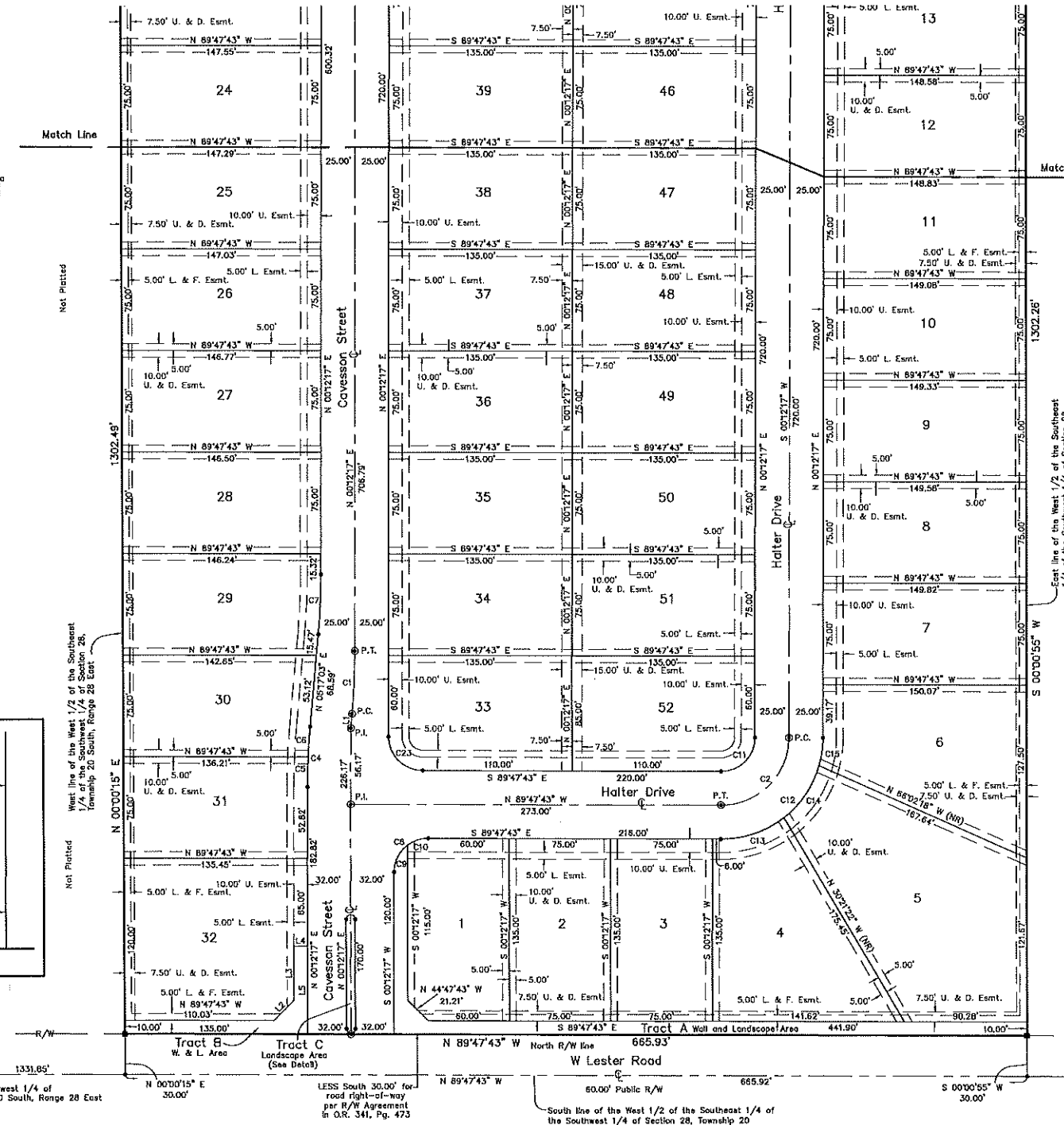
West line of the Southwest 1/4 of Section 28, Township 20 South, Range 28 East



Southwest corner of the Southwest 1/4 of Section 28, Township 20 South, Range 28 East
Recovered 6" x 6" concrete monument in well box
Certified Corner Record 047935

South line of the Southwest 1/4 of Section 28, Township 20 South, Range 28 East

Benchmark Surveying & Mapping, LLC
Certificate of Authorization Number - LB-7874
Post Office Box 771055, Winter Garden, Florida 34777-1055
3110 Red Fox Run, Kissimmee, Florida 34746
(407) 654-6183
www.benchmarksurveyingandmapping.com



- Abbreviations and Legend**
- R/W denotes right of way
 - O.R. denotes Official Records Book
 - Pg. denotes Page(s)
 - PRM denotes permanent reference monument
 - PCP denotes permanent control point
 - PSM denotes Professional Surveyor and Mapper
 - LB denotes Licensed Business
 - LS denotes Land Surveyor
 - (NR) denotes not radial lines
 - P.I. denotes point of intersection
 - P.C. denotes point of curvature
 - P.T. denotes point of tangency
 - P.C.C. denotes point of compound curvature
 - P.R.C. denotes point of reverse curvature
 - U. Esmt. denotes Utility Easement
 - U. & D. Esmt. denotes Utility Drainage Easement
 - L. Esmt. denotes Landscape Easement
 - L. & F. Esmt. denotes Landscape and Fence Easement
 - (TYP) denotes typical
 - denotes 5/8" x 4" x 4" concrete monument and disk stamped PRM 5205, unless otherwise noted
 - denotes set nail and disk stamped PCP - PSM 5205
 - denotes change of direction
 - ⊙ denotes centerline

Line	Bearing	Distance
L1	S 65°17'03" W	10.60'
L2	N 45°12'17" E	21.21'
L3	S 00°12'17" W	40.00'
L4	S 89°47'43" E	10.00'
L5	S 00°12'17" W	65.00'
L11	N 00°12'17" E	1.00'
L12	N 00°12'17" E	131.50'
L13	S 00°12'17" W	121.50'
L14	N 00°12'17" E	121.50'

Number	Radius	Delta	Length	Chord	Chord Bearing
C1	525.00'	5°04'47"	46.54'	46.53'	N 02°44'40" E
C2	50.00'	90°00'00"	78.54'	70.71'	N 45°12'17" E
C4	500.00'	5°04'47"	44.33'	44.31'	S 02°44'40" W
C5	500.00'	2°32'39"	22.18'	22.16'	S 01°26'33" W
C6	500.00'	2°32'14"	22.14'	22.14'	S 04°00'56" W
C7	500.00'	5°04'47"	44.33'	44.31'	S 02°44'40" W
C8	75.00'	90°00'00"	39.27'	35.38'	S 45°12'17" W
C9	25.00'	53°07'48"	23.18'	22.36'	S 26°46'11" W
C10	25.00'	36°52'12"	16.09'	15.61'	S 71°46'11" W
C11	25.00'	90°00'00"	39.27'	35.38'	N 45°12'17" E
C12	75.00'	90°00'00"	112.81'	106.07'	N 45°12'17" E
C13	75.00'	38°13'23"	50.03'	48.11'	S 71°05'56" W
C14	75.00'	35°40'56"	46.71'	45.96'	S 34°08'26" W
C15	75.00'	16°05'41"	21.07'	21.00'	S 08°15'07" W
C24	5.00'	180°00'00"	15.71'	10.00'	S 89°47'43" E
C25	5.00'	180°00'00"	15.71'	10.00'	N 89°47'43" W

South line of the Southwest 1/4 of Section 28, Township 20 South, Range 28 East

Southwest corner of the Southwest 1/4 of Section 28, Township 20 South, Range 28 East
No monument recovered
colored position per Certified Corner Record 066558

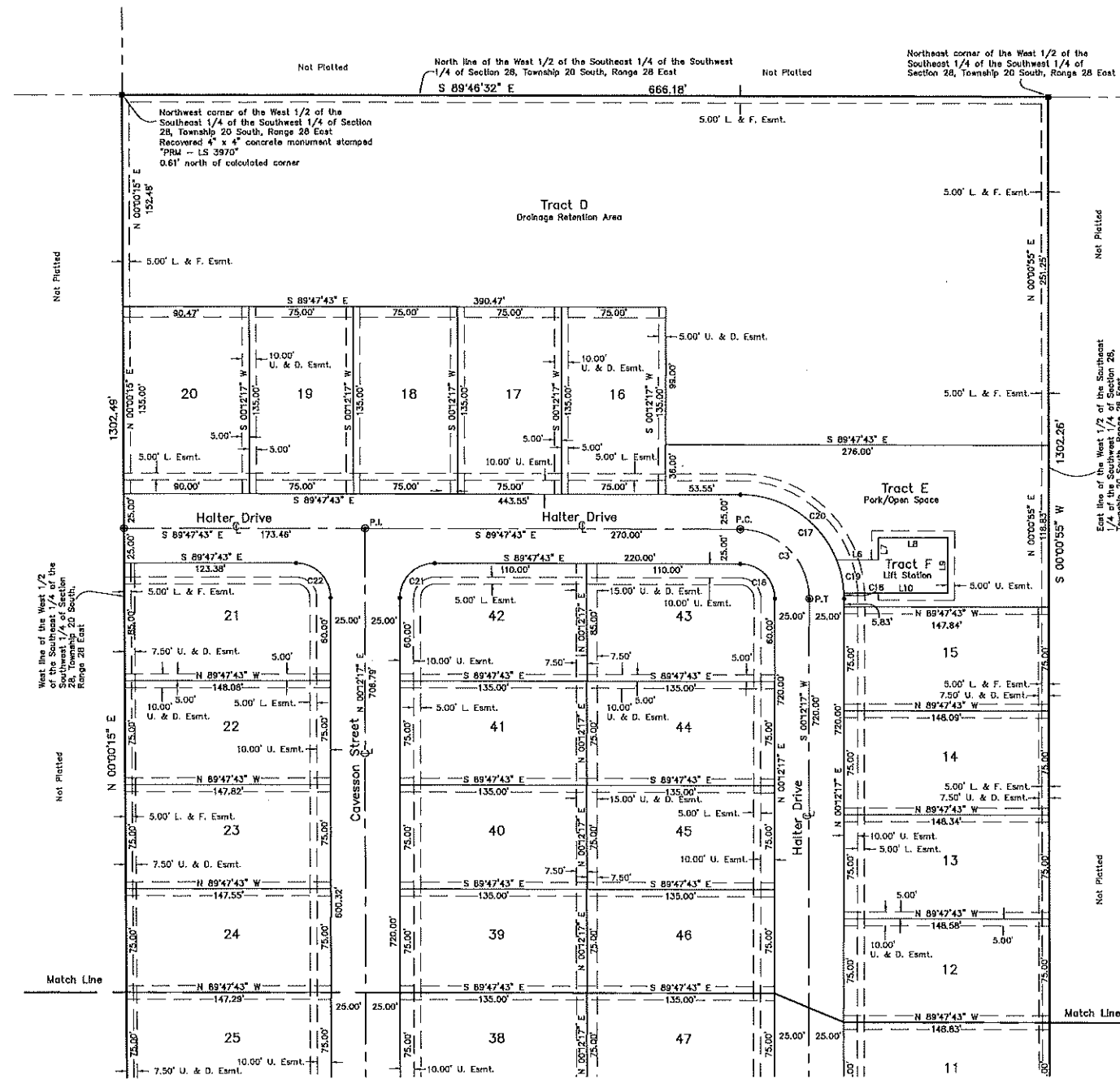
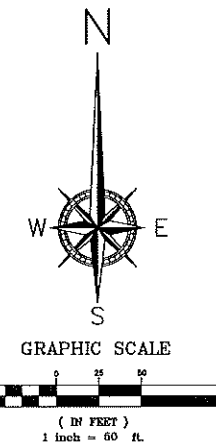
Bridlewood Subdivision

City of Apopka, Orange County, Florida
Section 28, Township 20 South, Range 28 East

Sheet 2 of 3

PLAT
BOOK

PAGE



Abbreviations and Legend

- R/W denotes right of way
- O.R. denotes Official Records Book
- Pg. denotes Page(s)
- PRM denotes permanent reference monument
- PCP denotes permanent control point
- PSM denotes Professional Surveyor and Mapper
- LB denotes Licensed Business
- LS denotes Land Surveyor
- (NR) denotes not radial line
- P.I. denotes point of intersection
- P.C. denotes point of curvature
- P.T. denotes point of tangency
- P.C.C. denotes point of compound curvature
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- L. & F. Esmt. denotes Landscape and Fence Easement
- (TYP) denotes typical
- denotes Set 4" x 4" concrete monument and disk stamped 'PRM PSM 5205', unless otherwise noted
- denotes set rod and disk stamped 'PCP - PSM 5205'
- denotes change of direction
- ⊙ denotes centerline

Line	Bearing	Distance
L6	N 89°47'43" W	30.39'
L7	S 00°12'17" W	18.00'
L8	N 89°47'43" W	50.00'
L9	S 00°12'17" W	45.00'
L10	N 89°47'43" W	76.00'

Number	Radius	Delta	Length	Chord	Chord Bearing
C3	80.00'	90°00'00"	78.54'	70.71'	N 44°47'43" W
C16	25.00'	90°00'00"	39.27'	35.36'	N 44°47'43" W
C17	75.00'	90°00'00"	117.81'	108.07'	N 44°47'43" W
C18	75.00'	311°18'	4.17'	4.17'	S 01°23'22" E
C19	75.00'	165°22'	24.71'	24.59'	S 12°25'15" E
C20	75.00'	87°56'15"	68.83'	63.01'	S 52°49'30" E
C21	25.00'	90°00'00"	39.27'	35.36'	S 44°47'43" W
C22	25.00'	90°00'00"	39.27'	35.36'	S 44°47'43" E
C23	25.00'	90°00'00"	39.27'	35.36'	S 44°47'43" E

Benchmark Surveying & Mapping, LLC
Certificate of Authorization Number - LB-7874
Post Office Box 771085, Winter Garden, Florida 34777-1085
3110 Red Fox Run, Kissimmee, Florida 34746
(407) 654-6183
www.benchmarksurveyingandmapping.com

A photograph of a backyard patio. In the foreground, a black metal chair with a curved backrest holds a large, light-colored cushion with a textured, fringed edge. A brown leather jacket is draped over the chair's arm. To the left, a small black table holds a silver laptop and some papers. In the background, a tall, dark brown vinyl fence with vertical slats and a decorative top rail runs across the frame. To the left of the fence is a stone pillar. The background is filled with dense green foliage.

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EQUESTRIAN CENTER SUBDIVISION

Project № 17093
October 2017

**TRAFFIC IMPACT ANALYSIS
CITY OF AOPKA
FLORIDA**

Prepared by:



Traffic & Mobility Consultants

3101 Maguire Boulevard, Suite 265
Orlando, Florida 32835
www.trafficmobility.com
(407) 531-5332

Prepared for:

Appian Engineering
2221 Lee Road, Suite 17
Winter Park, Florida 32789

EXECUTIVE SUMMARY

This traffic analysis was performed to assess the impact of the proposed Equestrian Center Subdivision. The site is located on Lester Road, east of Vick Road and west of Rock Springs Road, in the City of Apopka, Florida. The property will include a total of 52 single family units.

The analysis evaluated project impacts to roadway segments and intersections within the primary site's influence area and a preliminary access review. The results of the analysis as documented herein are summarized below:

- The proposed development will generate a new daily traffic volume of 576 vehicle trips, of which 46 trips will occur in the AM peak hour and 58 trips will occur in the PM peak hour.
- Analysis of roadway segment capacity reveals that all study segments currently operate within their adopted capacity except for the northbound approach at Vick Road.
- Analysis of the study intersections indicates that they currently operate at adequate LOS and are projected to continue to do so at project buildout, except northbound on Vick Road. It should be noted that the project's impact on the backlogged roadway segment is less than 2% of the roadway's current capacity.
- A review of the project driveway at Lester Road and the required turn lane treatments reveals that turn deceleration lanes on Lester Road are not warranted or necessary to serve the projected traffic.
- ***The proposed development does not adversely impact traffic operations in the vicinity of the site.***



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: Final Development Plan

MEETING OF: September 5, 2018
 FROM: Community Development
 EXHIBITS: Vicinity Map
 Zoning Map
 Aerial Map
 IHOP Restaurant FDP
 Architectural Renderings
 Access & Utility Easement

SUBJECT: IHOP RESTAURANT – FINAL DEVELOPMENT PLAN

REQUEST: APPROVE THE FINAL DEVELOPMENT PLAN FOR IHOP RESTAURANT

SUMMARY:

OWNER/APPLICANT: Calmil Investment Group LP 95% Int Kenneth Lee Jureit Trust 5% Int

ENGINEER: Rogers Engineering, LLC, c/o Wallace L. Brinkman III, P.E.

LOCATION: 1120 West Orange Blossom Trail

PARCEL ID #s: 05-21-28-0000-00-025 (portion)

FUTURE LAND USE: Commercial

ZONING: C-2 (General Commercial)

EXISTING USE: Vacant

PROPOSED USE: Restaurant

TRACT SIZE: 2.25 +/- acres

BUILDING SIZE: 4,500 square feet

FLOOR AREA RATIO 0.046 (0.25 Maximum)

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Commercial	PUD (Commercial)	Automobile Service Station and Multi-tenant Center
East (City)	Commercial	C-1 (Retail Commercial)	Retention Pond
South (County and City)	Residential	County I-4 (Heavy Industrial District) and City R-1 (Residential Single-Family District)	Railroad and Single Family Residential Subdivision (Poe Reserve)
West (City)	Commercial	C-2 (General Commercial District)	Retail Sales

PROJECT SUMMARY: This is a request to approve the IHOP Restaurant – Final Development Plan that includes a building size of 4,500 square feet. A preliminary development plan is not required for development proposing less than 10,000 sq. ft. of building floor area.

PARKING: Per Land Development Code parking requirements, 48 parking spaces are required while the applicant is proposing 70 parking spaces, four of which are reserved as a handicapped accessible spaces.

ACCESS/TRANSPORTATION: The site will have access to U.S. 441 via a full access at the northern end through cross-access easement within the Verizon Store and AutoZone parcels, and two access driveways along U.S. 441 within the IHOP site, one full-access and one right-in, right-out only.

AutoZone and IHOP are proposed on a single parcel and will share all access; accordingly, a single transportation impact analysis (TIA) was submitted to evaluate the combined impacts of AutoZone and IHOP on the surrounding roadway segments and intersections. Included in the analysis were segments of U.S 441/W Orange Blossom Trail, Errol Parkway, Lake Doe Boulevard, and Old Dixie Highway. Intersections analyzed were U.S. 441/W Orange Blossom Trail and Vick Road; U.S. 441/W Orange Blossom Trail and Errol Parkway; Old Dixie Highway and Errol Parkway; Old Dixie Highway and Vick Road; Lake Doe Boulevard site entrance; and U.S. 441/W Orange Blossom Trail site entrances.

The projects will generate 503 daily and 44 P.M. Peak Hour Net New trips. The addition of these project trips to the study roadways and intersections will not cause the Level of Service (LOS) to fall below the City’s adopted LOS standard.

Right and left turn warrant analyses were conducted for the site entrances on U.S. 441 and concluded that turn lanes are not needed to safely accommodate project traffic.

Both access driveways on U.S. 441/W Orange Blossom Trail are required for the site at the time of development of either project if they are not developed simultaneously.

EXTERIOR ELEVATIONS: The height of the proposed building is 27 feet, well below the maximum allowable height of 35 feet. Staff has found the proposed building elevations meet the intent of the City’s Development Design Standards\Guidelines.

STORMWATER: The stormwater management system includes an on-site retention area, on the southern portion of the project site. The stormwater pond design meets the City’s Land Development Code requirements.

BUFFER/SCREENING/LANDSCAPING/TREE PROGRAM: As part of the development plan approval, Ligustrum and Crepe Myrtles, and Indian Hawthorn shrubs line the 10-foot wide buffer adjacent to the U.S. Highway 441. Magnolias are placed in the parking landscaped islands

Arbor Assessment

Total inches on-site (before removal):	161
Total specimen inches removed	56
Total non-specimen inches removed	95
Total inches retained:	10
Total inches added:	281
Total inches post development:	291

CONDITION OF APPROVAL: All access driveways must be constructed and all associated cross access easements must be recorded across both the IHOP and AutoZone sites prior to issuance of a certificate of occupancy on either site.

PUBLIC HEARING SCHEDULE:

August 14, 2018 – Planning Commission, 5:30 pm

September 5, 2018 – City Council, 1:30 pm

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the IHOP Restaurant Final Development Plan, subject to the findings of this staff report.

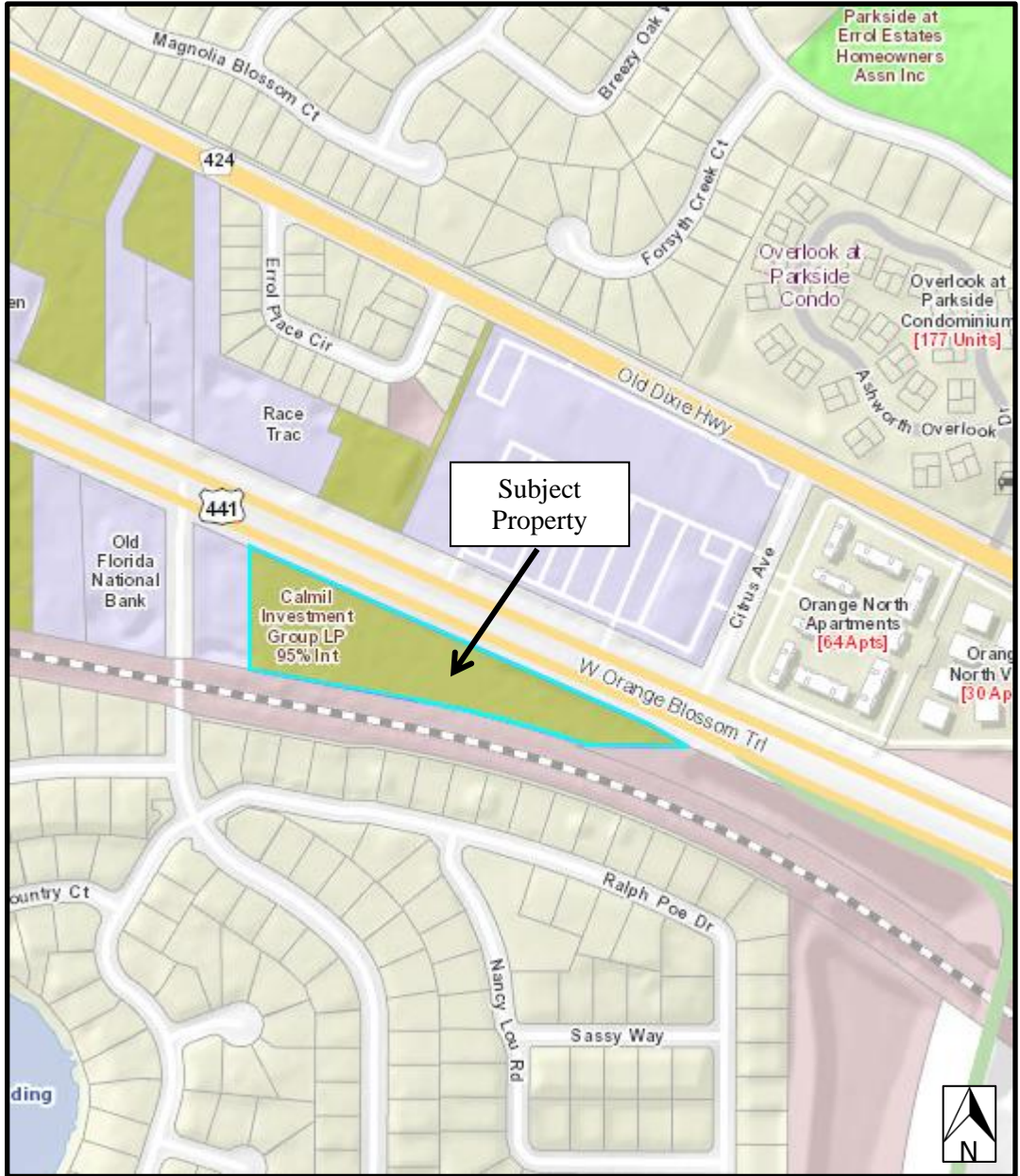
The **Planning Commission**, at its meeting on August 14, 2018, found the IHOP Restaurant Final Development Plan consistent with the Land Development Code and Comprehensive Plan; and unanimously recommended approval of Final Development Plan, subject to the findings of this staff report.

City Council: Approve the IHOP Restaurant Final Development Plan.

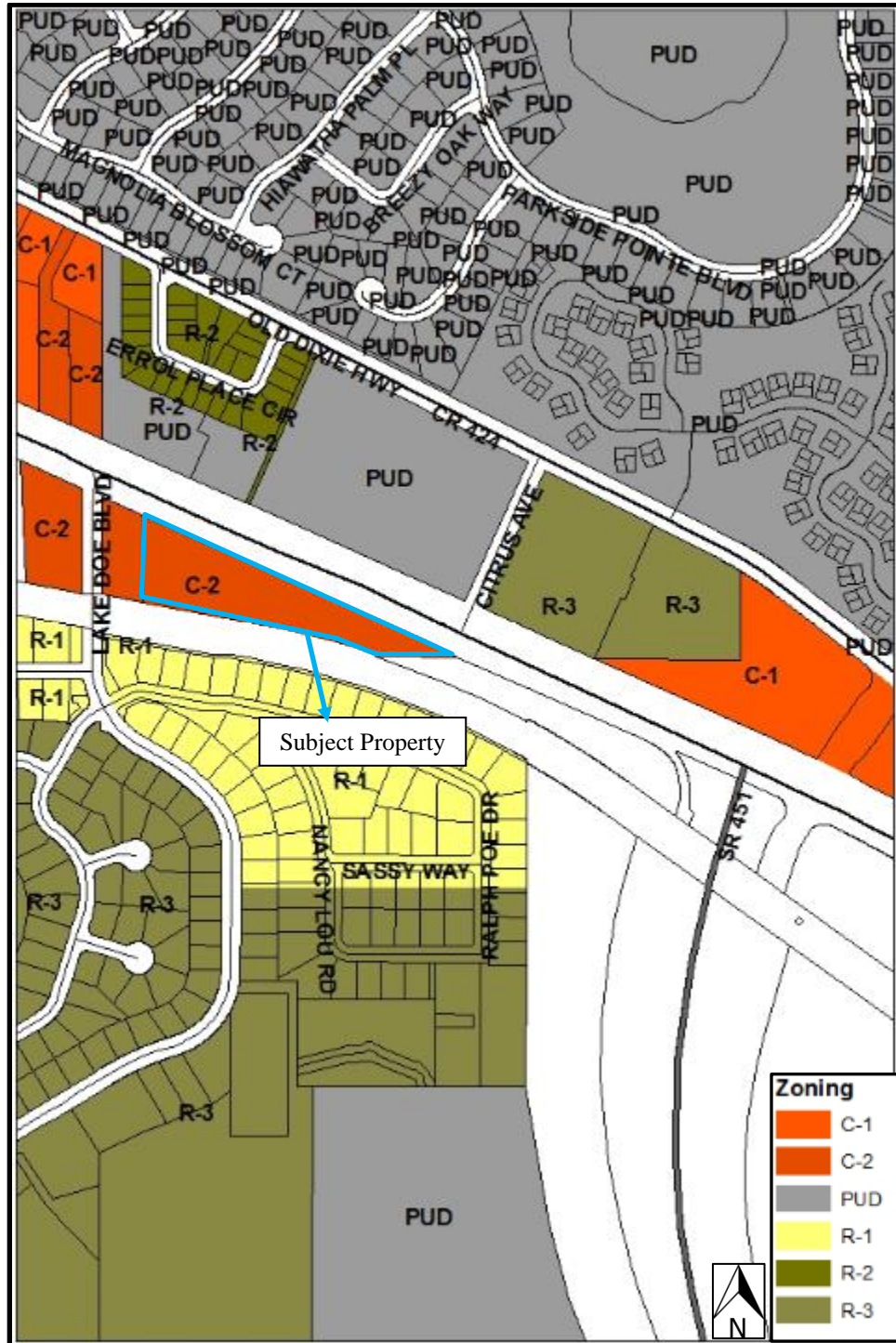
Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Application: IHOP Restaurant Final Development Plan
Owner/Applicant: Calmil Investment Group LP 95% Int; Kenneth Lee Jureit Trust 5% Int
Engineer: Rogers Engineering, LLC, c/o Wallace L. Brinkman III, P.E.
Location: 1120 West Orange Blossom Trail
Parcel I.D. #: 05-21-28-0000-00-025
Total Site Area: 3.30 acres +/-

VICINITY MAP



ZONING MAP



AERIAL MAP



A FINAL DEVELOPMENT PLAN FOR



1120 W. Orange Blossom Trail Apopka, Florida

PROJECT TEAM

DEVELOPER:

RETAIL DEVELOPMENT PROPERTIES, LLC
140 E. MORSE BLVD. #J
WINTER PARK, FLORIDA 32789
PHONE: 407-766-1000
CONTACT: ROBERT GIERKE
EMAIL: rgierke@retaildevelopmentproperties.com

CIVIL ENGINEER:

ROGERS ENGINEERING, LLC
1105 S.E. 3RD AVE.
OCALA, FLORIDA 34471
PHONE: 352-622-9214
CONTACT: WALLY BRINKMAN, P.E.
EMAIL: wbrinkman@rogerseng.com

OWNER:

CALMIL INVESTMENT GROUP LP (95% INT.)
KENNETH LEE JUREIT TRUST (5% INT.)
5905 MORAY CT NW
CONCORD, NC 28027
PHONE: 704-787-9017
CONTACT: KENNETH JUREIT
EMAIL: kj54@carolina.rr.com

SURVEYOR:

ROGERS ENGINEERING, LLC
1105 S.E. 3RD AVE.
OCALA, FLORIDA 34471
PHONE: 352-622-9214
CONTACT: RODNEY ROGERS, P.S.M.
EMAIL: rrogers@rogerseng.com

ARCHITECT:

SOFARELLI & ASSOCIATES ARCHITECTURE, INC.
6385 142ND AVENUE NORTH
CLEARWATER, FLORIDA 33760
PHONE: 727-530-3535
CONTACT: MICHAEL SOFARELLI, JR., A.I.A.
EMAIL: sofarell@verizon.net

LANDSCAPE ARCHITECT:

EDK - ENVIRONMENTAL DESIGN
1920 S.E. 8TH ST.
OCALA, FLORIDA 34478
PHONE: 352-622-8899
CONTACT: ANDY KESSELRING, P.L.A., A.S.L.A., I.S.A.
EMAIL: akesslerin@aol.com

GENERAL NOTES:

- ON-SITE ASPHALT PAVEMENT SHALL BE 1.5" TYPE SP-9.5 ASPHALT OVER 6" LIMEROCK BASE (LBR 100-98% DENSITY) OVER 12" STABILIZED SUBGRADE (LBR 40-98% DENSITY). CONCRETE WALKS SHALL BE 4" THICK, 3,000 PSI WITH FIBER MESH. EXPANSION JOINTS SHALL BE 10 FT O.C. WITH CONSTRUCTION JOINTS AT 5 FT O.C.
- ALL CONCRETE SHALL BE 3000 P.S.I. - 28 DAY STRENGTH.
- ALL GROUND AREAS DISTURBED BY CONSTRUCTION SHALL BE IMMEDIATELY SODDED FOLLOWING FINAL GRADING. ALLOW FOR THICKNESS OF SOD WITH A 2-INCH UNDERCUT. SOD SHALL BE ARGENTINA BAHIA UNLESS OTHERWISE NOTED ON LANDSCAPE PLAN, AND SHALL BE REGULARLY WATERED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION DURATION.
- TO PREVENT EROSION DURING CONSTRUCTION, SILT FENCING SHALL BE INSTALLED AS INDICATED ON THE TREE REMOVAL & EROSION CONTROL PLAN AND MAINTAINED UNTIL THE COMPLETION OF SODDING AND LANDSCAPING.
- ALL STRIPING SHALL BE 6" WIDE TRAFFIC PAINT, UNLESS OTHERWISE INDICATED, APPLIED WITH DOUBLE COAT A MINIMUM OF 24 HOURS APART. ALL STOP BARS SHALL BE LEAD FREE THERMOPLASTIC.
- ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT THE SITE VIA THE GRAVEL CONSTRUCTION ENTRANCE SHOWN ON THE TREE REMOVAL & EROSION CONTROL PLAN.
- IRRIGATION SHALL BE PROVIDED FOR 100% OF THE SITE'S OPEN SPACE THROUGH THE ESTABLISHMENT PERIOD.
- ALL STORM WATER MANAGEMENT SYSTEMS SHALL BE COMPLETED PRIOR TO THE CONSTRUCTION OF IMPERVIOUS AREAS.
- ALL UTILITY CONSTRUCTION SHALL MEET THE CURRENT CITY OF APOPKA STANDARDS.
- LIGHT POLE FIXTURES CANNOT EXCEED THE HEIGHT OF THE BUILDING.
- LIGHT POLE FOOTERS CANNOT BE EXPOSED ABOVE FINISH GRADE.
- NO OUTDOOR STORAGE OR DISPLAY WILL OCCUR UNLESS AN AREA IS DESIGNATED AS SUCH.

LEGEND

C.M.	CONCRETE MONUMENT
I.R.	IRON ROD
R/W	RIGHT OF WAY
E/P	EDGE OF PAVEMENT
C/L	CENTERLINE
D or A	CENTRAL ANGLE
R	RADIUS
L	ARC LENGTH
CB	LENGTH OF CHORD
SEC.	CHORD BEARING
TWP.	SECTION
RGE.	TOWNSHIP
(P)	RANGE
(T)	PLAT MEASUREMENT
+	FIELD MEASUREMENT
—	UTILITY POLE AND GUY ANCHOR
—	OVERHEAD WIRES
—	FENCE
CONC.	CONCRETE
—	TREE (SEE TREE SCHEDULE)
—	GROUND CONTOUR
T.B.M.	TEMPORARY BENCHMARK
F.F.	FINISH FLOOR
ELEV.	ELEVATION
INV.	INVERT
ES-1	EXISTING STRUCTURE
RS-1	REMOVED STRUCTURE
CMP	CORRUGATED METAL PIPE
ROP	REINFORCED CONCRETE PIPE
C.O.	CLEAN-OUT
G.I.	GREASE INTERCEPTOR
PVC	POLYVINYL CHLORIDE



SECTION 5, TOWNSHIP 21 S., RANGE 28 E.
LOCATION MAP

SHEET INDEX

SHEET NO.	CONTENTS
C0.0	TITLE SHEET
C1.0	BOUNDARY & TOPOGRAPHIC SURVEY
C2.0	EROSION CONTROL & TREE REMOVAL PLAN
C2.1	STORMWATER POLLUTION PREVENTION PLAN
C3.0	SITE LAYOUT PLAN
C4.0	PAVING, GRADING, & DRAINAGE PLAN
C5.0	UTILITY PLAN
C6.0	F.D.O.T. DRIVEWAY CONNECTION PLAN
C6.1	F.D.O.T. TURN LANE PLAN
C7.0	GENERAL CONSTRUCTION DETAILS
C7.1	PRIVATE LIFT STATION DETAILS
C8.0-C8.1	CITY OF APOPKA STANDARD DETAILS
C9.0	VEHICLE ROUTING PLAN
C10.0	EASEMENT PLAN
L001-L002	LANDSCAPE PLAN
L003-L004	IRRIGATION PLAN
L005	LANDSCAPE & IRRIGATION NOTES
E-6	SITE PHOTOMETRIC PLAN
E-6.1	SITE PHOTOMETRIC DETAILS PLAN



SITE DATA:

PROJECT NAME: IHOP RESTAURANT
PARCEL NO.: 05-21-28-0000-00-025
OVERALL PARCEL AREA: 3.32 ACRES (144,593 S.F.)
PROJECT AREA: 2.25 ACRES (97,912 S.F.)
LAND USE/ZONING: COMMERCIAL/C-2
PROPOSED USE: RESTAURANT
THIS SITE IS NOT LOCATED IN A FLOOD ZONE PER FEMA MAP NUMBER 12095C0120F

IMPERVIOUS AREA CALCULATIONS:
PROJECT AREA: 97,912 S.F. (2.25 ACRES)
PROPOSED IMPERVIOUS AREA
BUILDING 4,500 S.F.
PVT & CONC 42,064 S.F.
TOTAL = 46,564 S.F. (47.6%)
PERVIOUS = 51,348 S.F. (52.4%)

PARKING CALCULATIONS:

GENERAL COMMERCIAL:
1 SPACE/4 FIXED SEATS
179 FIXED SEATS/4 FIXED SEATS = 45 SPACES
TOTAL PARKING REQUIRED: 45 SPACES
PARKING SPACES PROVIDED: 70 SPACES
HANDICAP PARKING REQUIRED:
1 SPACE/25 SPACES = 3 H/C SPACE
HANDICAP PARKING PROVIDED:
4 H/C SPACE

SITE DATA TABLE				
PARCEL ID NUMBER	05-21-28-0000-00-025			
FUTURE LAND USE	COMMERCIAL			
ZONING	C-2			
ACREAGE/S.F.	2.25/97,912			
BUILDING HEIGHT	27 FT			
FLOOR AREA RATIO	4,500/97,912 = 0.046			
BUILDING SETBACKS	PROPOSED	FRONT: 80 FT	SIDE: 79 FT	REAR: 29 FT
	REQUIRED	FRONT: 10 FT	SIDE: 10 FT	REAR: 10 FT
PARKING SPACES	PROVIDED: 70	REQUIRED: 45 (1 SPACE / 4 FIXED SEATS)		
TREE BANK MITIGATION FEE	N/A			
WAVER REQUEST	NO			
VARIANCE REQUEST	NO			

DRAINAGE CERTIFICATION:

THE REQUIRED DRAINAGE PATTERNS AND STORAGE CAPACITY OF THE RETENTION AREAS ARE NOT ADVERSELY AFFECTED BY THE ADDITIONAL USE OF LAND WITHIN THE BUFFER YARDS.

STATEMENT OF INTENDED USE:

THIS PROJECT CONSISTS OF CONSTRUCTING A 4,500 S.F. RESTAURANT BUILDING WITH PAVED PARKING AND DRIVEWAY ACCESS TO US 441.

NOTICE!

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE THE MOST CURRENT APPROVED PLANS PRIOR TO CONSTRUCTION.

250



06/29/18
WALLACE L. BRINKMAN III
PROFESSIONAL ENGINEER
REGISTRATION NO. 82306
STATE OF FLORIDA

REVISION	DATE

Wallace L. Brinkman III, PE
Fl. Reg. No. 82306
wbrinkman@rogerseng.com
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rrogers@rogerseng.com
Robert L. Rogers, PE
Fl. Reg. No. 10027
rrogers@rogerseng.com

ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying
1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 622-9214 • Lic. Bus. #4074

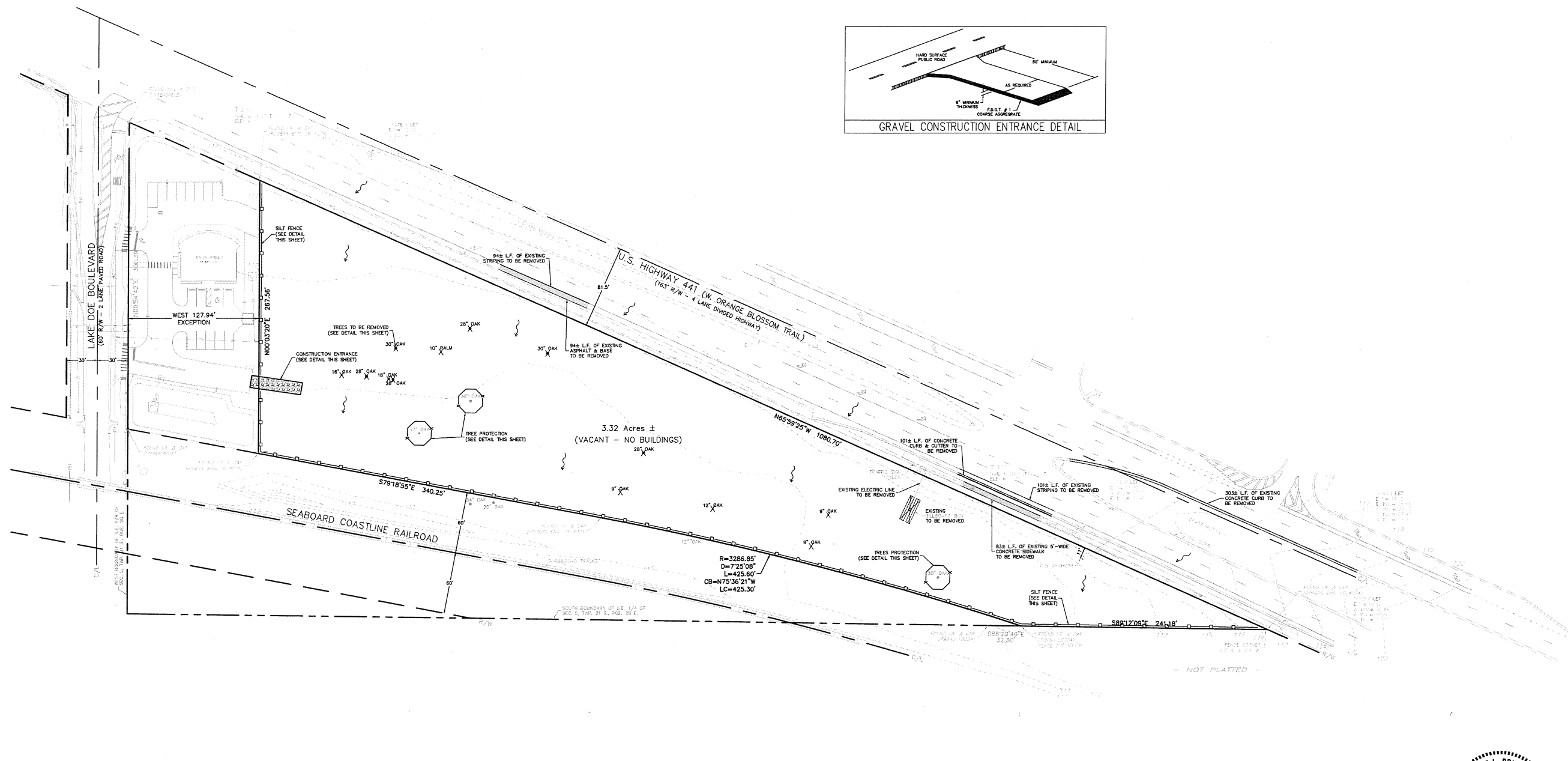
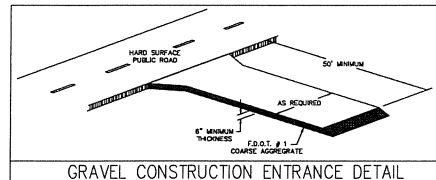
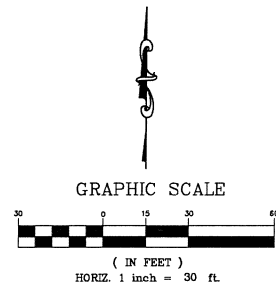
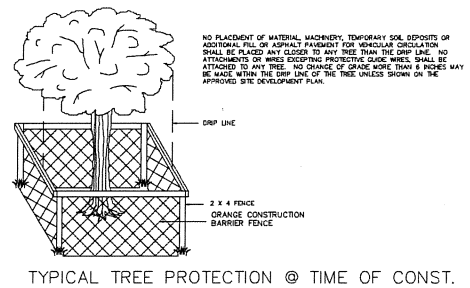
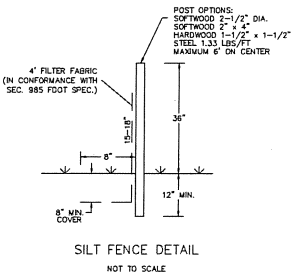
A FINAL DEVELOPMENT SITE PLAN
FOR
IHOP
CITY OF APOPKA, FLORIDA
Title Sheet

JOB No.
18_052128000000025

DATE
06-29-2018

SCALE
AS SHOWN

SHEET
C0.0

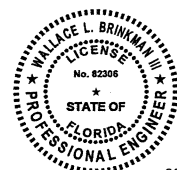
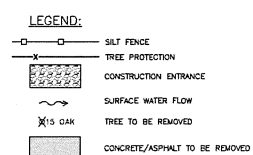


EROSION CONTROL NOTES:

- PRIOR TO ANY CLEARING ACTIVITIES, THE CONTRACTOR SHALL HAVE ALL ON-SITE UTILITIES LOCATED.
- THE SILT FENCE SHALL BE INSTALLED BEFORE ANY CONSTRUCTION ACTIVITIES AND MAINTAINED UNTIL ALL DISTURBED AREAS ARE SOODED.
- ALL CONSTRUCTION VEHICLES SHALL ENTER THE PROJECT AREA VIA THE GRAVEL CONSTRUCTION ENTRANCE. THERE SHALL BE NO CONSTRUCTION ACTIVITIES, MACHINERY, OR VEHICLES BEYOND THE INTERIOR OF THE PROJECT AREA.
- THE CONTRACTOR SHALL PERIODICALLY SWEEP EXISTING ON-SITE PAVED SURFACES AS WELL AS ALL ADJUTING CITY STREETS, COUNTY ROADS, AND STATE HIGHWAYS TO KEEP THOSE SURFACES IN A SUBSTANTIALLY SOUND-TO-SEE CONDITION. SWEEPING SHALL BE DONE ON A PERIODIC, AS-NEEDED BASIS THROUGHOUT THE WORK WEEK INCLUDING, MOST IMPORTANTLY, AFTER EVERY RAIN EVENT AND EVERY FRIDAY AFTERNOON PRIOR TO CEASING WORK FOR THE WEEK.
- ALL MATERIALS, MACHINERY, AND VEHICLES SHALL BE STORED ON-SITE IN AN ORDERLY, ORGANIZED FASHION.
- CONTRACTOR SHALL DEVELOP AND IMPLEMENT A PLAN TO ASSURE THAT ALL DEBRIS RESULTING FROM THE CLEARING, SUCH AS LIMBS, STUMPS AND UNDERBRUSH, ARE PROPERLY CONTROLLED WHILE ON-SITE AND TRANSPORTED AND DISPOSED OF (OFF-SITE) IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. NO WASTE MATERIALS OF ANY KIND ARE PERMITTED TO BE BURIED ON-SITE OR DISCHARGED TO SURFACE WATERS OF THE STATE OR TO THE FOOT STORM WATER SYSTEM.

PRE-CONSTRUCTION TREE PROTECTION:

- THE OWNER SHALL BE RESPONSIBLE FOR INSURING THAT ALL MEASURES ARE TAKEN TO AVOID DAMAGE TO TREES NOT APPROVED FOR REMOVAL.
- PRIOR TO ANY CLEARING, GRUBBING, OR ANY CONSTRUCTION, TREE PROTECTION BARRICADES SHALL BE ERECTED AROUND ALL TREES, OR GROUPS OF TREES, WITHIN THE CONSTRUCTION AREA WHICH ARE TO BE PRESERVED.
- TREE PROTECTION SHALL CONTINUE DURING THE COURSE OF CONSTRUCTION. THE FOLLOWING REQUIREMENTS SHALL BE CONDITIONS OF TREE REMOVAL PERMITS, ALL PERMITS FOR CONSTRUCTION IN PUBLIC RIGHTS-OF-WAY, AND ALL DEVELOPMENT PERMITS ISSUED UNDER AND PURSUANT TO THIS CODE:
 - THE CLEARING OF CONSTRUCTION EQUIPMENT OR MATERIAL, OR THE DISPOSAL OF WASTE MATERIALS INCLUDING BUT NOT LIMITED TO, PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, AND WORTH WITHIN THE TPZ OF ANY TREE WHICH IS BEING PROTECTED IS NOT ALLOWED.
 - THE MOVEMENT OF EQUIPMENT OR THE STORAGE OF EQUIPMENT, MATERIALS, DEBRIS, OR FILL WITHIN THE TPZ OF ANY TREE WHICH IS BEING PROTECTED IS NOT ALLOWED.
 - THE CONTRACTOR SHALL INSPECT ALL TREE PROTECTION BARRICADES AND SIGNS ON A WEEKLY BASIS DURING THE COURSE OF CONSTRUCTION. ANY BARRICADE OR SIGN WHICH HAS BEEN DAMAGED OR IS MISSING SHALL BE REPLACED IMMEDIATELY.
 - IF ANY TREE WHICH HAS NOT BEEN APPROVED TO BE REMOVED IS DESTROYED, OR RECEIVES MAJOR DAMAGE DURING CONSTRUCTION, WITH THE EXCEPTION OF REPLACING ITS LONG TERM SURVIVAL IN QUESTION, THE TREE(S) MUST BE REPLACED AT AN INCH-TO-INCH BASIS OF THE TOTAL (COMBINED) DBH OF THE TREE(S) SO AS TO ESTABLISH A REPLACEMENT VALUE FOR SUCH TREES AND PAYMENT INTO THE TREE MITIGATION FUND MAY BE AUTHORIZED BY THE CITY'S LANDSCAPE ARCHITECT.



WALLACE L. BRINKMAN III
PROFESSIONAL ENGINEER
REGISTRATION NO. 82306
STATE OF FLORIDA

06/29/18 DATE

A FINAL DEVELOPMENT SITE PLAN
FOR
IHOP
CITY OF APOPKA, FLORIDA
Erosion Control & Tree Removal Plan

JOB No. 18_052126000000025

DATE 06-29-2018

SCALE AS SHOWN

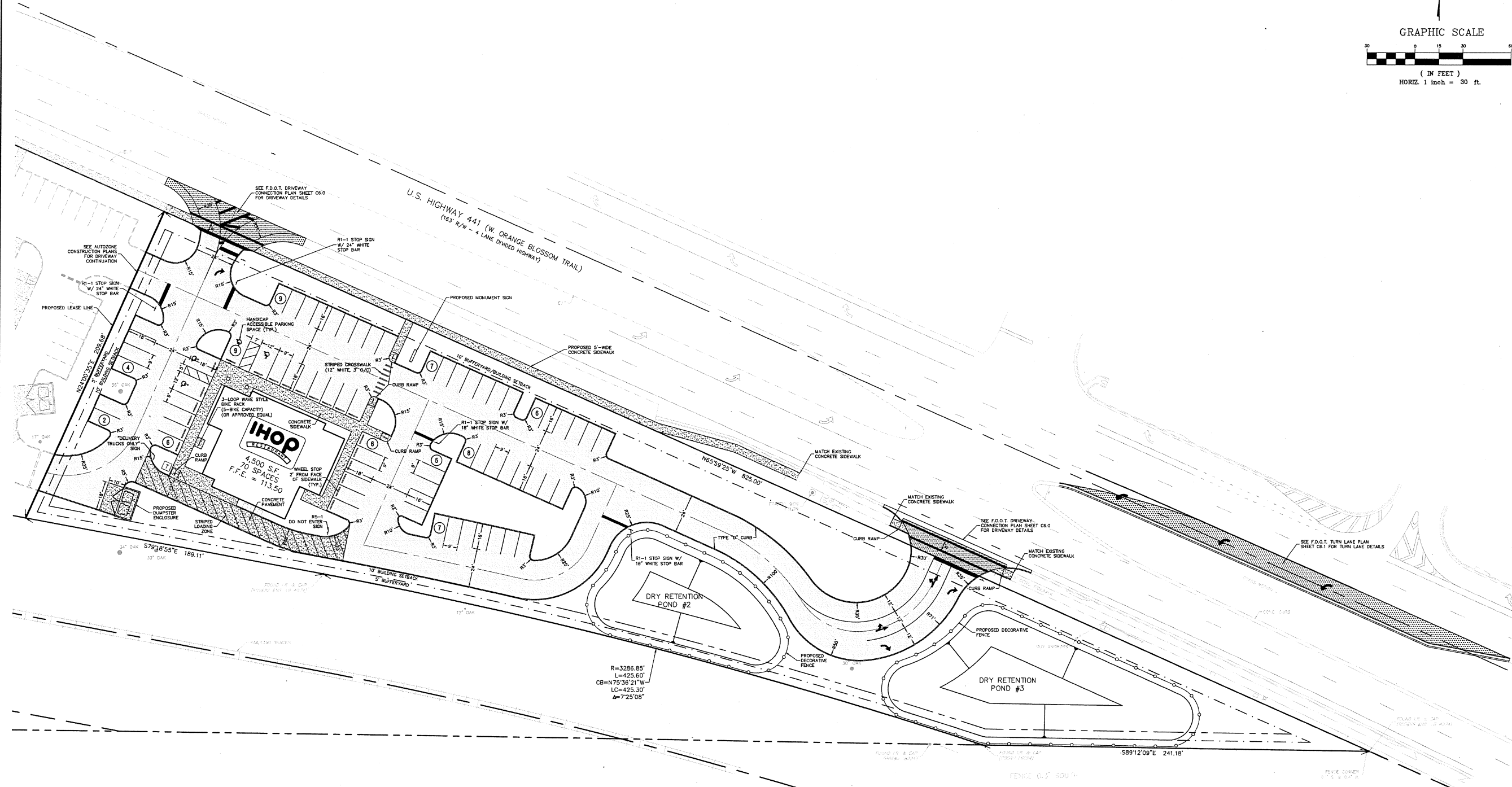
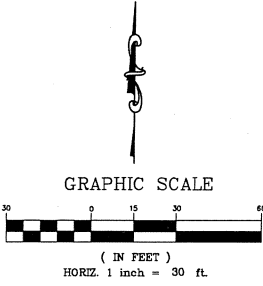
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DATE



NOTES:
 1. ALL REQUIRED FENCING SHALL BE OF A DECORATIVE TYPE AND SHALL BE IN KEEPING WITH THE REQUIRED BUFFER TREATMENTS, CHARACTER, AND ARCHITECTURE OF THE PROJECT. CHAIN-LINK AND/OR STOCKADE FENCING SHALL NOT BE USED.
 2. THE WALL AND GROUND SIGNS ARE TO BE PERMITTED SEPARATELY.

LEGEND:

	NUMBER OF PARKING SPACES
	PROPOSED ASPHALT PAVEMENT
	PROPOSED FDOT ASPHALT PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	EXISTING TREE



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 STATE OF FLORIDA

DATE 06/29/18

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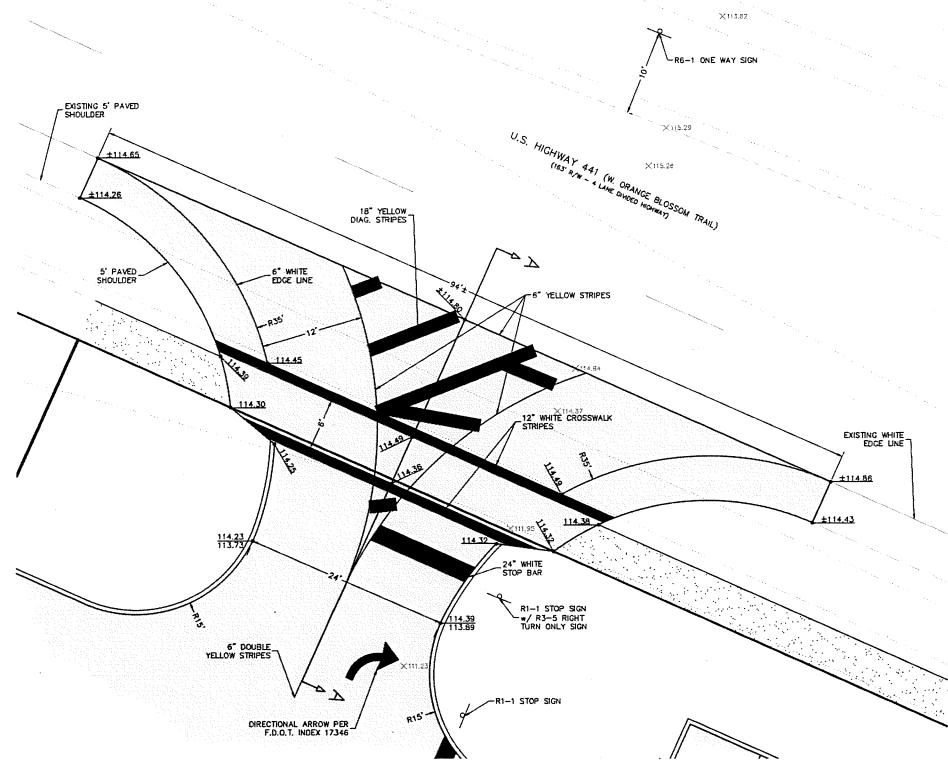
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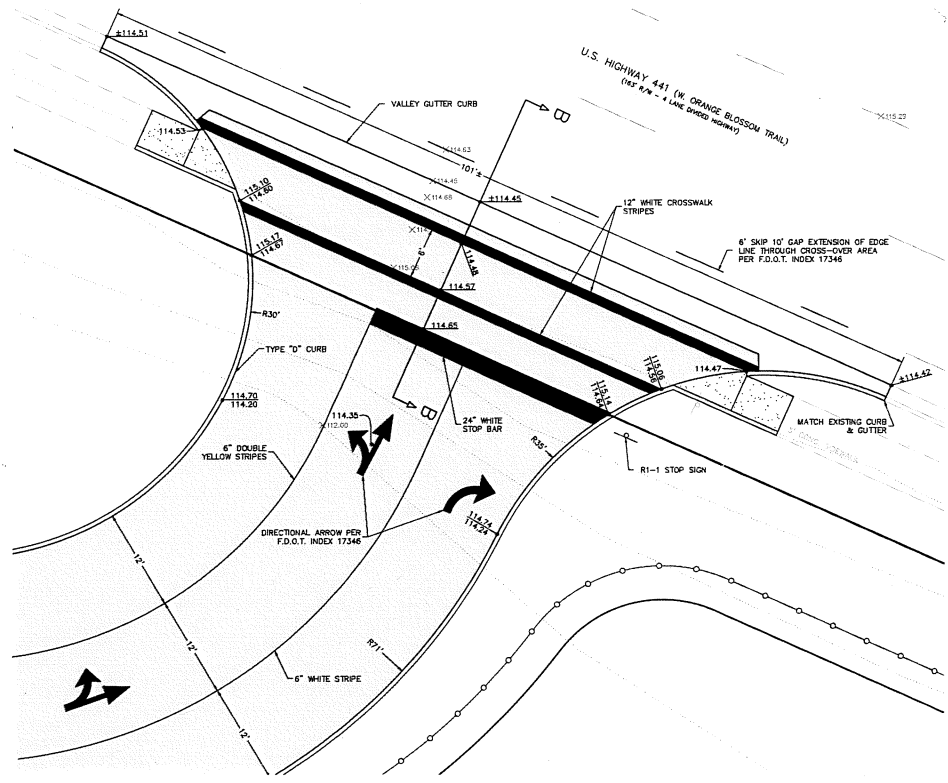
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A FINAL DEVELOPMENT SITE PLAN
 FOR
 IHOP
 CITY OF APOPKA, FLORIDA
 Site Layout Plan

JOB No. 18_052128000000025
DATE 06-29-2018
SCALE AS SHOWN
SHEET C3.0



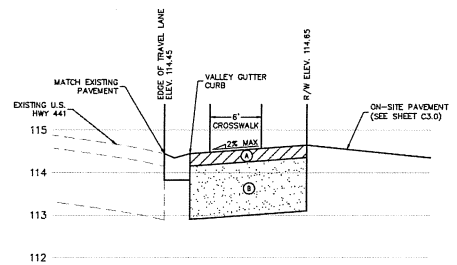
STRIPING & SIGNAGE PLAN
SCALE: 1"=10'



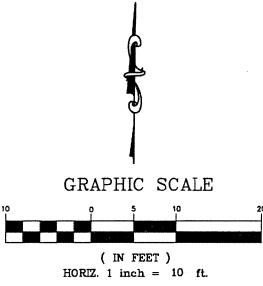
STRIPING & SIGNAGE PLAN
SCALE: 1"=10'

SECTION A-A
HORZ: 1"=10'
VERT: 1"=2'

- MATERIAL REQUIREMENTS:**
- (A) 3.5" TRAFFIC LEVEL C SUPERPAVE ASPHALT
 - (B) 15" LIMEROCK BASE (TWO LIFTS AND COMPACTED TO 98% OF MAXIMUM DENSITY)



SECTION B-B
HORZ: 1"=10'
VERT: 1"=2'



F.D.O.T. CONSTRUCTION NOTES:

1. ALL DISTURBED AREAS WITHIN THE FLORIDA DEPARTMENT OF TRANSPORTATION'S RIGHT-OF-WAY SHALL BE GRADED AND SODDED WITH ARGENTINA BAHIA.
2. THERE SHALL BE NO LANE CLOSURES BETWEEN 7:00 AM - 9:00 PM.
3. ALL CONSTRUCTION WITHIN THE DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE LATEST DESIGN STANDARDS, THE LATEST ADDITION OF THE SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE LATEST ADDITION OF THE UTILITY ACCOMMODATION MANUAL (UAM).
4. THERE SHALL BE NO DEVIATIONS FROM THIS PLAN UNLESS APPROVED BY THE PROJECT ENGINEER AND CONCURRENCE RECEIVED FROM THE DEPARTMENT OF TRANSPORTATION.
5. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES WITHIN THE RIGHT-OF-WAY LOCATED BY THEIR RESPECTIVE OWNERS PRIOR TO CONSTRUCTION. CALL SUNSHINE ONE CALL (811) FOR LOCATES. NOTE: SUNSHINE DOES NOT LOCATE TRAFFIC SIGNAL LOOPS.
6. ALL STRIPING PLACED WITHIN THE DEPARTMENT'S RIGHT-OF-WAY SHALL BE LEAD FREE THERMOPLASTIC AND IN ACCORDANCE WITH INDEX STANDARD 17346 INCLUDING 24" STOP BARS, DOUBLE YELLOW STRIPING, AND 18" DIAGONAL STRIPES.
7. WORK ZONE TRAFFIC CONTROL IN ACCORDANCE WITH INDEX 613 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION'S STANDARDS SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND MAINTAINED THROUGHOUT CONSTRUCTION. THE MOT MUST BE INSTALLED AND MAINTAINED BY PERSONNEL CERTIFIED IN MOT.
8. NO EXISTING STRIPING OR PAVEMENT MARKINGS SHALL BE DISTURBED DURING CONSTRUCTION.
9. ALL STOP SIGN INSTALLATIONS SHALL BE 30 INCHES AND FABRICATED USING, AT A MINIMUM, 3M DIAMOND GRADE VIP REFLECTIVE SHEETING (SEE STOP SIGN SPECIFICATIONS SHOWN HEREON).
10. ALL EXISTING TRAFFIC SIGNS LOCATED WITHIN U.S. HIGHWAY 441 RIGHT-OF-WAY SHALL REMAIN.
11. SIGHT LINES SHOWN HEREON ARE IN ACCORDANCE WITH FDOT INDEX 546, BASED ON THE 50 MPH DESIGN SPEED ON U.S. HIGHWAY 441.
12. THE EXISTING SIDEWALK AND CURB SHALL BE REMOVED TO THE NEAREST CONSTRUCTION JOINT BEYOND THE PROPOSED CONSTRUCTION LIMITS.
13. CONTACT F.D.O.T. SIX (6) BUSINESS DAYS PRIOR TO CONSTRUCTION FOR PRE-CONSTRUCTION MEETING.
14. IF THE DEPARTMENT DETERMINES THAT AS-BUILT CONDITIONS VARY SIGNIFICANTLY FROM THE APPROVED PLANS, THE PERMITTEE SHALL PROVIDE AS-BUILT PLANS, ALONG WITH A RECORD DRAWINGS REPORT BY THE PERMITTEE'S ENGINEER, FORM 850-040-19, WITHIN 30 DAYS OF COMPLETING CONSTRUCTION.
15. IT WILL BE THE RESPONSIBILITY OF THE PERMITTEE TO REPAIR ANY DAMAGED FDOT FACILITIES CAUSED BY CONSTRUCTION OF THE PROJECT.
16. TEST RESULTS OF ANY TESTS TAKEN FOR OR DURING CONSTRUCTION OF THE PERMITTED WORK SHALL BE PROVIDED TO THE FDOT UPON REQUEST.
17. ALL CONCRETE TO BE REMOVED SHALL BE SAW CUT AT THE NEAREST JOINT IN GOOD CONDITION, SO AS TO PRODUCE A CONNECTION WITH NEW CONCRETE THAT IS FREE OF CRACKS, DEFORMITY IN SHAPE, NOTICEABLE VOIDS, SURFACE IRREGULARITIES AND OTHER DEFECTS. CONCRETE GUTTER CURB SHALL BE SAW CUT BETWEEN THE ASPHALT AND GUTTER CURB BEFORE REMOVAL.
18. ALL MATERIALS INSTALLED WITHIN THE FDOT RIGHT-OF-WAY SHALL BE LIMITED TO THOSE ON THE FDOT'S QUALIFIED PRODUCTS LIST OR APPROVED PRODUCT LIST OF TRAFFIC CONTROL SIGNALS AND DEVICES.

F.D.O.T. SIGN POST SPECIFICATIONS:

HEIGHT TO BTM. OF SIGN = 7'-0"
SIGN POST SIZE
STOP & RIGHT TURN ONLY = 3 1/2" DIA x 3/16"
ONE-WAY = 2" DIA x 1/8"
SIGN POST TYPE = ROUND POST, ALUMINUM
DRIVEN DEPTH = 4-1/2" WITH SOIL PLATE

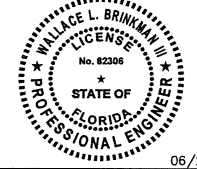
ALL SIGN MATERIAL AND INSTALLATION SPECIFICATIONS SHALL CONFORM WITH INDEX 11860 AND 11865.

F.D.O.T. SIGN SPECIFICATIONS:

STOP SIGN
TYPE = R1-1
SIZE = 30" x 30"
INDEX 11860

RIGHT TURN ONLY SIGN
TYPE = R3-5
SIZE = 30" x 36"
INDEX 11860

ONE WAY SIGN
TYPE = R6-1
SIZE = 12" x 36"
INDEX = 11860



WALLACE L. BRINKMAN III
PROFESSIONAL ENGINEER
REGISTRATION NO. 82306
STATE OF FLORIDA

DATE 06/29/18

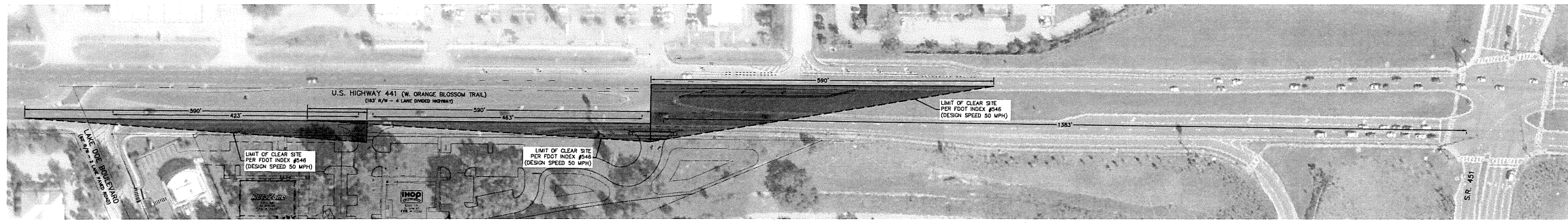
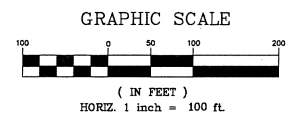
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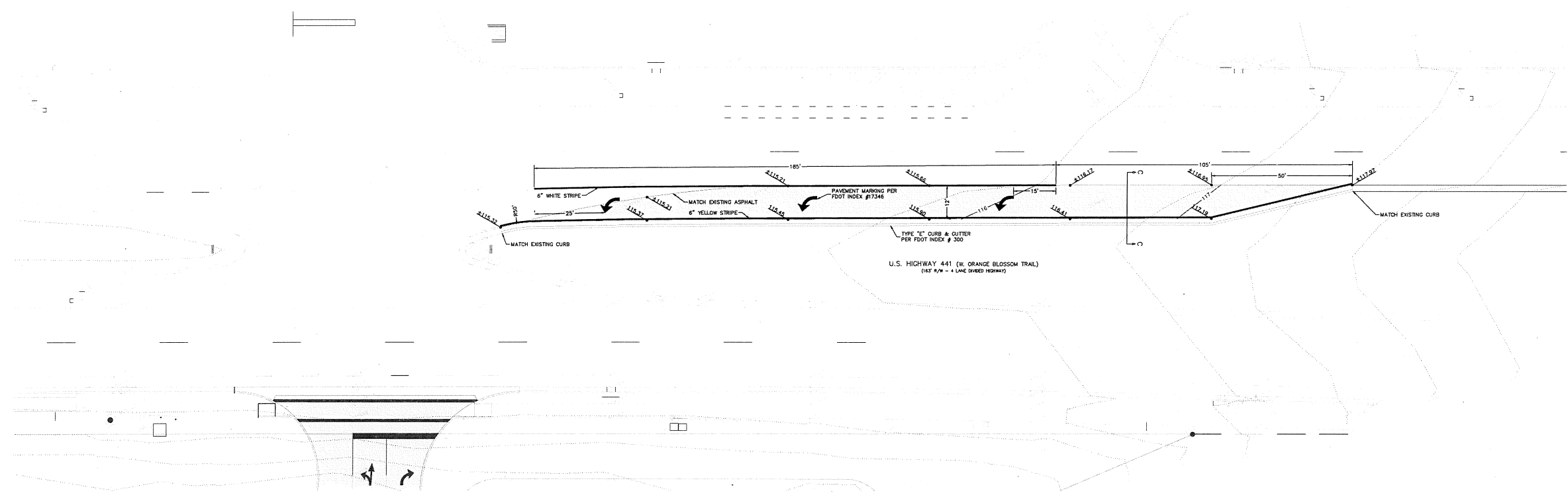
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1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 622-9214 • Lic. Bus. #4074

A FINAL DEVELOPMENT SITE PLAN
FOR
IHOP
CITY OF APOPKA, FLORIDA
F.D.O.T. Driveway Connection Plan

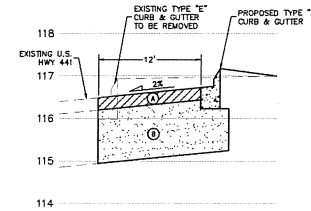
JOB No. 18_052128000000025
DATE 06-29-2018
SCALE AS SHOWN
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SIGHT DISTANCE & DRIVEWAY SPACING PLAN
SCALE: 1"=100'



US 441 LEFT TURN LANE PLAN
SCALE: 1"=20'

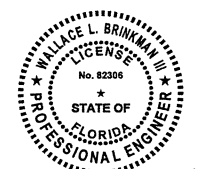


SECTION C-C
HORZ: 1"=10'
VERT: 1"=2'

MATERIAL REQUIREMENTS:

- (A) 3.5" TRAFFIC LEVEL C SUPERPAVE ASPHALT
- (B) 15" LIMEROCK BASE (TWO LIFTS AND COMPACTED TO 98% OF MAXIMUM DENSITY)

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WALLACE L. BRINKMAN III
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STATE OF FLORIDA
06/29/18
DATE

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A FINAL DEVELOPMENT SITE PLAN
FOR
IHOP
CITY OF APOPKA, FLORIDA
F.D.O.T. Turn Lane Plan

JOB No. 18_052128000000025
DATE 06-29-2018
SCALE AS SHOWN
SHEET C6.1

R. L. BRINKMAN III, P.E. 1105 S.E. 3RD AVENUE, SUITE 100, APOPKA, FLORIDA 34471-1105

RILEY & Company, Inc. (ECONO - GP)

SCOPE: Supply one complete ECONO-GP Pre-Fab Lift Station, per design.

Pumps shall be capable of grinding and pumping domestic & commercial sewage.

Complete system shall be supplied by:

RILEY & Company, Inc.
Sanford, FL 32773 (Ph. 407-265-9963)

NO SUBSTITUTIONS - NO ALTERNATES

PUMPS: Submersible grinder pumps shall be HOMA Model GRP. The pumps shall be installed in the ECONO-GP FRP wetwell utilizing a dual slide rail system. The grinder unit shall be capable of macerating materials normally found in domestic and commercial sewage into a fine slurry which will pass through the pump and the Sch.80 PVC discharge piping.

Oil filled motors are not considered equal to air filled motors and therefore will not be considered an equal to the HOMA PUMPS.

Stator winding shall be open type with Class F insulation and shall be heat-shrink fitted into the stator housing. The use of pins, bolts, or other fastening devices is not acceptable.

A heat sensor thermostat shall be attached to the top end of the motor winding and shall be connected in series with the magnetic contactor coil in the control panel to stop motor if winding temperature exceeds 140 C., but shall automatically reset when the winding temperature returns to normal. Two heat sensor thermostats shall be used on three phase motors.

The pump motor grinder shaft shall be AISI 430F SS threaded to take the pump impeller and the grinder impeller.

Upper & lower mechanical seals shall be Silicon Carbide vs Silicon Carbide.

DUPLEX CONTROL PANEL:

Control panel shall be assembled and built by a TUV (UL508A CERTIFIED) manufacturing facility.

The Enclosure shall be NEMA 4X, Fiberglass, minimum 18" high x 16" wide x 6" deep with padlockable draw latches.

The enclosure shall have external mounting feet to allow for wall mounting. All hardware shall be stainless steel.

The following components shall be mounted through the enclosure:

- 1- ea. Red Alarm Beacon (Light)
- 1- ea. Alarm Horn
- 1- ea. Generator Receptacle w/ weatherproof cover
- 1- ea. Alarm Silence Pushbutton

The backpanel shall be fabricated from .125, 5052-H32 marine alloy aluminum. All components shall be mounted by machined stainless steel screws.

The following components shall be mounted to backpanel:

- 2- ea. Motor Contactors
- 1- ea. Silence Relay
- 1- ea. Duplex Alternator
- 20- ea. Terminals For Field Connections
- 6- ea. Terminals For Motor Connections (Single Phase Only)
- 3- ea. Grounding Lugs
- 1- ea. Battery Back-Up for HL Alarm

The following components shall be included:

- 1- ea. Main Circuit Breaker
- 1- ea. Emergency Circuit Breaker
- 1- ea. Mechanical Interlock For Emergency And Main Breakers
- 2- ea. Short Circuit Protectors
- 1- ea. Control Circuit Breaker
- 1- ea. Hand-Off-Auto Selector Switches
- 2- ea. Pump Run Pilot Lights

COMPONENT SPECIFICATIONS:

All circuit breakers shall be molded thermal magnetic. The mechanical interlock shall prevent the normal and emergency main breakers being energized at the same time.

An emergency generator receptacle shall be supplied in accordance with DEP standards. The generator receptacle shall be adequately sized to meet the equipment operating conditions.

All motor short circuit protection devices must provide for undervoltage release and class 10 overload protection on all three phases. Visible trip indication, test, and reset capability must be provided without opening inner door. Open frame, across the line, contactors shall be rated per IEC standards and properly sized per the motor requirements. Contactors shall provide for safe touch power and control terminals.

Lightning Arrestor shall meet or exceed the requirements of ANSIEEE Std. C62.21-1984 section 8.6.1. and 8.7.3 shall be supplied by electrician and mounted on the bottom side of the switch disconnect ahead of the pump control panel.

A green pilot light shall be supplied for each motor. The pilot light shall illuminate each time the motor is called to run. A Red pilot light shall be supplied for control power. The pilot light shall illuminate when the control power is available inside the control panel.

Relays shall be ice-cube plug in type. Relay contacts shall be rated 10 amp minimum, DPDT.

Twenty (20) terminals shall be supplied for field connections. The terminals shall be rated 25 amps minimum.

Each motor over-temperature contact shall be connected to the terminal strip and shall open a contact to de-energize the appropriate motor upon a high temperature within the motor. Ground lugs shall be supplied and appropriately sized for each motor and for service entrance.

MISCELLANEOUS:

The control panel shall be assembled by a TUV (UL508A Certified) manufacturing facility.

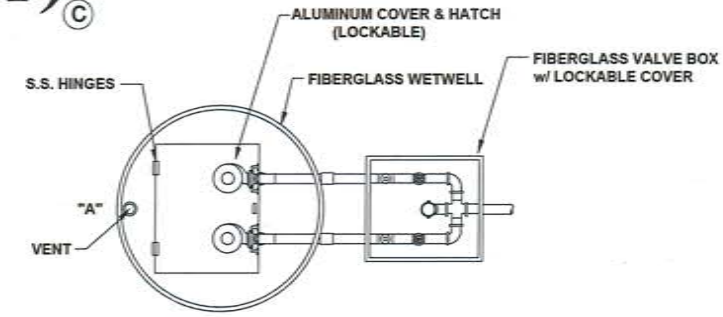
FASTNERS & APPURTANCES: All fasteners, lifting cables, float cable bracket, hinges, and appurtances shall be made of AISI 304SS.

A 304SS slide/latch assembly shall be provided for holding the doors open on the wetwell and valve box. Slide rails shall be made of SCH.40 AISI 304SS pipe. Pump lifting cables shall be made of AISI 304 SS. Pump lifting bales shall be made of AISI 304 SS.

EXECUTION:

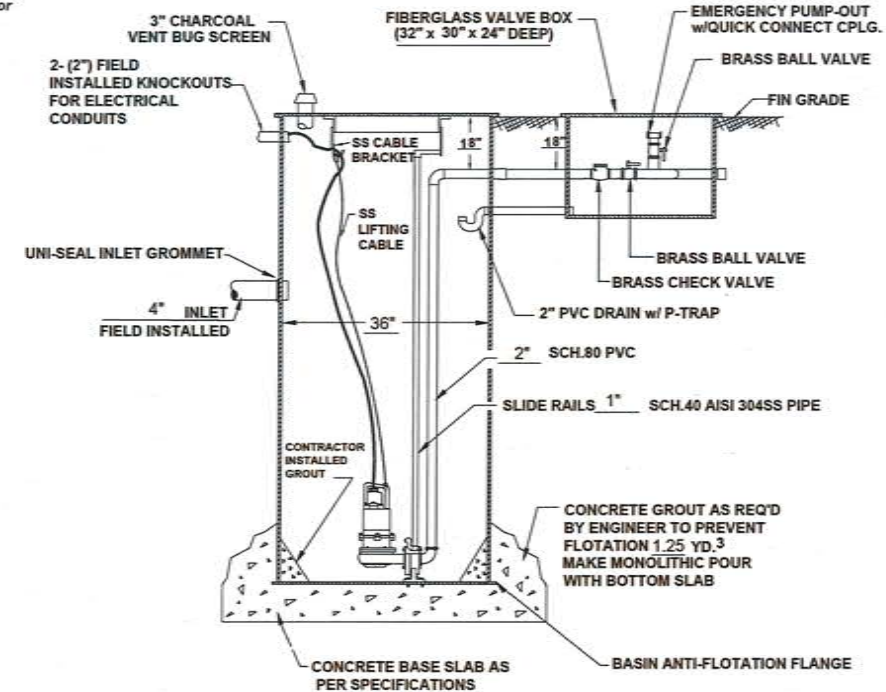
Installation shall be in strict accordance with the manufacturer's recommendations in the locations shown on the drawing.

INSPECTION & TESTING: A factory representative shall be provide for a one (1) time start-up and shall have complete knowledge of the proper operation and maintenance of complete system. Megger the motors. The pump motors shall be meggered out prior to the start-up to ensure that the insulation of the pump motor/cable is intact. The pump controls and pumps shall be checked for mechanical reliability and proper operation.

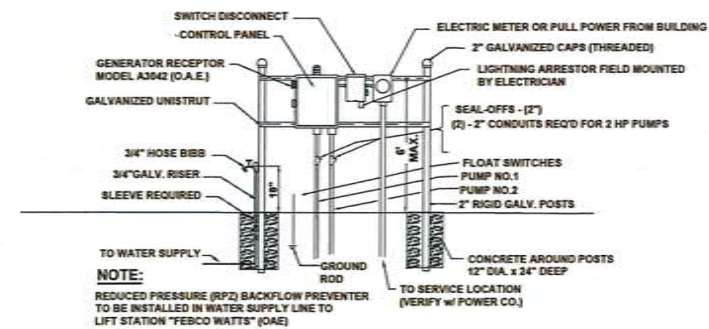


NOTE: PUMP CONTROL PANEL SHALL BE LOCATED 3 FEET FROM WETWELL PERIMETER AT POINT "A"

LIFT STATION PLAN



LIFT STATION SECTION



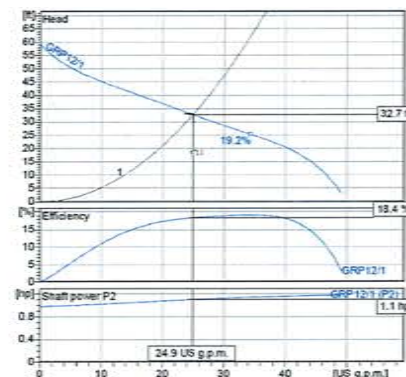
ELECTRICAL RISER FOR ILLUSTRATION ONLY

PUMP DATA		ELEVATIONS	
PRIMARY PUMP CAPACITY	25 GPM	TOP OF WETWELL	113.25
PRIMARY TDH	33 TDH	INLET INVERT	108.25
PUMP MANUFACTURER	HOMA	HIGH LEVEL ALARM	107.75
PUMP MODEL #	GRP12/1	2nd PUMP ON	107.25
R.P.M.	3450	1st PUMP ON	106.75
HORSEPOWER	1.2	PUMPS OFF	105.00
ELECTRICAL/ VOLTS / PHASE	230/1	BOTTOM OF WETWELL	104.00
PUMP DISCHARGE SIZE	1.25"	WETWELL DIAMETER	36"
IMPELLER DIAMETER	4.41"		

* ELECTRICIAN NOTES:

1. DRAWING NOT TO SCALE
2. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES
3. ELECTRICIAN SHALL SEAL OFF CONDUIT RUNS
4. ELECTRICIAN TO MOUNT LIGHTNING ARRESTOR AT SWITCH DISCONNECT
5. CONTRACTOR SHALL VERIFY POWER SOURCE PRIOR TO ORDERING EQUIPMENT

RILEY & CO. / ECONO - GP 06-11-18



REVISION
DATE

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A FINAL DEVELOPMENT SITE PLAN
FOR
IHOP
CITY OF APOPKA, FLORIDA
Private Lift Station Details

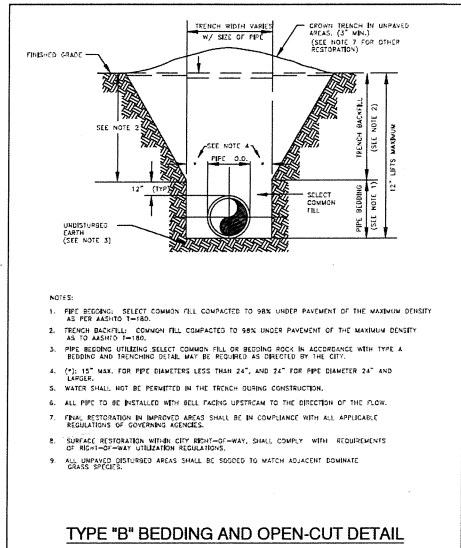
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06-29-2018

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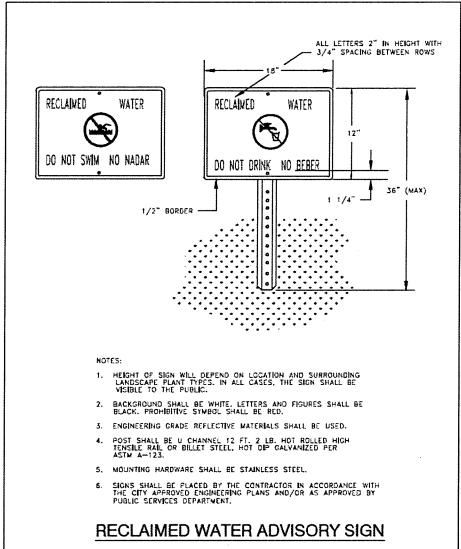
06/29/18
WALLACE L. BRINKMAN III
PROFESSIONAL ENGINEER
REGISTRATION NO. 82306
STATE OF FLORIDA



CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

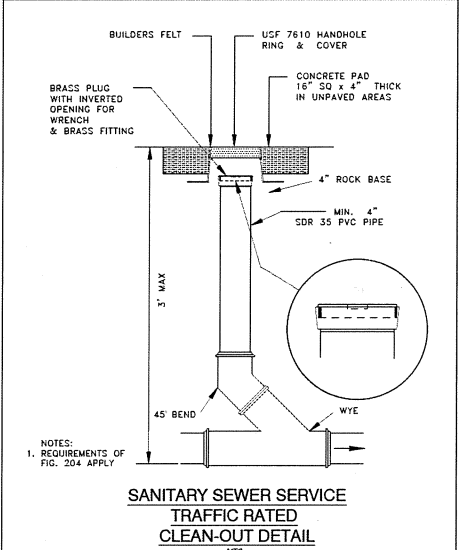
FIG. 100



CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 115



CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 205

HORIZONTAL & VERTICAL SEPARATION REQUIREMENTS

PROPOSED UTILITY	NORMAL WATER		RECLAIMED WATER		SEWER		STORM WATER	
	SEPARATION	MIN. CLEARANCE	SEPARATION	MIN. CLEARANCE	SEPARATION	MIN. CLEARANCE	SEPARATION	MIN. CLEARANCE
STORM WATER	-	0"	12"	0"	12"	0"	12"	0"
RECLAIMED WATER	12"	0"	-	0"	12"	0"	12"	0"
SEWER	12"	0"	12"	0"	-	0"	12"	0"
NORMAL WATER	12"	0"	12"	0"	12"	0"	-	0"

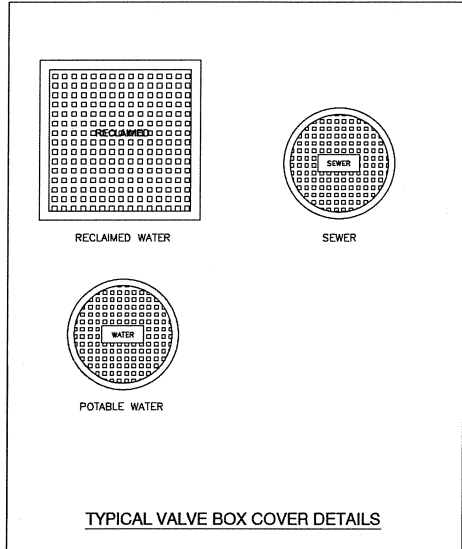
GENERAL NOTES:

- THE TABLE REPRESENTS THE MINIMUM SEPARATION REQUIREMENTS AS DESCRIBED IN F.O.P.A. RULES OF THE FLORIDA ADMINISTRATION CODE (F.A.C.). THESE SEPARATION REQUIREMENTS SHALL APPLY BETWEEN NEWLY PROPOSED UTILITY LINES AND EXISTING OR PROPOSED UTILITY LINES.
- FOR THE PURPOSE OF THIS TABLE, RECLAIMED WATER SHALL MEAN UNIMPROVED PUBLIC ACCESS TO PUBLIC WATER AS DEFINED BY F.A.C. 62B.02. OTHER TYPES OF RECLAIMED WATER ARE CONSIDERED AS SEWER AND SEPARATIONS LISTED FOR SEWER SHALL APPLY.
- ALL SEPARATION DISTANCES ARE FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE UNLESS OTHERWISE SPECIFIED. CIRCUMFERENTIAL CLEARANCE SHALL BE USED.
- C/C = DENOTES CENTER OF PIPE TO CENTER OF PIPE.
- S/O = DENOTES SURFACE OF PIPE TO SURFACE OF PIPE.
- ACCEPTABLE VARIANCES:
 - WHERE HORIZONTAL SEPARATION IS NOT ATTAINABLE, PVC-CH-500 100-4 OR CONCRETE ENCASUREMENT MUST BE USED FOR THE SANITARY SEWER LINE FOR AT LEAST ONE (1) OF THE ABOVE. PVC-CH-500 100-4 OR CONCRETE ENCASUREMENT MUST BE USED UNTIL MINIMUM CLEARANCE IS RESTORED.
 - WHERE 18 INCH VERTICAL SEPARATION IS NOT ATTAINABLE AT CONDITIONS, USE ONE FULL LENGTH OF PVC-CH-500 100-4 FOR SANITARY SEWERS OR ENCASED PIPE CENTERED AT THE POINT OF CROSSING. SUPPORT MAY BE REQUIRED.
- NO WATER PIPE SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF A SANITARY OR STORM WATER HANDHOLE OR STRUCTURE.
- CONCRETE ENCASUREMENT SHALL NOT BE USED UNLESS APPROVED BY PUBLIC SERVICES DEPARTMENT ON HIS BEHALF.

CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JUNE 2012

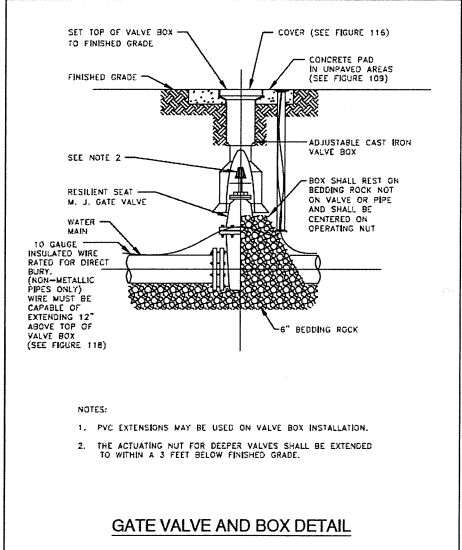
FIG. 104



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DESIGN ENGINEERING DIVISION

JANUARY 2014

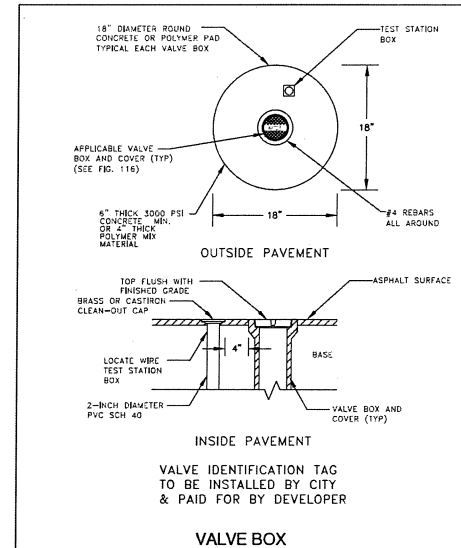
FIG. 116



CITY OF APOPKA
DESIGN ENGINEERING DIVISION

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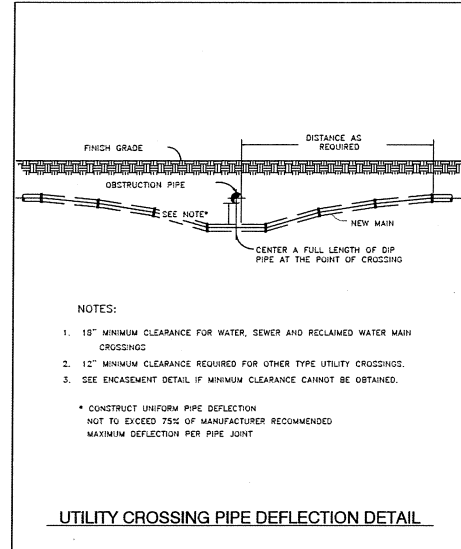
FIG. 400



CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

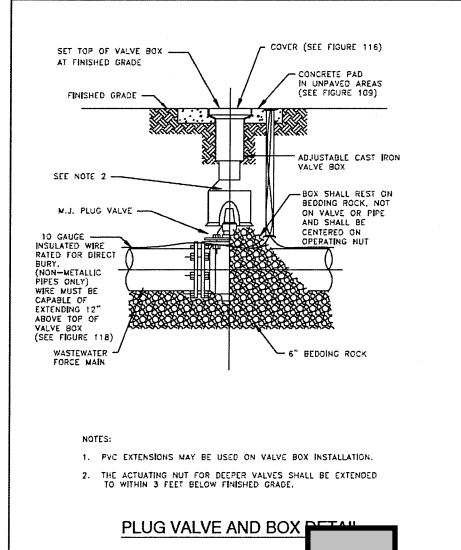
FIG. 109



CITY OF APOPKA
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FIG. 117



CITY OF APOPKA
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FIG. 400 A

PIPE AND APPURTENANCES PRESSURE RATING

PSI	DI FITTINGS		PIPE MATERIAL*		GATE VALVE**		FORCEMAIN*		
	≤24"	>24"	PVC	DI	HDPE	≤12"	>12"	PVC	HDPE
100									
150									
200									
250									
300									
350									

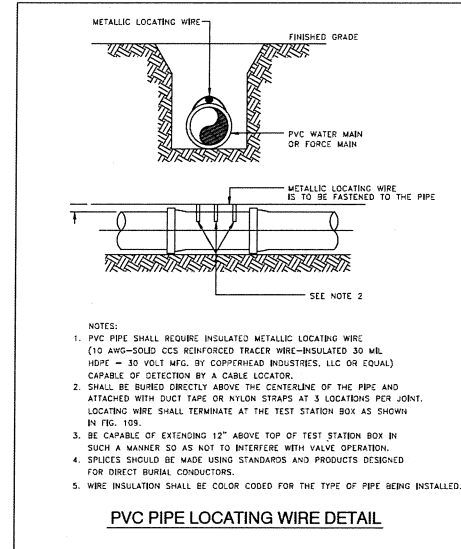
* PVC SHALL HAVE A MAXIMUM DIMENSION RATIO (DR) OF 18 AND HDPE SHALL BE MAX DR11. FORCEMAIN PVC SHALL BE MAX DR18 UNLESS DESIGN REQUIRES OTHERWISE AND HDPE SHALL BE MAX DR17.

** BUTTERFLY VALVES SHALL BE CLASS 150B

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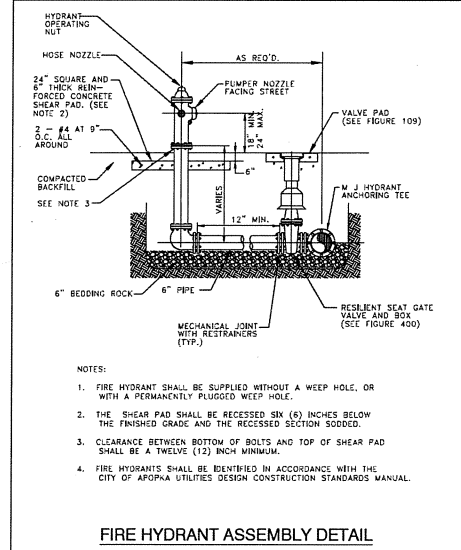
FIG. 110



CITY OF APOPKA
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FIG. 118



CITY OF APOPKA
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FIG. 402

NO.	REVISION	DATE

ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying
1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 622-9214 • Lic. Bus. #4074

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A FINAL DEVELOPMENT SITE PLAN FOR IHOP CITY OF APOPKA, FLORIDA City of Apopka Standard Details

JOB No. 18_05212800000025

DATE 06-29-2018

SCALE AS SHOWN

SHEET C8.0

LANDSCAPE MATERIAL LIST

SHADE & ORNAMENTAL TREES

GF CORNUS FLORIDA
 INS LEX X NELLE STEVENS
 LJ LAGERSTRÖMIA INDICA 'TUSCARORA'
 LTT LIQUIDUM JAPONICA TREE-TYPE
 MG MAGNOLIA GRANDIFLORA 'DDBLANCHARD'
 MY MYRSINE CERIFERA
 PG PINUS GLAUBA
 QV QUERCUS VIRGINIANA
 UA ULMUS ALATA

DOGWOOD
 NELLE STEVENS HOLLY
 GRAPE MYRTLE
 PRIVET TREE
 SOUTHERN MAGNOLIA
 WAX MYRTLE
 SAMP PINE
 LIVE OAK
 WINGED ELM

SHRUBS

AF AZALEA INDICA 'FORMOSA'
 GH GOMMERSRUP HUMULUS
 EP ELEANUS PLUNENS
 HD LEX VAMITORIA 'STONES DWARF'
 JFP JUNCUS CHINENSIS 'HUMPHREYS PRIDE'
 LC LOROPETALUM CHINENSIS
 MG MUELENBERGIA CAPILLARIS
 NP MYRSINANTHES FRANGENS
 OF OSMANTHUS FRANGENS
 PA PODOSCARPUS MARGOPHYLLUM
 RI RAPHIDOLEPS INDICA
 VD VIBURNUM OBOVATUM
 VIB VIBURNUM COCCINEUM

COMMON AZALEA
 BERGIAN PAN PALM
 ELEANUS
 STONES DWARF HOLLY
 HUMPHREYS PRIDE JUNPER
 LOROPETALUM
 MULEY GRASS
 SIMPSONS STOPPER
 TEA OLIVE
 FLORIDA YEW
 INDIAN HAWTHORN
 WALTERS VIBURNUM
 SWEET VIBURNUM

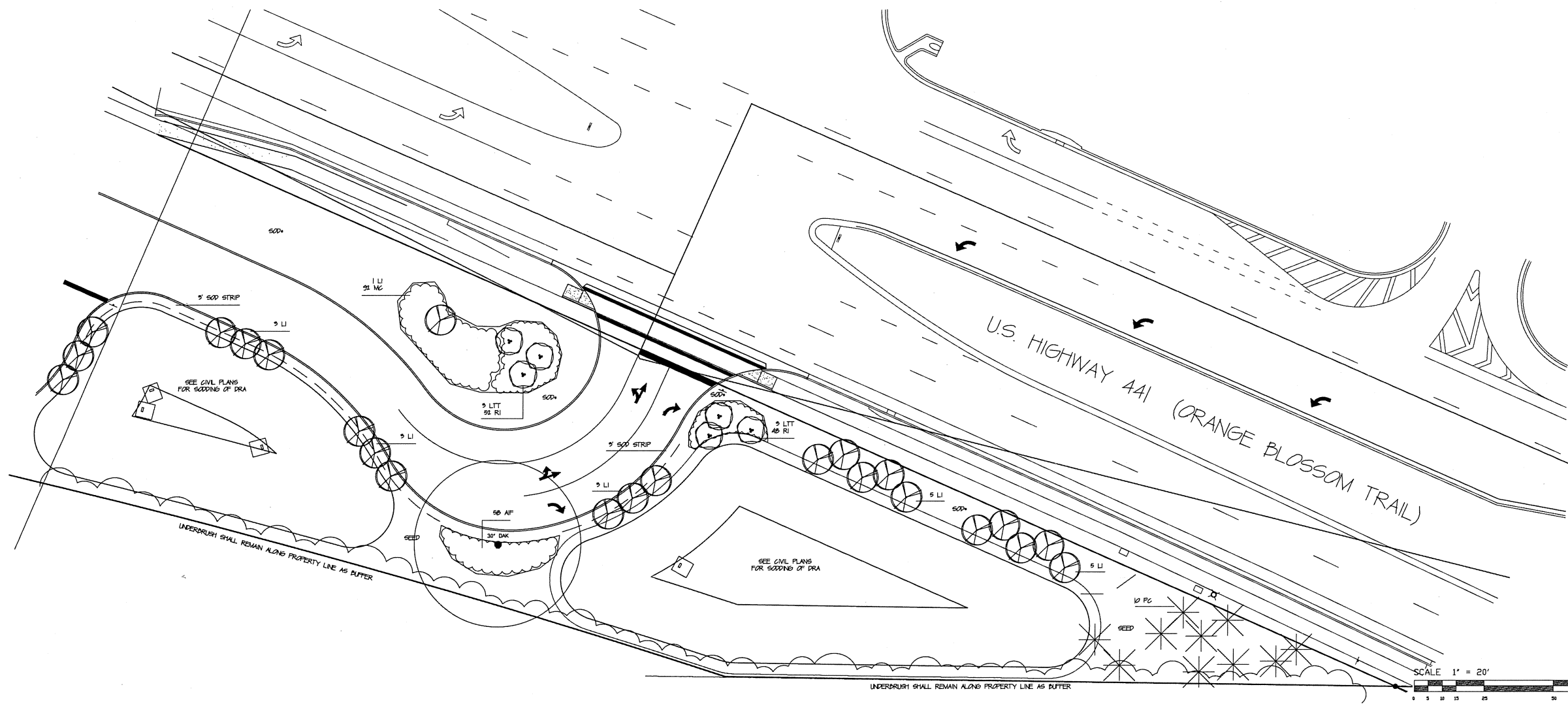
GRASSCOVERS

AA ASPHATHUS AFRICANS
 DT DANIELLA TAMANICA
 LM LIRIOPE MUSCARI 'BIG BLUE'
 MS MIMOSA STINGILLOSA

MILE NILE RIS
 FLAX LILY
 BORDER GRASS
 SUNSHINE MIMOSA

LANDSCAPE NOTES

1. ALL MATERIAL SHALL BE FLORIDA #1 GRADE OR BETTER
2. ALL LANDSCAPED AREAS SHALL BE MULCHED WITH 2" - 4" OF FINE DARK MULCH
3. MULCH SHALL NOT BE INSTALLED ON TOP OF THE ROOT BALLS OF ANY SHADE OR ORNAMENTAL TREES
4. ALL MATERIAL INSTALLED SHALL MEET THE 2015 GRADES AND STANDARDS FOR LANDSCAPE INSTALLATION
5. CERTIFICATION IS REQUIRED FROM THE NURSERY AND/OR THE LANDSCAPE CONTRACTOR THAT THE TREE ROOT BALL HAS BEEN SHAVED PER GRADES AND STANDARDS
6. ALL TREES MUST BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ACCEPTANCE
7. ALL NEW TREES MUST BE GUAYED OR STAKED AS DETAILED
8. EXISTING TREES THAT ARE TO REMAIN MUST BE PROTECTED THROUGHOUT CONSTRUCTION
9. THE LANDSCAPE ARCHITECT SHALL REVIEW WITH THE CONTRACTOR ALL LANDSCAPING THAT IS TO BE DONE AND SHALL IDENTIFY THE SCOPE OF WORK
10. PLACEMENT OF ALL LANDSCAPE MATERIAL MUST BE APPROVED BY THE LANDSCAPE ARCHITECT
11. ALL LANDSCAPE MATERIAL MUST BE INSTALLED WITH NATIVE PEAT AND SLOW-RELEASE NITROGEN FERTILIZER
12. ALL MATERIAL SHALL BE GUARANTEED FOR 90 DAYS FROM THE DATE OF ACCEPTANCE
13. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING IN ALL TREES AND REMOVING AIR-POCKETS
14. DURING THE ESTABLISHMENT PERIOD (FIRST 90 DAYS) THE LANDSCAPE CONTRACTOR SHALL APPLY A MINIMUM OF 40 - 80 GPD TO ALL NEW TREES AS DIRECTED
15. LANDSCAPE CONTRACTOR MUST LOCATE ALL UNDERGROUND UTILITIES PRIOR TO ANY INSTALLATION
16. ALL MATERIAL SHALL BE GUARANTEED FOR 90 DAYS FROM THE DATE OF ACCEPTANCE
17. NO PLANTINGS OR OTHER OBSTRUCTIONS MAY BE WITHIN THE 2' VEHICULAR OVERHANG AREA
18. SOD SHALL BE INSTALLED IN ALL DISTURBED AREAS OUTSIDE OF THE PLANTING BEDS
19. SOD AROUND THE BUILDING AND PARKING ISLANDS SHALL BE ST. AUGUSTINE PALMETTO AS DIRECTED
20. SOD ALONG THE ROW AND THE DRA SHALL BE ARGENTINE-BAMA AS DIRECTED
21. ALL SOD SHALL BE INSTALLED WITH NO GAPS OR OVERLAPS AND SHALL BE SANDED AS NEEDED
22. SODDING INSIDE THE DRA SHALL BE SHOWN ON THE CIVIL PLANS AND IS NOT PART OF THESE QUANTITIES
23. PLANTING SOIL USED FOR THE BUILDING PLANTERS AND BACKFILLING OF THE LANDSCAPE ISLANDS, ETC. MUST BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION. ALL SOIL SHALL BE WEED-FREE, CONTAIN NO STICKS, ROCKS, OR OTHER FOREIGN OBJECTS, AND SHALL BE A MIXTURE OF 40% SAND, 50% LOAM, AND 10% TOP-SOIL
24. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL PLANT MATERIAL, ROOTS, SOIL, AND OTHER LANDSCAPE ITEMS REMOVED FROM THIS SITE
25. THE LANDSCAPE CONTRACTOR MUST PROVIDE AN AS-BUILT OF THE IRRIGATION SYSTEM TO THE LANDSCAPE ARCHITECT PRIOR TO REQUESTING ANY INSPECTIONS AND/OR APPROVALS
26. THE CONTRACTOR SHALL KEEP THE SITE CLEAN OF ALL DEBRIS, SEDIMENT, DIRT, ETC., AND ENSURE THAT THAT DRAINAGE SYSTEM REMAINS CLEAR AND THAT PEDESTRIAN WAYS ARE NOT BLOCKED
27. DO NOT PLANT NEW TREES TOO DEEP. UNCOVER THE TRUNK FLARE AND SET THIS AT OR ABOVE THE SURROUNDING SOIL LEVEL.
28. REMOVE ANY TREE WRAP FROM AROUND THE TRUNK OF NEW TREES TO BE INSTALLED
29. ALL NEW TREES AND SHRUBS MUST MEET THE 'AMERICAN STANDARDS FOR NURSERY STOCK' (ANSI 260)
30. LANDSCAPE ARCHITECT MAY REQUIRE PRUNING OF NEW TREES AFTER INSTALLATION IF IT IS DETERMINED THAT THE TREES NEED A SINGLE DOMINANT LEADER ESTABLISHED OR CLUSTER BRANCHES REMOVED
31. ALL PLANT MATERIAL MUST MEET ALL OF THE SIZE SPECIFICATIONS, NOT JUST THE CONTAINER SIZE
32. HAVING THE LANDSCAPE ARCHITECT APPROVAL OF PLANT PLACEMENT IS ESSENTIAL FOR ACCEPTANCE
33. ALL SIZE SPECIFICATIONS SHOWN ON THE MATERIAL LIST ARE FOR THE HEIGHT OF THE MATERIAL UNLESS OTHERWISE NOTED. MEASUREMENT SHALL BE AS PER THE CURRENT INDUSTRY GRADES AND STANDARDS
34. LANDSCAPE INSTALLATION MUST BE COORDINATED WITH THE INSTALLATION TO BE DONE ON THE ADJACENT IHOP PROJECT
35. WORK MUST PROTECT THE EXISTING LANDSCAPE PLANTINGS ON THE ADJACENT VERIZON PROPERTY
36. ALL LANDSCAPE PLANTS ARE FLORIDA-FRIENDLY FOR CENTRAL FLORIDA PLANT HARDINESS ZONE
37. ALL LANDSCAPING MUST BE A MINIMUM OF 30' (2.5) FROM THE BUILDING FOUNDATION



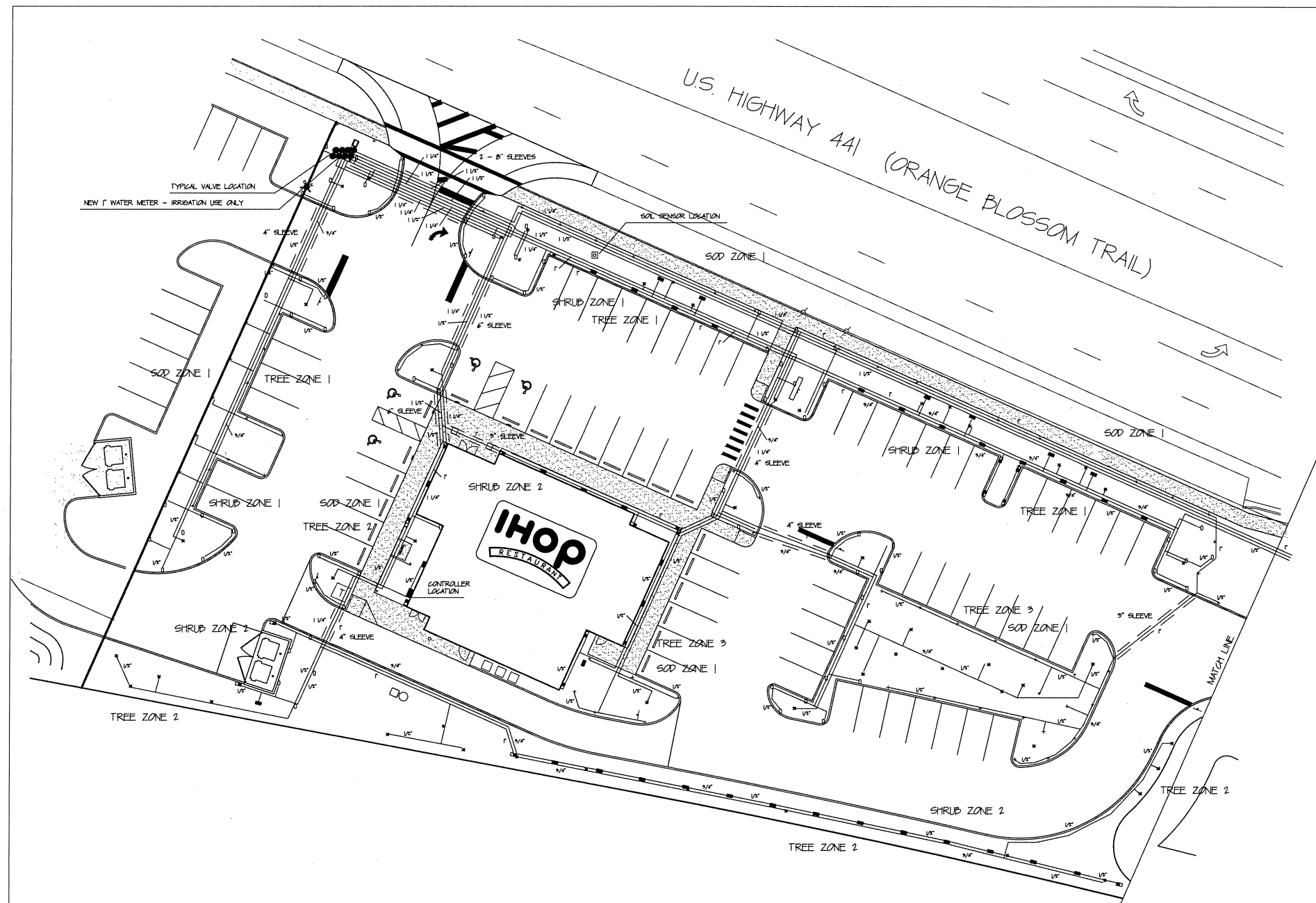
NO.	DATE	DESCRIPTION	BY
1	6/15	CITY COMMENTS	RAK

DRAWN BY:	RAK	DATE:	5 / 18
SCALE:	1" = 20'	DRAWING NO.:	
JOB NO.:		REV NAME:	
		FE:	PG.

ENVIRONMENTAL DESIGN
 ANDY KESSELRING, LANDSCAPE ARCHITECT
 P.O. BOX 6121
 1920 SE. 8th STREET
 OCALA, FLORIDA 34478
 (352) 822-8899
 LANDSCAPE ARCHITECTURE, SITE PLANNING,
 GOLF COURSE DESIGN, COMMERCIAL-RESIDENTIAL DESIGN

LANDSCAPE PLAN
 IHOP RESTAURANT
 APOPKA FLORIDA

SHEET 202 of 202



TYPICAL VALVE LOCATION
NEW 1" WATER METER - IRRIGATION USE ONLY

U.S. HIGHWAY 441 (ORANGE BLOSSOM TRAIL)

IHOP
RESTAURANT

- IRRIGATION LEGEND**
- HUNTER NP 1000 SERIES SPRAY HEADS
 - ⊕ HUNTER NP 1000 SERIES SIDE-SPRAY POP-UP HEADS
 - ⊕ HUNTER NP 1000 SERIES POP-UP SPRAY HEADS FOR SOD
 - ⊕ HUNTER PCD SERIES DUBBLER HEADS FOR TREES
 - 1" WATER METER - IRRIGATION USE ONLY
 - ⊗ SOL SENSOR LOCATION
 - ⊕ HUNTER H-CORE (H-100-M-PL) CONTROLLER
 - 1" NELSON VALVES IN WATER-RESISTANT BOXES
 - == SLEEVING - SCH. 40 P.V.C.

IRRIGATION ZONE DATA

ZONE	GPM USAGE	VALVE SIZE	HEAD TYPE	APPLICATION	LANDSCAPE TYPE
TREE ZONE 1	240 GPM	1"	DUBBLER (5 GPM)	LOW-VOLUME	TREES ONLY
TREE ZONE 2	250 GPM	1"	DUBBLER (5 GPM)	LOW VOLUME	TREES ONLY
TREE ZONE 3	200 GPM	1"	DUBBLER (5 GPM)	LOW-VOLUME	TREES ONLY
TREE ZONE 4	310 GPM	1"	DUBBLER (5 GPM)	LOW VOLUME	TREES ONLY
SHRUB ZONE 1	300 GPM	1"	SPRAY (4 GPM)	LOW VOLUME	SHRUBS ONLY
SHRUB ZONE 2	240 GPM	1"	SPRAY (4 GPM)	LOW VOLUME	SHRUBS ONLY
SHRUB ZONE 3	140 GPM	1"	SPRAY (4 GPM)	LOW-VOLUME	SHRUBS ONLY
SOD ZONE 1	240 GPM	1"	SPRAY (4 GPM)	LOW-VOLUME	SOD ONLY

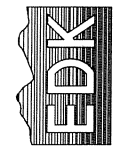
IRRIGATION NOTES

1. MINOR CHANGES MAY BE MADE IN THIS LAYOUT WITH APPROVAL BY THE LANDSCAPE ARCHITECT AND SHALL BE DOCUMENTED ON RECORD DRAWINGS PROVIDED TO CITY PRIOR TO C.O.
2. ALL HEAD LOCATIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION
3. HEADS SHALL BE 1/4, 1/2, OR FULL CIRCLE AS EACH LOCATION REQUIRES
4. SPRAYS PATTERNS SHALL BE SET TO MINIMIZE SPRAY ONTO ADJACENT WALKS, DRIVES, AND DRIVELINES
5. WATER SOURCE FOR SYSTEM SHALL BE A NEW 1" WATER METER INSTALLED IN THE GENERAL AREA SHOWN. METER SHALL BE FOR IRRIGATION USE ONLY AND PERMITTED AS SUCH
6. PRIOR TO ANY INSTALLATION, THE IRRIGATION CONTRACTOR SHALL REVIEW THE PLANS AND THE SITE AND PROVIDE WRITTEN VERIFICATION TO THE LANDSCAPE ARCHITECT THAT THE EXISTING COMPONENTS ARE SUFFICIENT FOR THE SYSTEM AS DESIGNED. ANY MODIFICATIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION
7. COORDINATE WITH THE CIVIL PLANS FOR THE WATER METER AND VALVE INSTALLATION
8. THE CONTROLLER SHALL BE LOCATED IN THE GENERAL AREA SHOWN AND SHALL BE MOUNTED AS APPROVED BY THE LANDSCAPE ARCHITECT IN A LOCKABLE CASE
9. THE OWNER WILL PROVIDE AN ELECTRICAL OUTLET IN THE CONTROLLER AREA
10. ALL VALVES SHALL BE INSTALLED IN WATER-RESISTANT BOXES
11. ALL SLEEVING MUST BE INSTALLED PRIOR TO THE LIMECAPPING OF THE PAVED AREAS
12. ALL SLEEVING SHALL BE SCH. 40 P.V.C. AND INSTALLED A MINIMUM OF 18" DEEP
13. ALL FEEDER LINES SHALL BE INSTALLED A MINIMUM OF 12" DEEP
14. RAINBIRD RAINCHECK DEVICE SHALL BE INSTALLED TO MINIMIZE IRRIGATION DURING SUFFICIENT RAINFALL (RSD SERIES). IN ADDITION, AN AGLUNA TDT SENSOR WITH SOX CONTROL MONITOR MUST BE INSTALLED AS LOCATED BY THE LANDSCAPE ARCHITECT FOR PROPER IRRIGATION AMOUNTS
15. THE ENTIRE SYSTEM MUST BE OPERATIONAL, REVIEWED, AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO FINAL ACCEPTANCE
16. THE CONTRACTOR SHALL RETURN WITHIN THE FIRST 30 DAYS TO ADJUST THE SYSTEM AS NECESSARY AND DIRECTED BY THE LANDSCAPE ARCHITECT
17. ALL LABOR AND MATERIALS SHALL BE GUARANTEED FOR 1 YEAR FOR FINAL ACCEPTANCE
18. THE CONTRACTOR MUST PROVIDE AN AS-BUILT DRAWING TO THE LANDSCAPE ARCHITECT PRIOR TO FINAL ACCEPTANCE
19. BACKFLOW PREVENTION DEVICE SHALL BE INSTALLED AT THE METER LOCATION PER APPLICABLE CODES
20. SLEEVES MUST BE INSTALLED IN ALL AREAS WHERE IRRIGATION PIPING IS INSTALLED UNDER PAVEMENT
21. ZONES ARE DESIGNED TO FUNCTION AT 95 GPM AND 40 PSI AT THE VALVE LOCATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR TESTING AT ALL HEADS TO INSURE PROPER PRESSURE AND WATER QUANTITY FOR THE DESIGNED COVERAGE
22. CONTRACTOR SHALL CONSULT WITH BOTH OWNER AND THE LANDSCAPE ARCHITECT FOR THE TUNING OF THE SYSTEM, BASED ON CURRENT WATER RESTRICTIONS
23. SYSTEM DOES NOT PROVIDE 100% COVERAGE OF THE ENTIRE PROJECT SITE. CONTRACTOR MUST ADJUST HEADS TO COVER NEW PLANT INSTALLATION AND SOD AREAS AS DIRECTED BY THE LANDSCAPE ARCHITECT
24. ALL LINE LOCATIONS MUST BE ADJUSTED ON-SITE TO INSURE THAT THEY DO NOT IMPACT THE MAJOR ROOT SYSTEMS OF THE TREES TO BE PRESERVED
25. ALL IRRIGATION HEADS SHALL BE LOW-VOLUME, MIRCO-IRRIGATION TO MINIMIZE WATER CONSUMPTION
26. SET RUN TIMES FOR THE SYSTEM PER RECOMMENDATIONS BY IFAS @ EDIS/FAS/ULEDU/NE210
27. ON HEADS LOCATED BELOW THE VALVE LOCATIONS, INSURE CHECK VALVES ARE INSTALLED AT THE HEAD
28. POP-UP HEIGHTS WITHIN SOD AREAS SHALL BE SET AT 6"
29. ALL VALVES SHALL HAVE A FACTORY-INSTALLED FILTER SENTRY AND VERIFIED BY CONTRACTOR
30. VERIFY CONTROLLER SET-UP WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION
31. ALL IRRIGATION INSTALLATION SHALL MEET 2016 GRABES AND STANDARDS
32. NO IRRIGATION HEADS SHALL BE INSTALLED ON RIVERS PER CITY CODE REQUIREMENTS
33. ALL AS-BUILTS, VERIFICATIONS, ETC. MUST BE SUBMITTED PRIOR TO FINAL INSPECTION AND ACCEPTANCE
34. DUBBLERS AT ALL TREES AND PALMS SHALL BE STAKED AT THEIR PROPER LOCATIONS
35. ALL IRRIGATION DISTRIBUTION EQUIPMENT SHALL BE A MINIMUM OF 24" FROM VERTICAL STRUCTURES

NO.	DATE	CITY COMMENTS	RAK	BY
1	6/18			

DATE:	5 / 18
DRAWING NO.:	
NEW NAME:	
FE:	
PG:	
JOB NO.:	
SCALE:	1" = 20'
DRAWN BY:	RAK

ENVIRONMENTAL DESIGN
ANDY KESSELRING, LANDSCAPE ARCHITECT
P.O. BOX 5171
260 S.E. 8TH STREET
OCEOLA, FLORIDA 34778
(352) 822-8889
LANDSCAPE ARCHITECTURE, SITE PLANNING,
GOLF COURSE DESIGN, COMMERCIAL-RESIDENTIAL DESIGN



IRRIGATION PLAN
IHOP RESTAURANT
APOPKA FLORIDA



IRRIGATION LEGEND

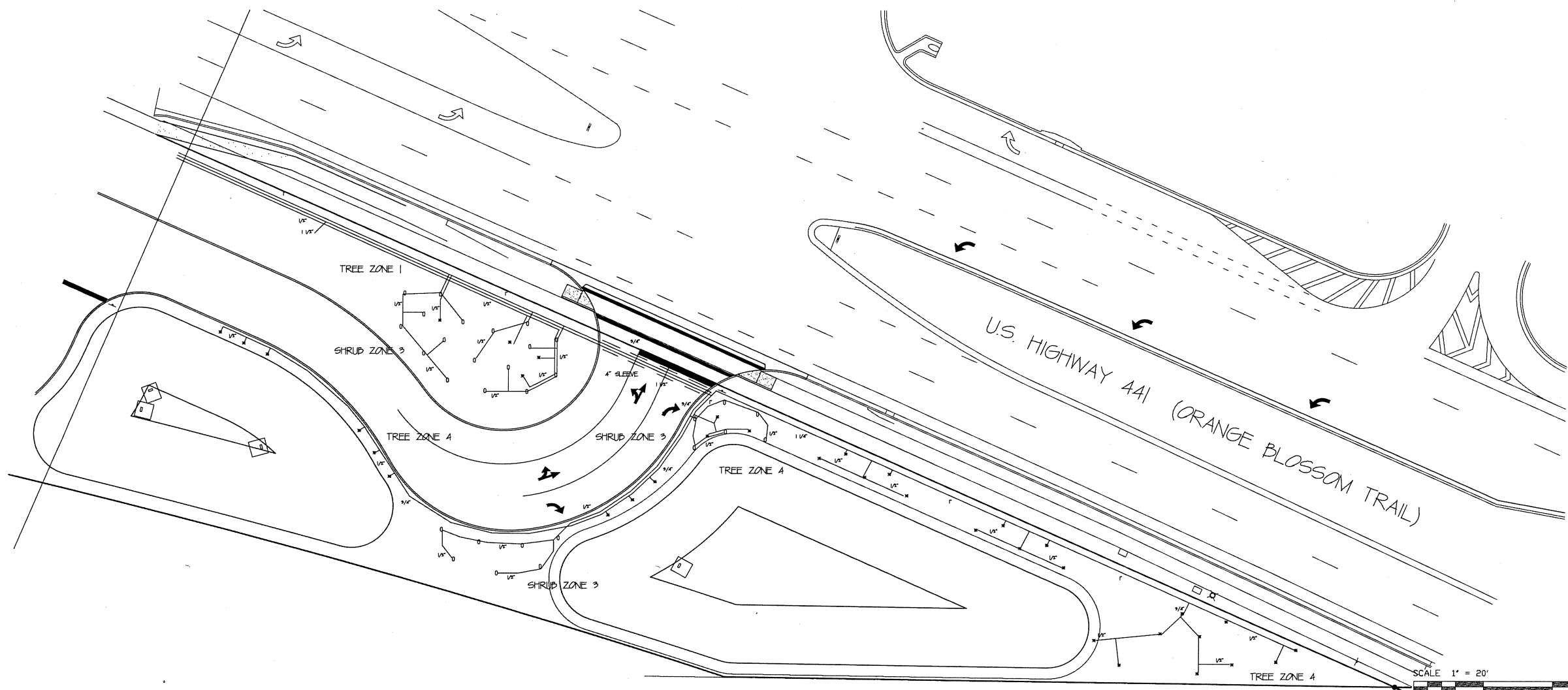
- HUNTER NP 1000 SERIES SPRAY HEADS
- HUNTER NP 1000 SERIES SIDE-SPRAY POP-UP HEADS
- + HUNTER NP 1000 SERIES POP-UP SPRAY HEADS FOR SOD
- x HUNTER POP SERIES BUBBLER HEADS FOR TREES
- 1" WATER METER - IRRIGATION USE ONLY
- SOL SENSOR LOCATION
- HUNTER I-CORE (I-100-N-PL) CONTROLLER
- 2" NELSON VALVES IN WATER-RESISTANT BOXES
- == SLEEVING - SCH. 40 P.V.C.

IRRIGATION ZONE DATA (THIS IS THE SAME CHART AS SHOWN ON L029)

ZONE	GPM USAGE	VALVE SIZE	HEAD TYPE	APPLICATION	LANDSCAPE TYPE
TREE ZONE 1	240 GPM	2"	BUBBLER (5 GPM)	LOW-VOLUME	TREES ONLY
TREE ZONE 2	250 GPM	2"	BUBBLER (5 GPM)	LOW VOLUME	TREES ONLY
TREE ZONE 3	200 GPM	2"	BUBBLER (5 GPM)	LOW-VOLUME	TREES ONLY
TREE ZONE 4	310 GPM	2"	BUBBLER (5 GPM)	LOW VOLUME	TREES ONLY
SHRUB ZONE 1	300 GPM	2"	SPRAY (4 GPM)	LOW VOLUME	SHRUBS ONLY
SHRUB ZONE 2	260 GPM	2"	SPRAY (4 GPM)	LOW VOLUME	SHRUBS ONLY
SHRUB ZONE 3	140 GPM	2"	SPRAY (4 GPM)	LOW-VOLUME	SHRUBS ONLY
SOD ZONE 1	240 GPM	2"	SPRAY (4 GPM)	LOW-VOLUME	SOD ONLY

IRRIGATION NOTES

1. MINOR CHANGES MAY BE MADE IN THIS LAYOUT WITH APPROVAL BY THE LANDSCAPE ARCHITECT AND SHALL BE DOCUMENTED ON RECORD DRAWINGS PROVIDED TO CITY PRIOR TO GO.
2. ALL HEAD LOCATIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION.
3. HEADS SHALL BE 1/4, 1/2, OR FULL CIRCLE AS EACH LOCATION REQUIRES.
4. SPRAYS PATTERNS SHALL BE SET TO MINIMIZE SPRAY ONTO ADJACENT WALKS, DRIVES, AND BUILDINGS.
5. WATER SOURCE FOR SYSTEM SHALL BE A NEW 1" WATER METER INSTALLED IN THE GENERAL AREA SHOWN. METER SHALL BE FOR IRRIGATION USE ONLY AND PERMITTED AS SUCH.
6. PRIOR TO ANY INSTALLATION, THE IRRIGATION CONTRACTOR SHALL REVIEW THE PLANS AND THE SITE AND PROVIDE WRITTEN VERIFICATION TO THE LANDSCAPE ARCHITECT THAT THE EXISTING CONDITIONS ARE SUFFICIENT FOR THE SYSTEM AS DESIGNED. ANY MODIFICATIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION.
7. COORDINATE WITH THE CIVIL PLANS FOR THE WATER METER AND VALVE INSTALLATION.
8. THE CONTROLLER SHALL BE LOCATED IN THE GENERAL AREA SHOWN AND SHALL BE MOUNTED AS APPROVED BY THE LANDSCAPE ARCHITECT IN A LOCKABLE CABINET.
9. THE OWNER WILL PROVIDE AN ELECTRICAL OUTLET IN THE CONTROLLER AREA.
10. ALL VALVES SHALL BE INSTALLED IN WATER-RESISTANT BOXES.
11. ALL SLEEVINGS MUST BE INSTALLED PRIOR TO THE LIMERACKING OF THE PAVED AREAS.
12. ALL SLEEVINGS SHALL BE SCH. 40 P.V.C. AND INSTALLED A MINIMUM OF 18" DEEP.
13. ALL FEEDER LINES SHALL BE INSTALLED A MINIMUM OF 12" DEEP.
14. RAINFALL RANGEBACK DEVICE SHALL BE INSTALLED TO MINIMIZE IRRIGATION DURING SUFFICIENT RAINFALL (RSD SERIES). IN ADDITION AN ALGALMA TDT SENSOR WITH SOX CONTROL MONITOR MUST BE INSTALLED AS LOCATED BY THE LANDSCAPE ARCHITECT FOR PROPER IRRIGATION AMOUNTS.
15. THE ENTIRE SYSTEM MUST BE OPERATIONAL, REVIEWED, AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO FINAL ACCEPTANCE.
16. THE CONTRACTOR SHALL RETURN WITHIN THE FIRST 30 DAYS TO ADJUST THE SYSTEM AS NECESSARY AND DIRECTED BY THE LANDSCAPE ARCHITECT.
17. ALL LABOR AND MATERIALS SHALL BE GUARANTEED FOR 1 YEAR FOR FINAL ACCEPTANCE.
18. THE CONTRACTOR MUST PROVIDE AN AS-BUILT DRAWING TO THE LANDSCAPE ARCHITECT PRIOR TO FINAL ACCEPTANCE.
19. BACKFLOW PREVENTION DEVICE SHALL BE INSTALLED AT THE METER LOCATION PER APPLICABLE CODES.
20. SLEEVES MUST BE INSTALLED IN ALL AREAS WHERE IRRIGATION PIPING IS INSTALLED UNDER PAVEMENT.
21. ZONES ARE DESIGNED TO FUNCTION AT 30 GPM AND 40 PSI AT THE VALVE LOCATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR TESTING AT ALL HEADS TO INSURE PROPER PRESSURE AND WATER QUANTITY FOR THE DESIGNED COVERAGE.
22. CONTRACTOR SHALL CONSULT WITH BOTH OWNER AND THE LANDSCAPE ARCHITECT FOR THE TIMING OF THE SYSTEM, BASED ON CURRENT WATER RESTRICTIONS.
23. SYSTEM DOES NOT PROVIDE 100% COVERAGE OF THE ENTIRE PROJECT SITE. CONTRACTOR MUST ADJUST HEADS TO COVER NEW PLANT INSTALLATION AND SOD AREAS AS DIRECTED BY THE LANDSCAPE ARCHITECT.
24. ALL LINE LOCATIONS MUST BE ADJUSTED ON-SITE TO INSURE THAT THEY DO NOT IMPACT THE MAJOR ROOT SYSTEMS OF THE TREES TO BE PRESERVED.
25. ALL IRRIGATION HEADS SHALL BE LOW-VOLUME, WREGO-IRRIGATION TO MINIMIZE WATER CONSUMPTION.
26. SET RUN TIMES FOR THE SYSTEM PER RECOMMENDATIONS BY IFAS @ EDIS/PAS/LEU/MEX10.
27. ON HEADS LOCATED BELOW THE VALVE LOCATIONS, INSURE CHECK VALVES ARE INSTALLED AT THE HEAD.
28. POP-UP HEIGHTS WITHIN SOD AREAS SHALL BE SET AT 6".
29. ALL VALVES SHALL HAVE A FACTORY-INSTALLED FILTER ENTRY AND VERIFIED BY CONTRACTOR.
30. VERIFY CONTROLLER SET-UP WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
31. ALL IRRIGATION INSTALLATION SHALL MEET 205 GRACES AND STANDARDS.
32. NO IRRIGATION HEADS SHALL BE INSTALLED ON RIVERS PER CITY CODE REQUIREMENTS.
33. ALL AS-BUILTS, VERIFICATIONS, ETC. MUST BE SUBMITTED PRIOR TO FINAL INSPECTION AND ACCEPTANCE.
34. BUBBLERS AT ALL TREES AND PALMS SHALL BE STAKED AT THEIR PROPER LOCATIONS.
35. ALL IRRIGATION DISTRIBUTION EQUIPMENT SHALL BE A MINIMUM OF 24" FROM VERTICAL STRUCTURES.



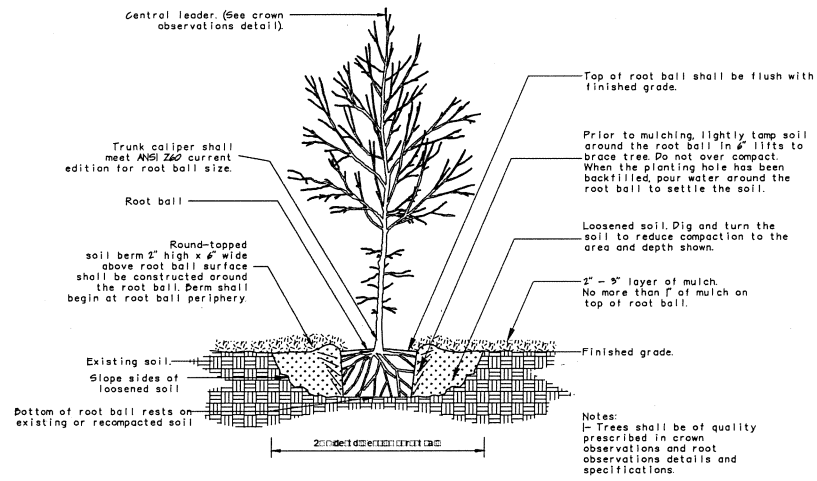
NO.	DATE	DESCRIPTION
1	6/18	CITY COMMENTS

DRAWN BY: RAK	DATE: 5 / 18
SCALE: 1" = 20'	DRAWING NO.: NEW NAME:
JOB NO.:	PG.:

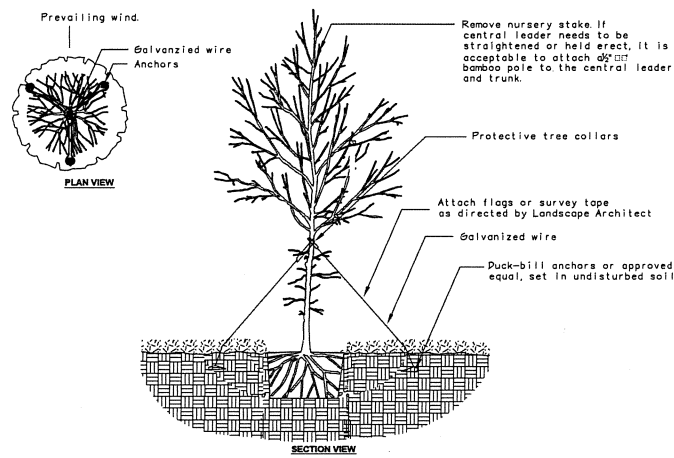
ENVIRONMENTAL DESIGN
ANDY KESSELING, LANDSCAPE ARCHITECT
1920 SE. 8th STREET
OCALA, FLORIDA 34478
(352) 622-8899
LANDSCAPE ARCHITECTURE, SITE PLANNING,
GOLF COURSE DESIGN, COMMERCIAL-RESIDENTIAL DESIGN

IRRIGATION PLAN
IHOP RESTAURANT
APOPKA FLORIDA

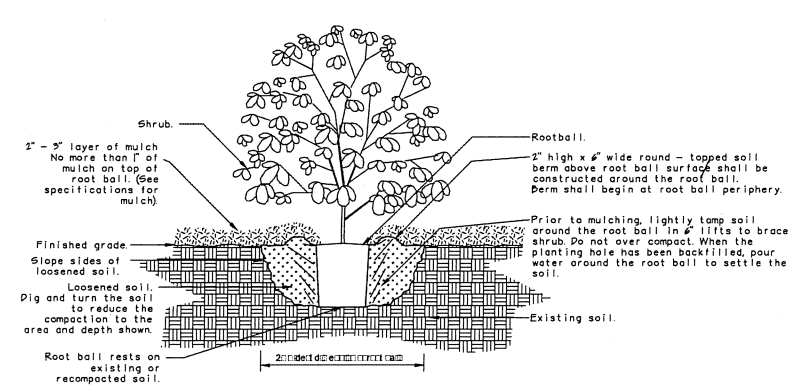
SHEET L024 of _____



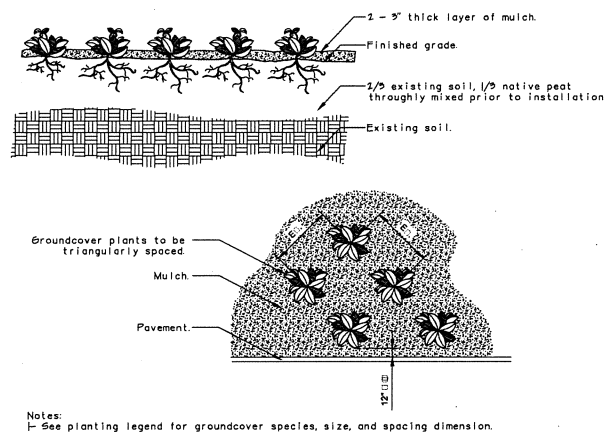
TREE INSTALLATION



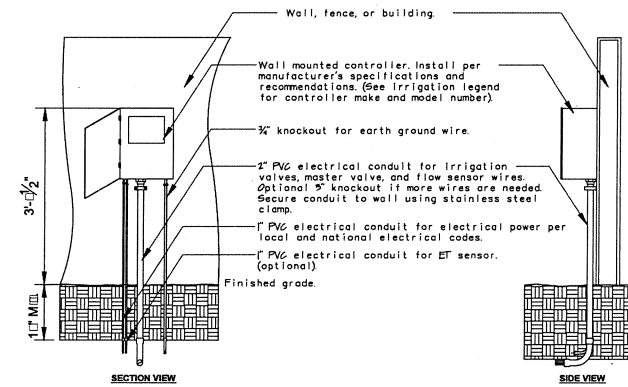
TREE STAKING - TREES < 2" CALIPER



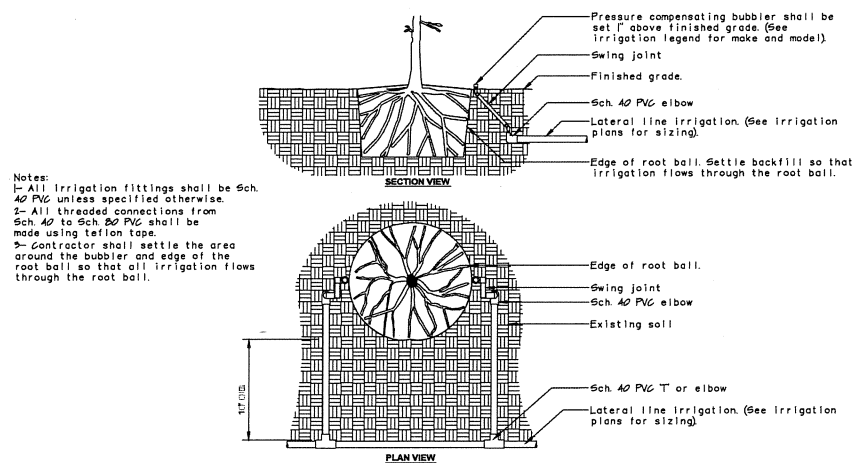
SHRUB INSTALLATION



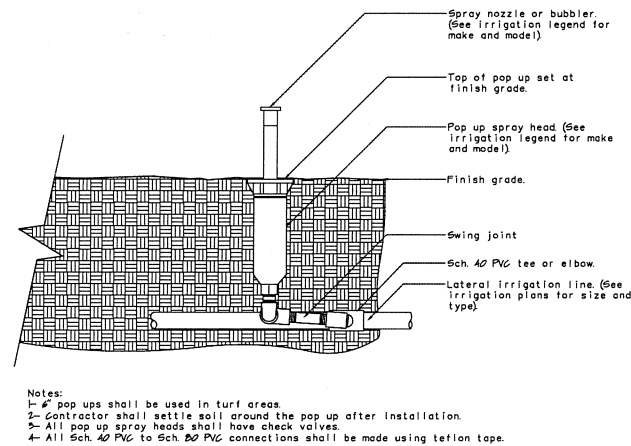
GROUNDCOVER INSTALLATION



WALL MOUNTED CONTROLLER



TREE BUBBLER LAYOUT

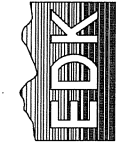


POP UP-SPRAY HEAD

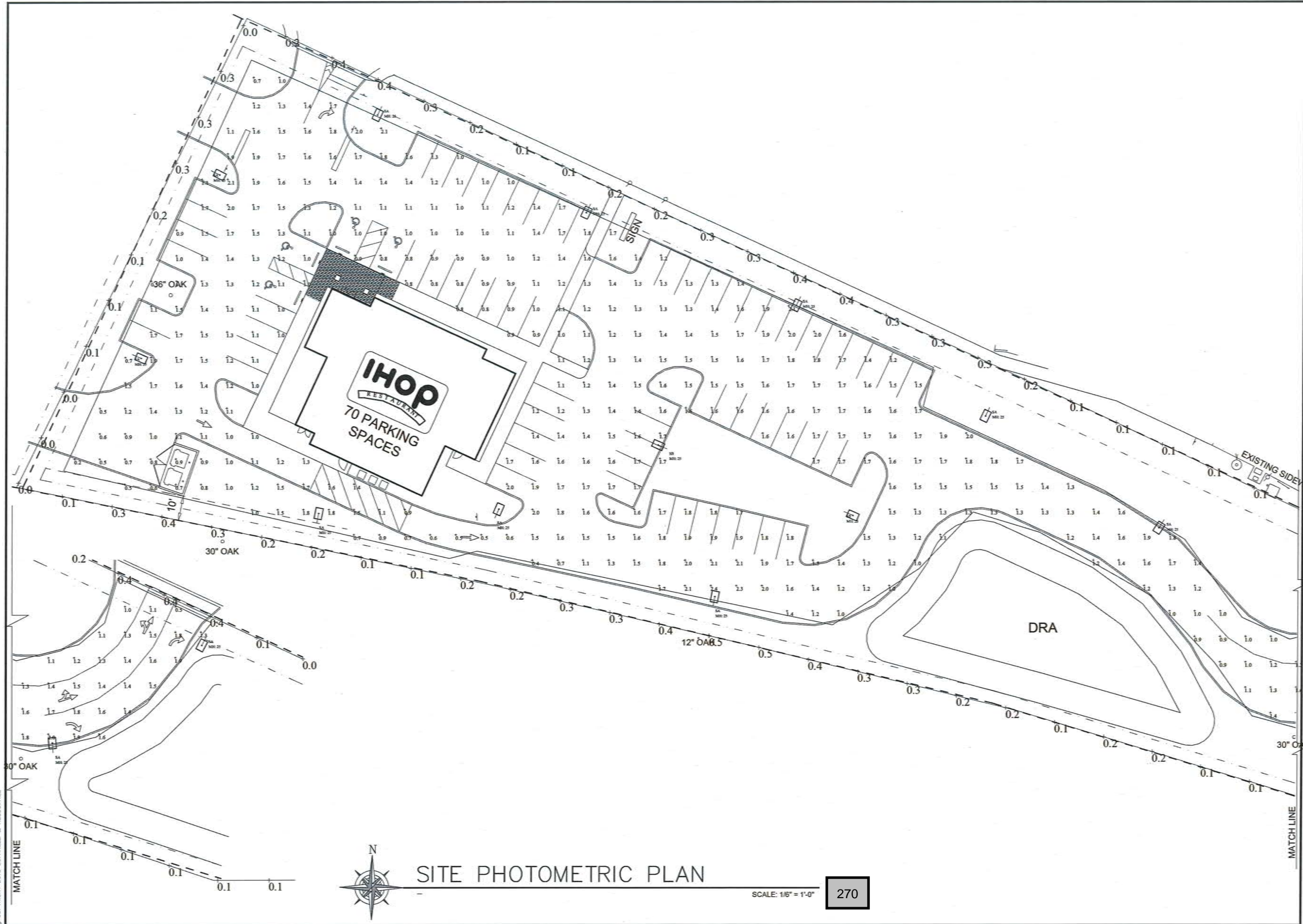
NO.	DATE	BY	DESCRIPTION
1	5/18	RAK	

DATE:	5 / 18
DRAWING NO.:	
NEW NAME:	
SCALE:	1" = 20'
JOB NO.:	
PC:	
FE:	

ENVIRONMENTAL DESIGN
 ANDY KESSELING, LANDSCAPE ARCHITECT
 1920 SE 8th STREET
 Ocala, Florida 34478 (352) 622-8899
 LANDSCAPE ARCHITECTURE, SITE PLANNING,
 GOLF COURSE DESIGN, COMMERCIAL-RESIDENTIAL DESIGN



LANDSCAPE & IRRIGATION DETAILS
 HOP RESTAURANT
 APOKA FLORIDA



© COPYRIGHT 2018 SOFARELLI & ASSOCIATES



SITE PHOTOMETRIC PLAN

SCALE: 1/16" = 1'-0"

270



PROJECT:
NEW RESTAURANT
 LAKE DOE BLVD. at HWY. 441
 (W. ORANGE BLOSSOM TRAIL)
 APOPKA, FLORIDA 32712



STORE # T.B.D.



Revisions:

Content:
 SITE
 PHOTOMETRIC
 PLAN

Filename:
 ICON_PHOTO - R.H.
 APOPKA, FLORIDA
 Date:
 05-07-2018

Proj. no.
 18048
 Sheet:

E-6

Luminaire Schedule						
Symbol	Label	Qty	Description	Arrangement	LLF	Lum. Watts
	SA	12	GARDCO ECF-S-32L-700-NW-G2-4-HIS	SINGLE	0.900	72.9
	SB	2	GARDCO ECF-S-32L-700-NW-G2-5W	SINGLE	0.900	72.9

Calculation Summary					
Description	Avg	Max	Min	Avg/Min	Max/Min
PROPERTY BOUNDARY	0.21	0.5	0.0	N.A.	N.A.
PARKING & DRIVEWAY	1.37	2.4	0.2	6.85	12.00

TYPE "SA" ECF-S-32L-700-NW-G2-4-HIS



The Philips Gardco EcoForm Gen-3 combines economy with performance in an LED area luminaire. Capable of delivering up to 36,400 lumens or more in a compact, low profile LED luminaire, EcoForm offers a new level of customer value. EcoForm features an innovative recessed arm kit, simplifying site conversions to LED by eliminating the need to drill additional holes in most existing poles. Integrated control systems available for further energy savings.

Ordering guide

Model	Height	Arm	Mounting	Finish	Options	Notes
ECF-S-32L-700-NW-G2-4-HIS	4	XX	XX	XX	XX	XX

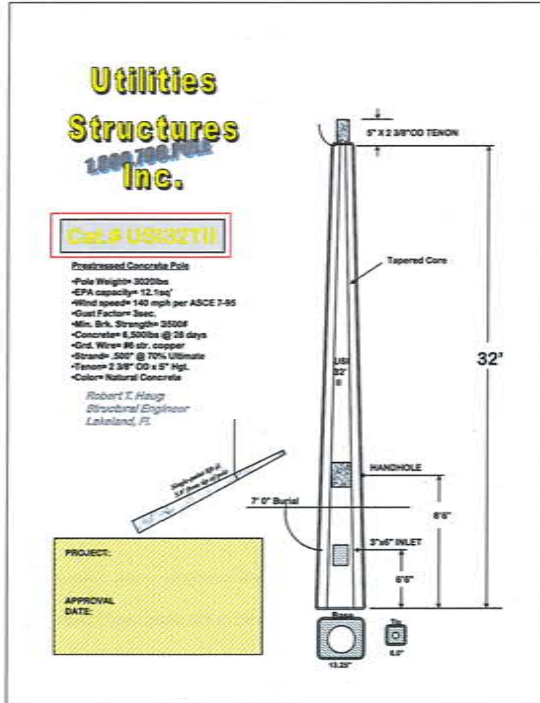
TYPE "SA" ECF-S-32L-700-NW-G2-5



The Philips Gardco EcoForm Gen-3 combines economy with performance in an LED area luminaire. Capable of delivering up to 36,400 lumens or more in a compact, low profile LED luminaire, EcoForm offers a new level of customer value. EcoForm features an innovative recessed arm kit, simplifying site conversions to LED by eliminating the need to drill additional holes in most existing poles. Integrated control systems available for further energy savings.

Ordering guide

Model	Height	Arm	Mounting	Finish	Options	Notes
ECF-S-32L-700-NW-G2-5	5	XX	XX	XX	XX	XX



SITE PHOTOMETRIC DETAILS PLAN

SCALE: NONE

271



ISSUED FOR:
PROPOSED

PROJECT:
NEW RESTAURANT
LAKE DOE BLVD. at HWY. 441
(W. ORANGE BLOSSOM TRAIL)
APOPKA, FLORIDA 32712

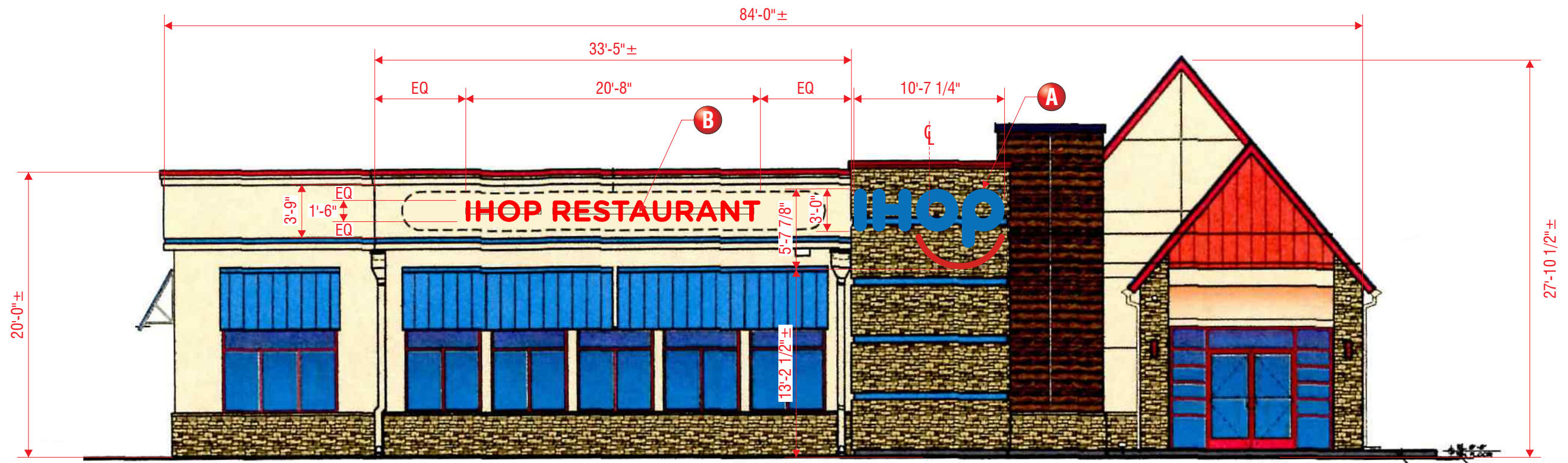


SAXA
SOFARELLI & ASSOCIATES ARCHITECTURE
MICHAEL F. SOFARELLI, JR., AIA
CLEARWATER, FLORIDA 33705
EMAIL: sofarell@verizon.net
F: 727.530.3535
F: 727.530.4419

Revisions:

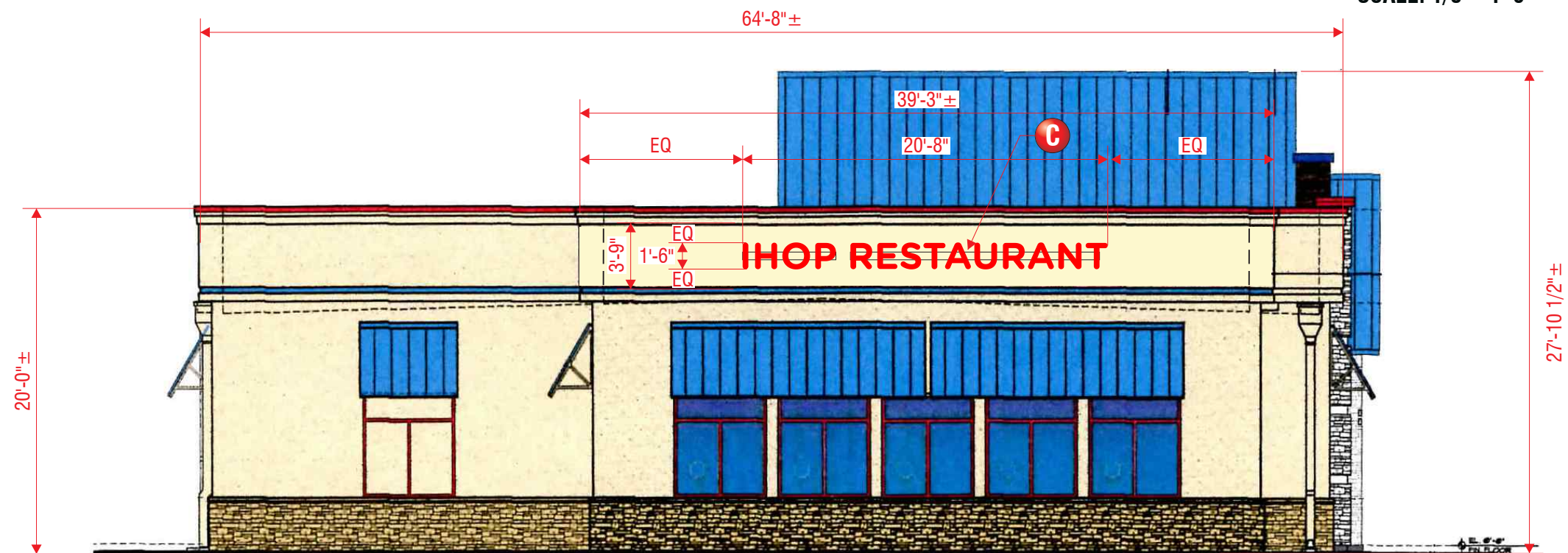
Content:
SITE PHOTOMETRIC DETAILS PLAN

Filename:
ICON PHOTO - R.H.
APOPKA, FLORIDA
Date:
05-07-2018
Proj. no.
18048
Sheet:
E-6.1



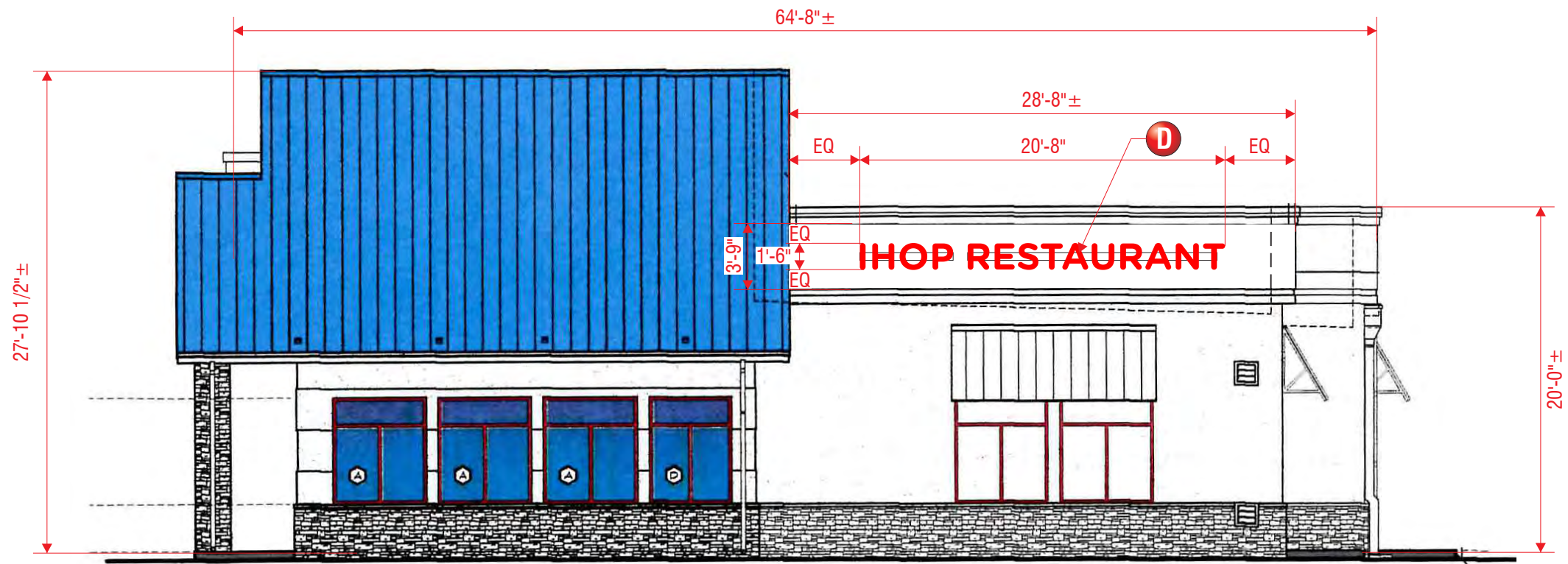
FRONT ELEVATION

SCALE: 1/8"=1'-0"



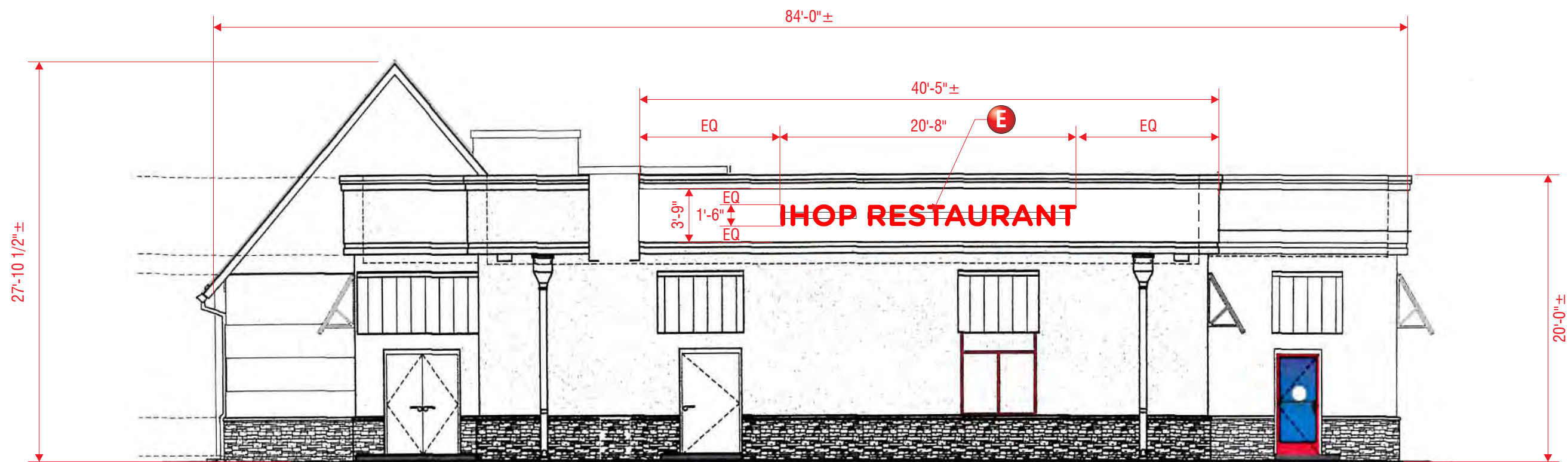
LEFT SIDE ELEVATION

SCALE: 1/8"=1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/8"=1'-0"



REAR ELEVATION

SCALE: 1/8"=1'-0"

FEDERAL HEATH
VISUAL COMMUNICATIONS
 www.FederalHeath.com
 2300 North Highway 121 Euless, Texas 76039
 (817) 685-9077 (800) 527-9495 Fax (817) 685-9103

Manufacturing Facilities:
 Oceanside, CA - Euless, TX - Jacksonville, TX
 Delaware, OH - Racine, WI
 Office Locations:
 Oceanside, CA - Las Vegas, NV - Laughlin, AZ
 Idaho Falls, ID - Euless, TX - Jacksonville, TX - San Antonio, TX
 Houston, TX - Corpus Christi, TX - Indianapolis, IN
 Louisville, KY - Knoxville, TN - Grafton, WI - Delaware, OH
 Willowbrook, IL - Tunica, MS - Atlanta, GA
 Tampa, FL - Daytona Beach, FL - Orlando, FL

Revisions: R1 2.16.17 JDR Update F to monument
 R2 6.8.17 MH Add New Site Plan

Colors Depicted In This Rendering May Not Match Actual Finished Materials. Refer To Product Samples For Exact Color Match.

Client Approval/Date: _____
 Landlord Approval/Date: _____

Account Rep: **Matt Smith**
 Project Manager: **Amber Rhodes**
 Drawn By: **Virgo Argones/CHC**

UL Underwriters Laboratories Inc. **nec** ELECTRICAL TO USE U.L. LISTED COMPONENTS AND SHALL MEET ALL N.E.C. STANDARDS
 ALL ELECTRICAL SIGNS ARE TO COMPLY WITH U.L. 48 AND ARTICLE 600 OF THE N.E.C. STANDARDS, INCLUDING THE PROPER GROUNDING AND BONDING OF ALL SIGNS.

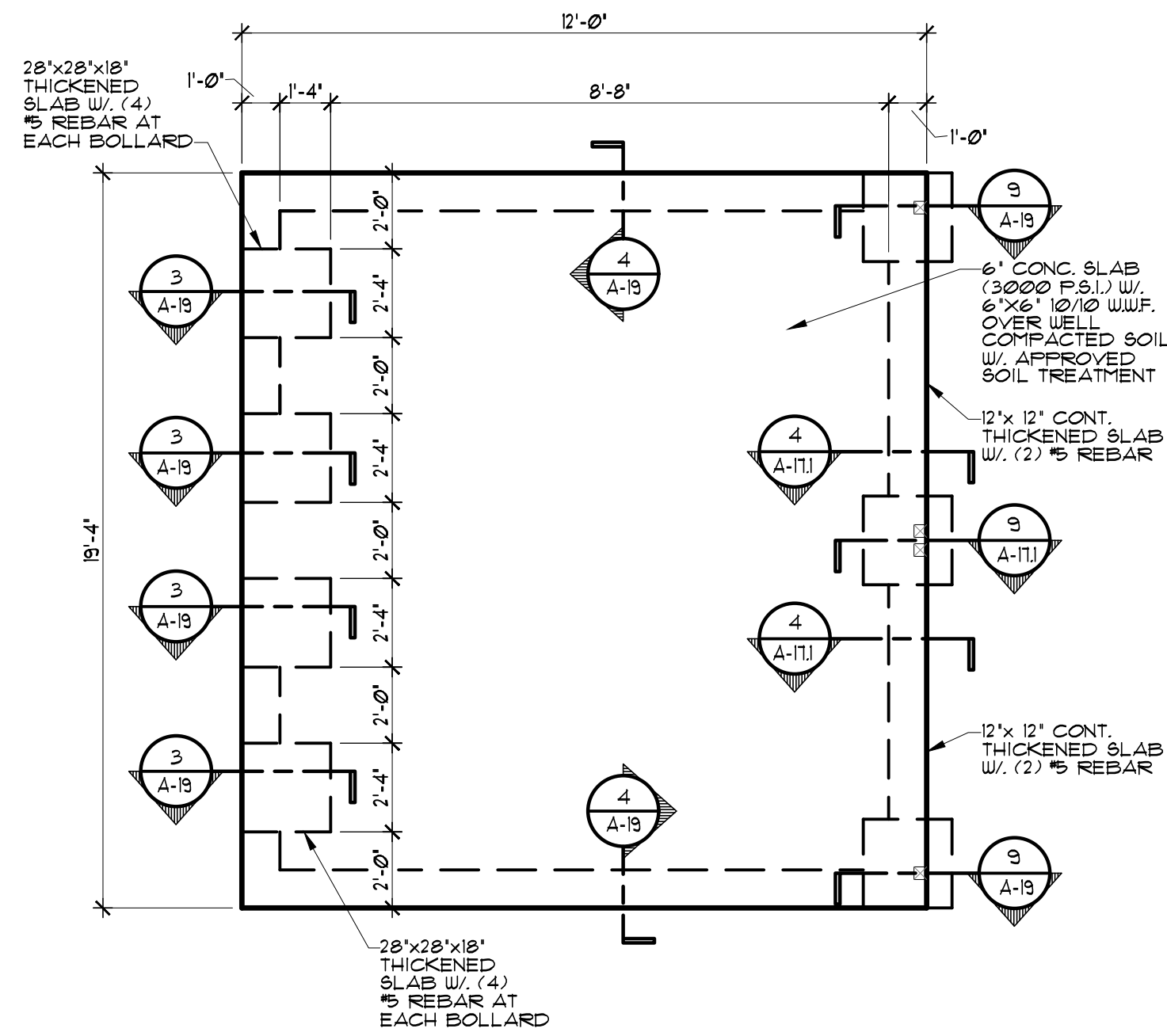
Project / Location:



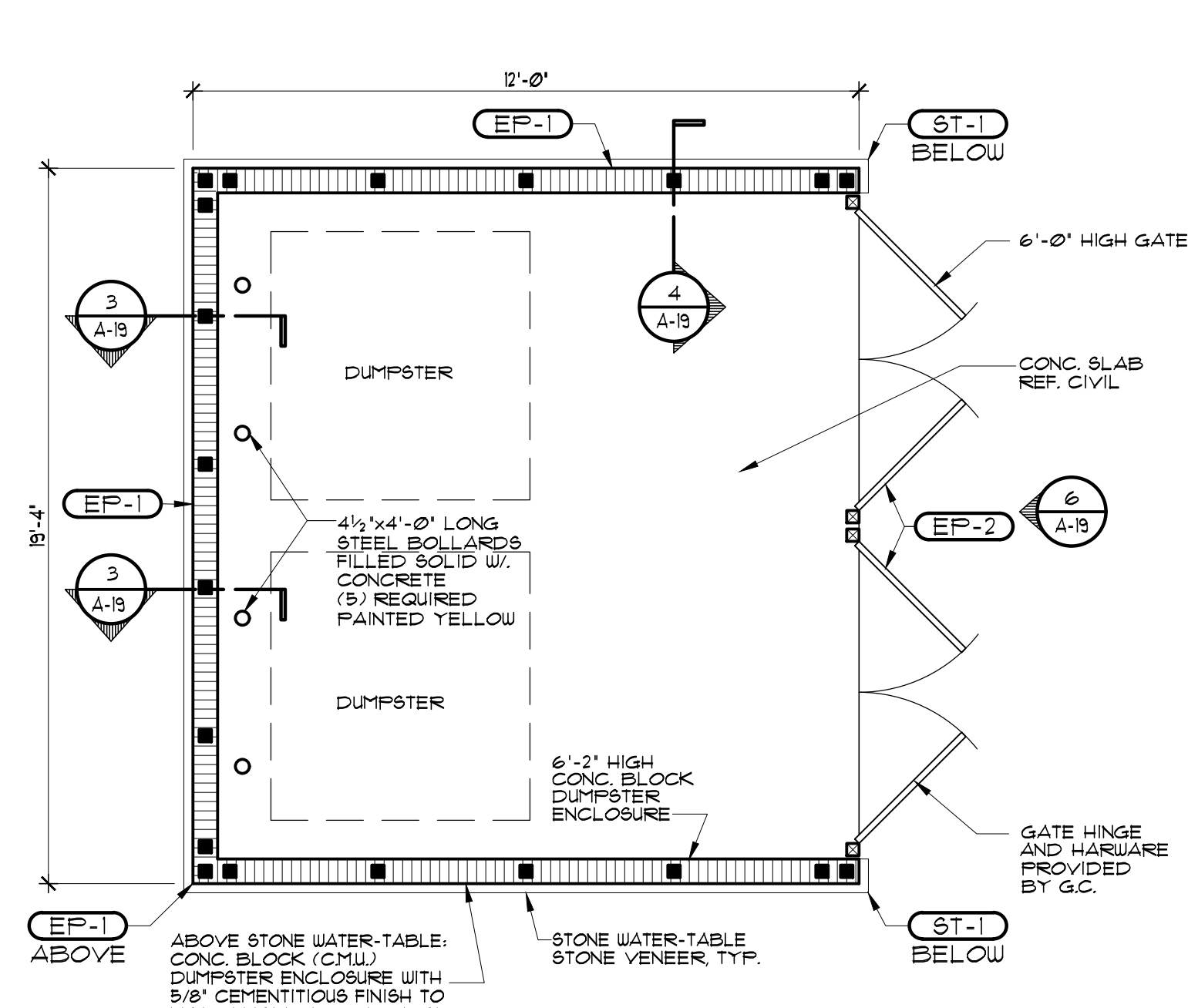
**2803 RIDGEWAY
 LAKE WALES, FL 33859**

Job Number: **23-41474-10**
 Date: **FEBRUARY 09, 2017**
 Sheet Number: **3** Of **6**
 Design Number: **23-41474-10 R2**

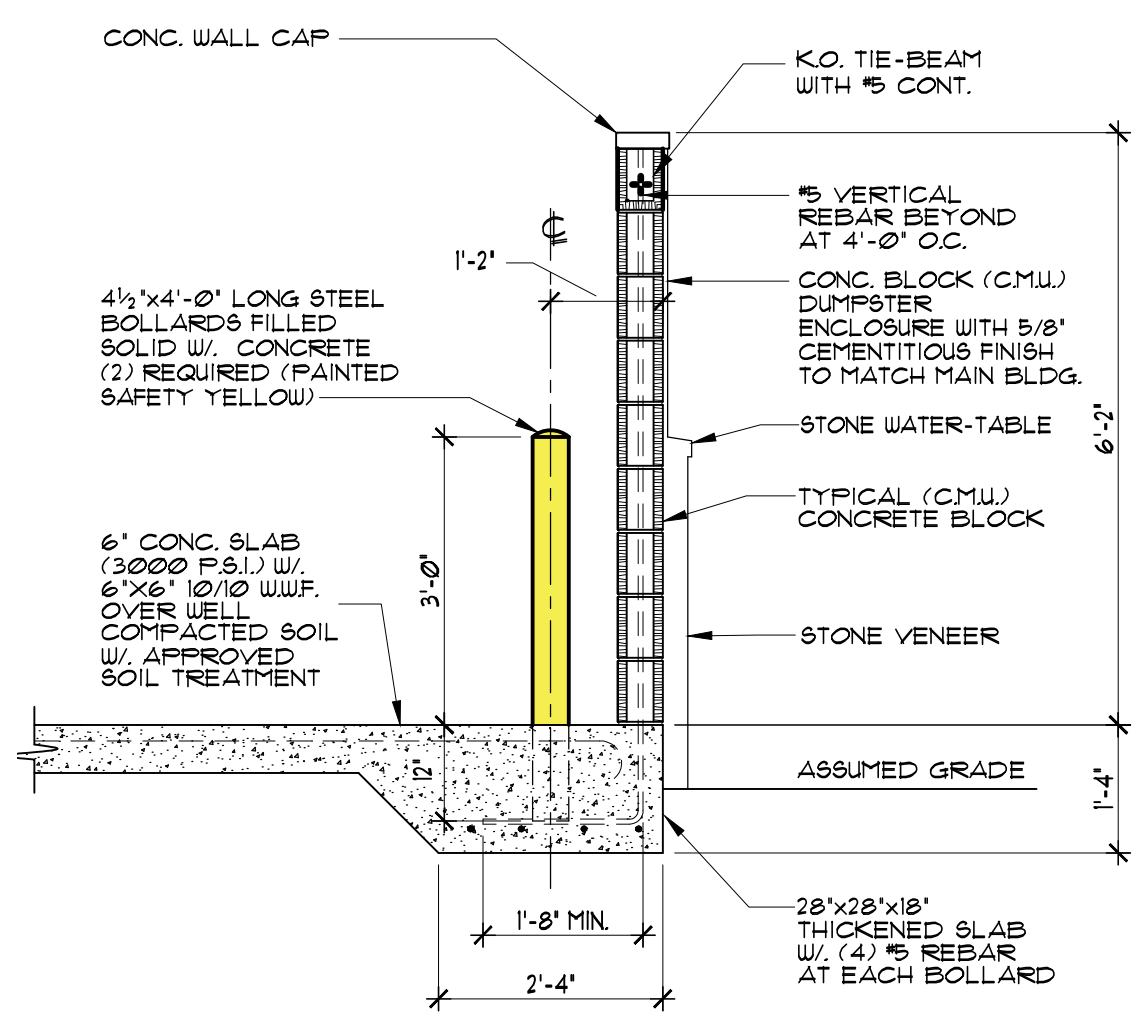
This original drawing is provided as part of a planned project and is not to be exhibited, copied or reproduced without the permission of Federal Heath Sign Company, LLC or its authorized agent. ©FHSC



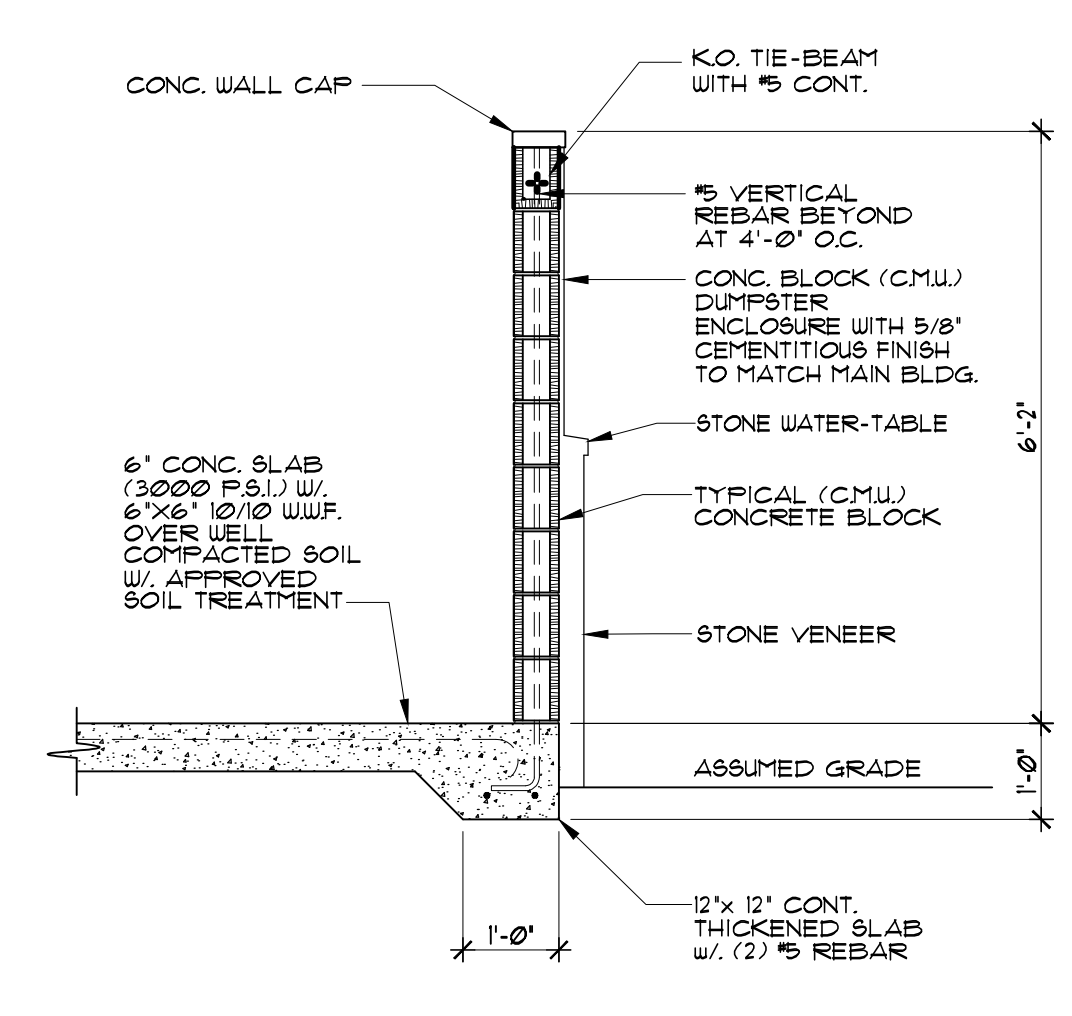
1 FOUNDATION
AT DUMPSTER ENCLOSURE
Scale: 1/4" = 1'-0"



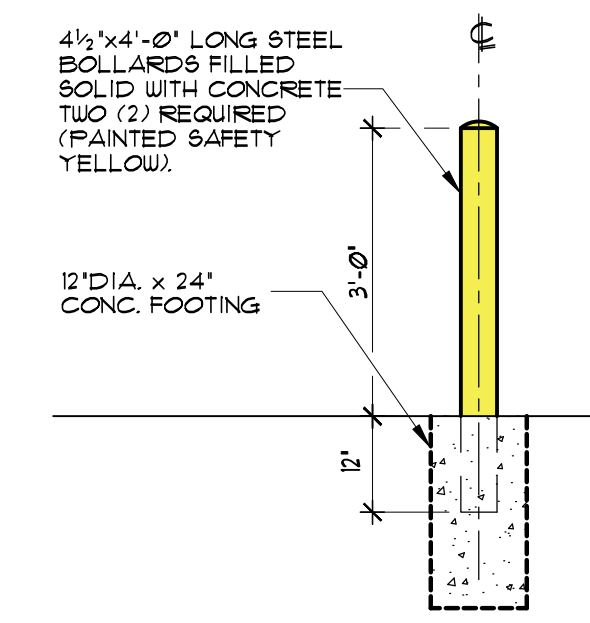
2 FLOOR PLAN
AT DUMPSTER ENCLOSURE
Scale: 1/4" = 1'-0"



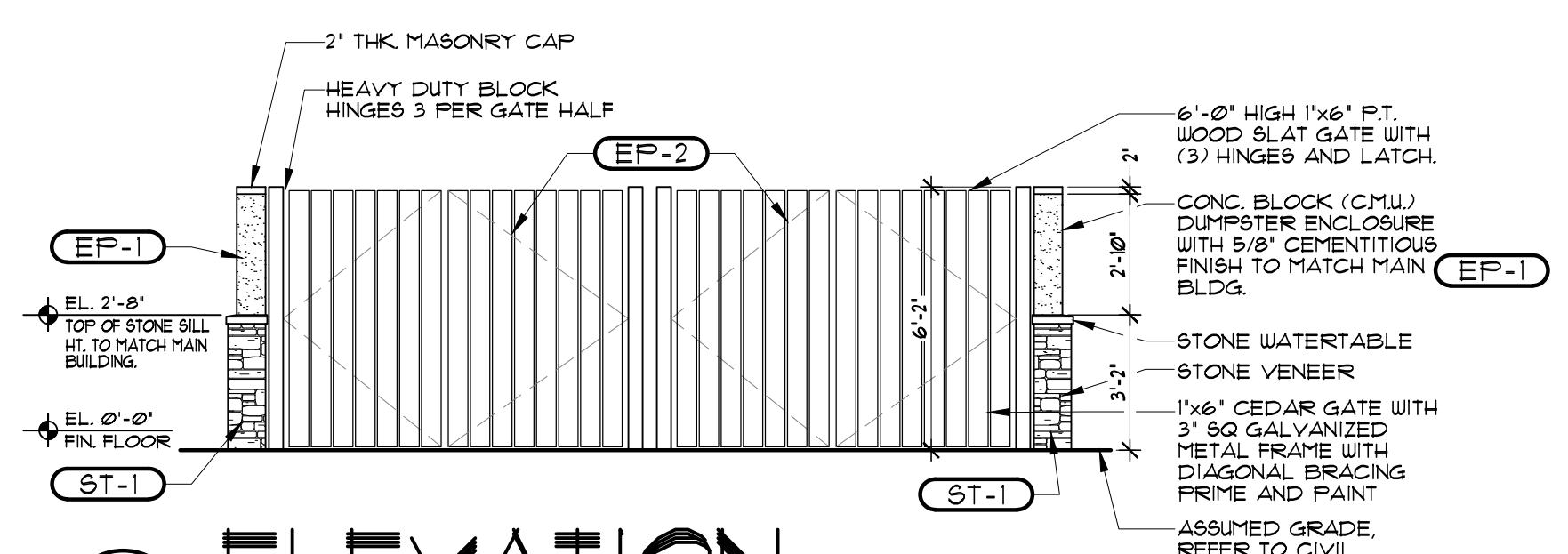
3 WALL SECTION
DUMPSTER ENCLOSURE
Scale: 1/2" = 1'-0"



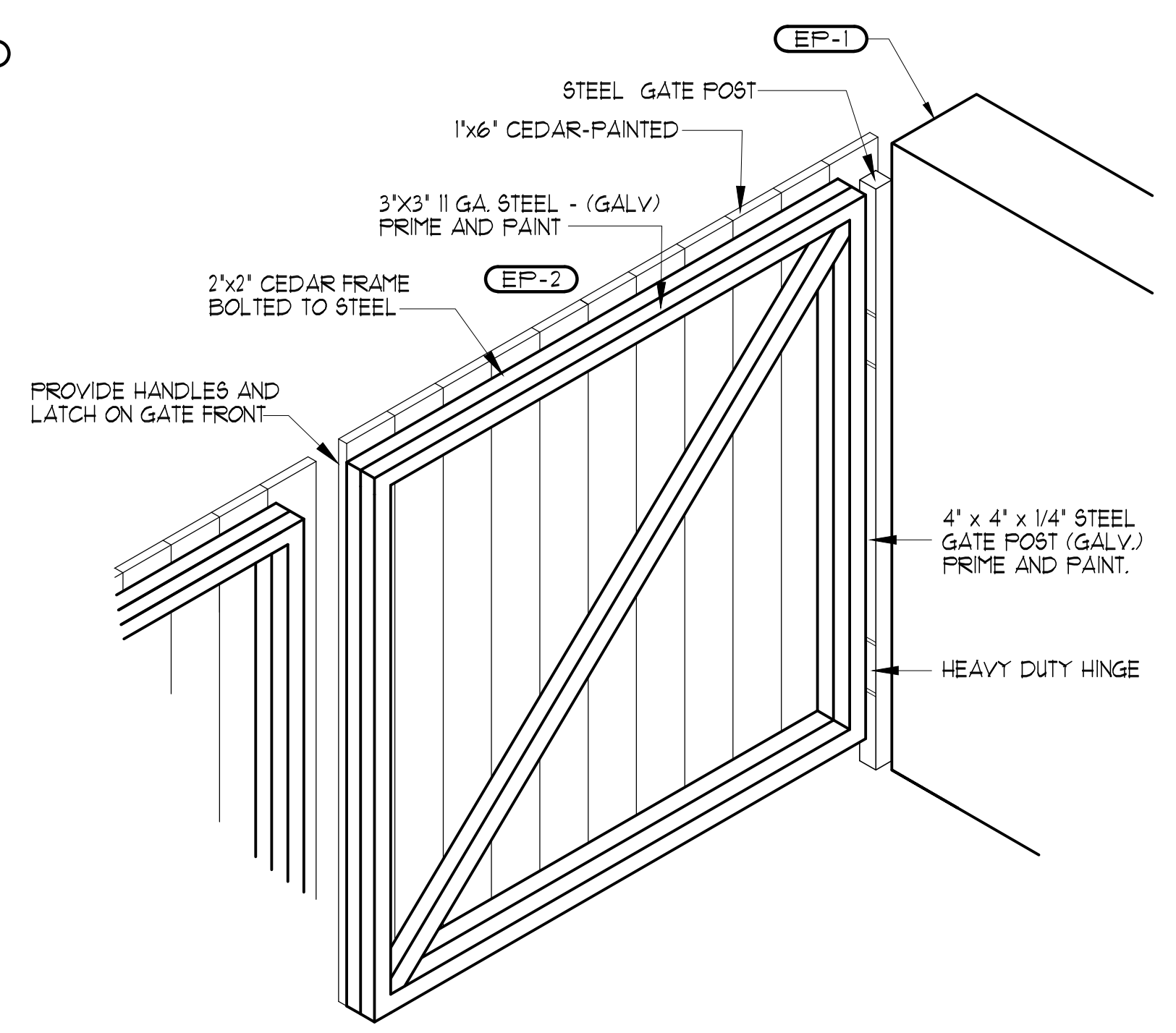
4 WALL SECTION
DUMPSTER ENCLOSURE
Scale: 1/2" = 1'-0"



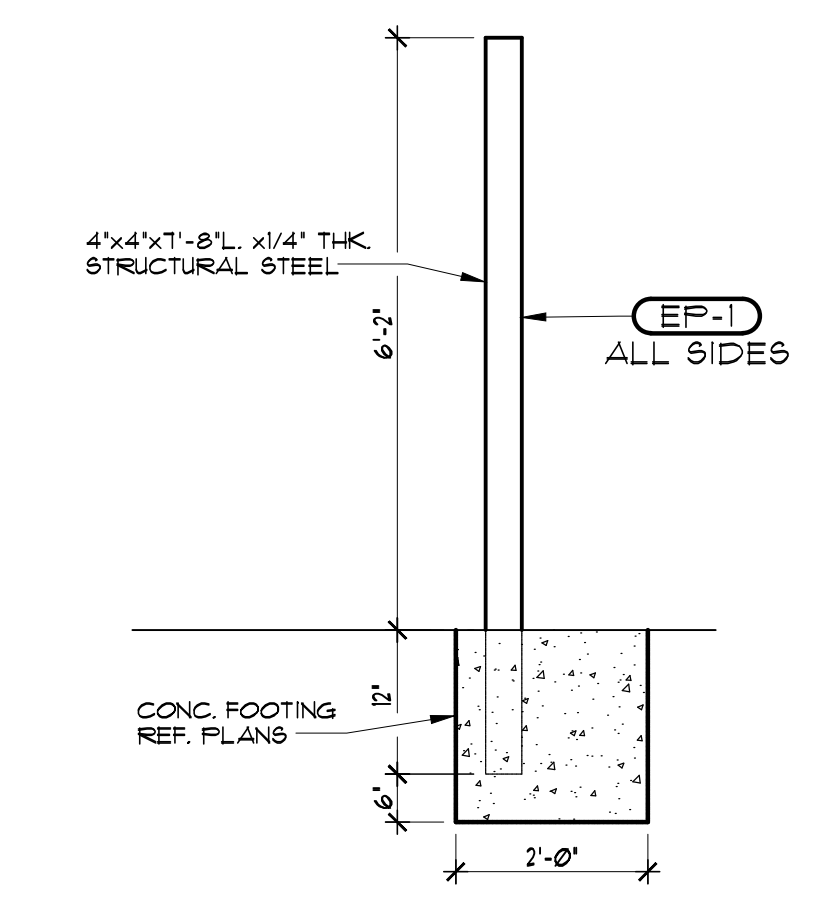
5 DETAIL
BOLLARD
Scale: 1/2" = 1'-0"



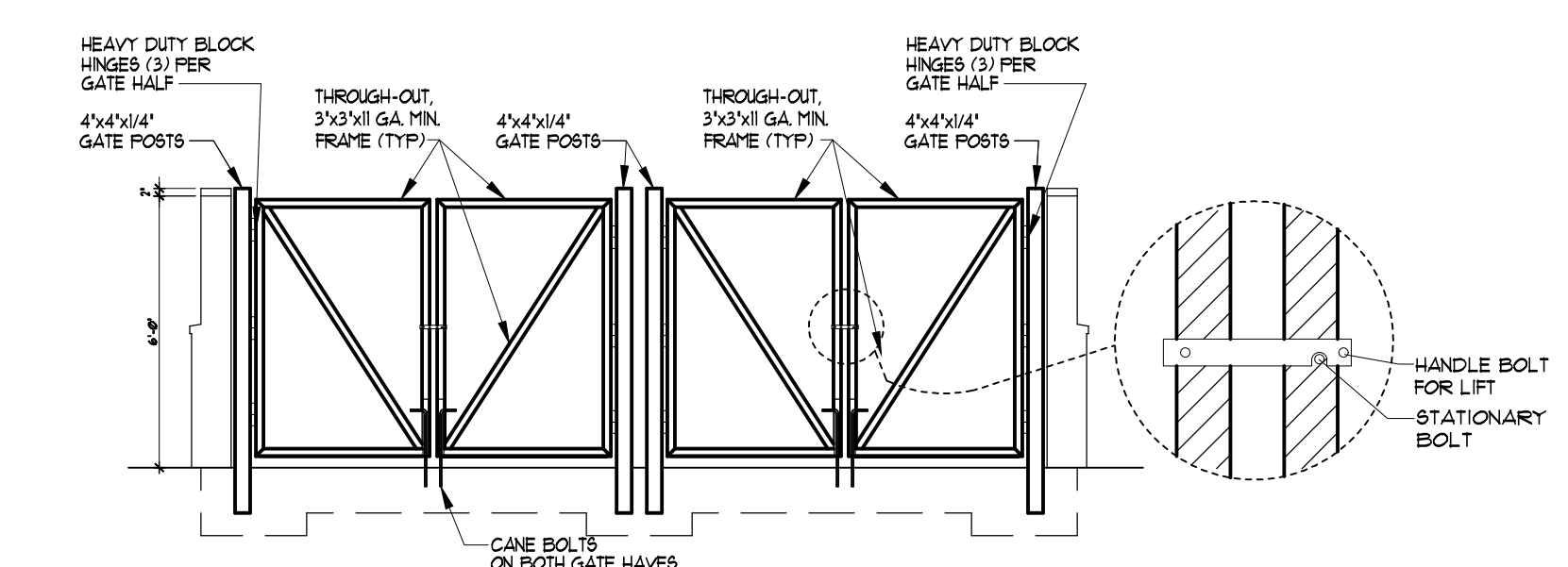
6 ELEVATION
DUMPSTER ENCLOSURE
Scale: 1/4" = 1'-0"



8 DUMPSTER ENCLOSURE GATE DETAIL
N.T.S.



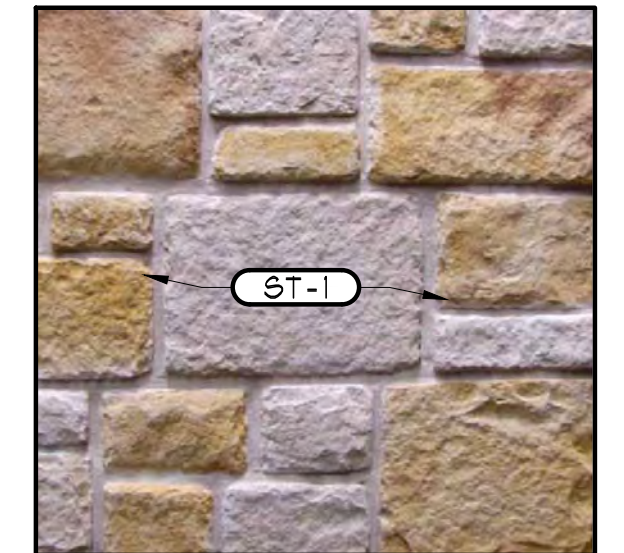
9 DETAIL
COLUMN
Scale: 1/2" = 1'-0"



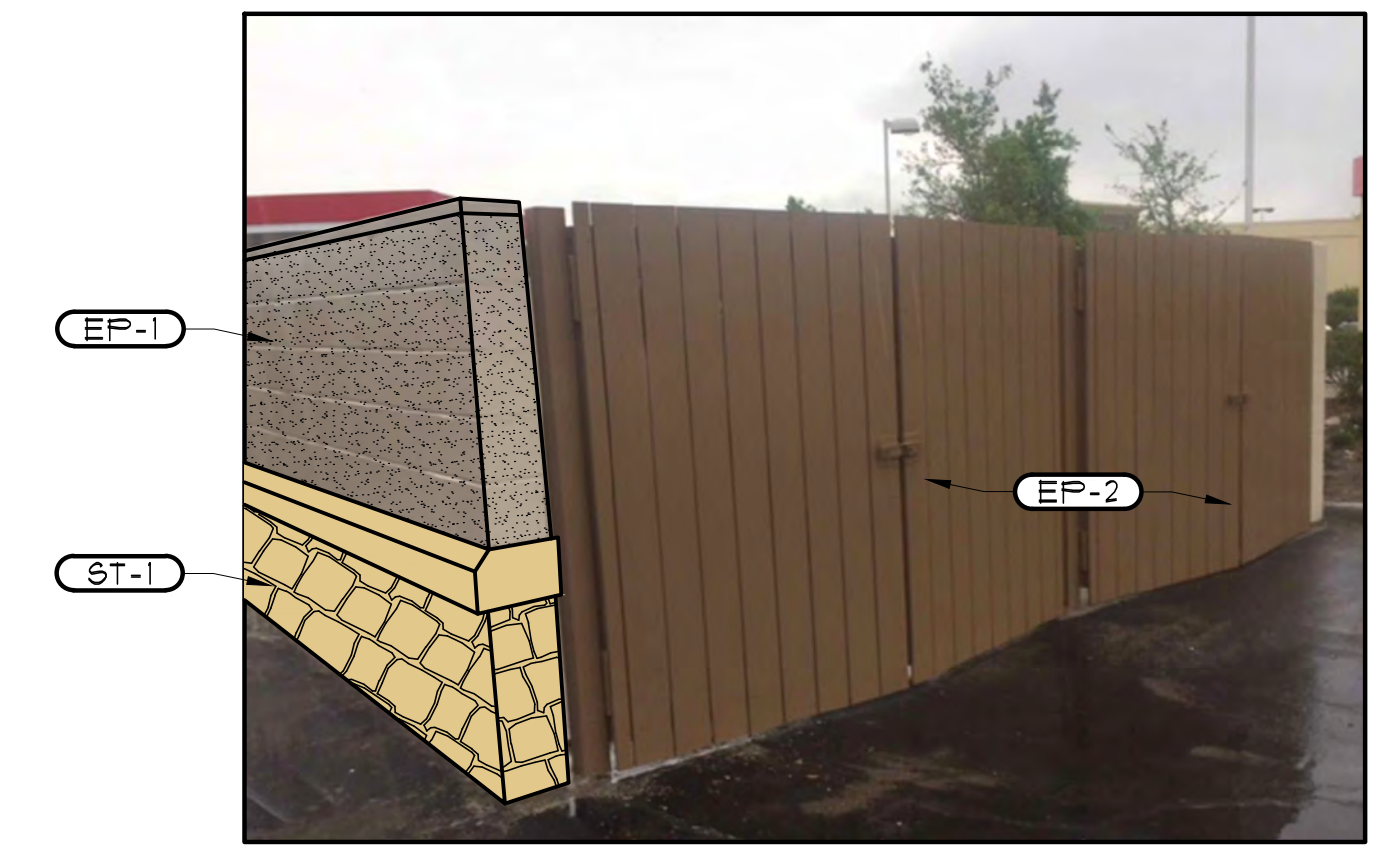
7 GATE FRAME ELEV.
Scale: 1/4" = 1'-0"

EXTERIOR PAINT
EP-1 EXTERIOR PAINT:
COLOR: SW 1031, BALANCED BEIGE
MANUFACTURER: SHERWIN WILLIAMS
EP-2 EXTERIOR PAINT:
COLOR: SW 2855 SYCAMORE TAN
MANUFACTURER: SHERWIN WILLIAMS

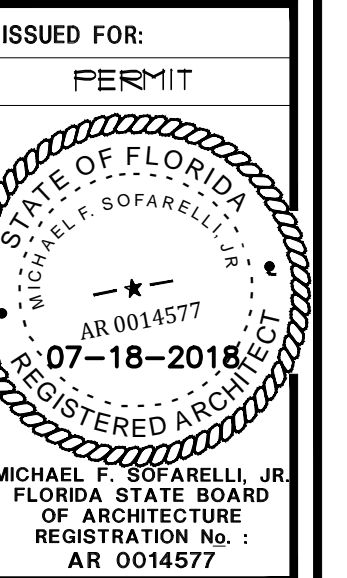
STONE VENEER:
ST-1 = STONE VENEER: CULTURED STONE
LONE STAR STONE HILL COUNTRY CAULK



STONE VENEER
N.T.S.



A ENCLOSURE ELEVATION
FIELD PHOTO
N.T.S.



ISSUED FOR:
PERMIT
STATE OF FLORIDA
MICHAEL F. SOFARELLI, JR.
AR 0014577
07-18-2018
REGISTERED ARCHITECT
MICHAEL F. SOFARELLI, JR.
FLORIDA STATE BOARD
OF ARCHITECTURE
REGISTRATION No.:
AR 0014577

IHOQ NEW RESTAURANT
LAKE DOE BLVD. at HWY. 441
(W. ORANGE BLOSSOM TRAIL)
APOPKA, FLORIDA 32712

PROJECT:
STORE # T.B.D.

SOFARELLI & ASSOCIATES ARCHITECTURE
A.A.
MICHAEL F. SOFARELLI, JR.
6365 142nd AVENUE NORTH
CLEARWATER, FLORIDA 33760
P. 727.530.4419
EMAIL: sofarelli@verizon.net

Revisions:

Content:
DUMPSTER ENCLOSURE DETAILS

Filename:
ICON PHOTO - RH
APOPKA, FLORIDA
Date:
06-28-2018
Proj. no.
18048
Sheet:

This instrument was prepared by and should be returned to:
William P. Weatherford, Jr.
Marlowe & Weatherford, P.A.
1150 Louisiana Avenue, Suite 4
Winter Park, Florida 32789
(407) 629-5008

DOC# 20140454685 B: 10801 P: 4104
09/08/2014 02:58:37 PM Page 1 of 21
Rec Fee: \$180.00
Deed Doc Tax: \$0.70
DOR Admin Fee: \$0.00
Intangible Tax: \$0.00
Mortgage Stamp: \$0.00
Martha O. Haynie, Comptroller
Orange County, FL
MB - Ret To: WOODS & WOODS PA



ACCESS & UTILITY EASEMENT AGREEMENT

THIS ACCESS & UTILITY EASEMENT AGREEMENT (the "Agreement") is made and entered into this 5th day of September, 2014, by and between **Rock RDP 1, LLC**, a Florida limited liability company ("Rock RDP 1"), whose mailing address is 145 Lincoln Avenue, Suite B, Winter Park, Florida 32789, and Calmil Investment Group LP and Kenneth L. Jureit (collectively, the "Calmil"), whose mailing address is 5905 Moray Court NW, Concord, NC 28027.

WITNESSETH:

WHEREAS, simultaneous with the execution of this Agreement, Rock RDP 1 has acquired from Calmil a fee simple ownership interest in certain real property, located in Orange County, Florida, more particularly described in **Exhibit "A"**, attached hereto and incorporated herein (the "Rock RDP 1 Property").

WHEREAS, Calmil has retained ownership of certain real property, located in Orange County, Florida, more particularly described on **Exhibit "B"** attached hereto and by this reference incorporated herein (the "Calmil Property") which Calmil Property is adjacent to the Rock RDP 1 Property; and

WHEREAS, Calmil is conveying the Rock RDP 1 Property to Rock RDP 1 on the condition that Rock RDP 1 grant to Calmil to the easements granted in this Agreement; and

WHEREAS, Calmil desires an easement over and across a portion of the Rock RDP 1 Property to the benefit of the Calmil Property, for the purpose of a non-exclusive easement for vehicular and pedestrian access, ingress, egress but not parking, subject to the terms and provisions hereinafter set forth; and

WHEREAS, Calmil desires an easement over and across a portion of the Rock RDP 1 Property the benefit of Calmil Property, for the purpose of installing and maintaining utility lines subject to the terms and provisions hereinafter set forth.

NOW THEREFORE, in consideration of the premises hereof and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Rock RDP 1 and Calmil hereby agree as follows:

1. **Grant of Mutual Access, Ingress and Egress Easements.**

- a. Rock RDP 1 hereby grants and conveys to Calmil, for the use and

benefit of Calmil and its successors, assigns, purchasers, tenants, employees, agents, invitees and licensees and guests, a non-exclusive easement across any driveways, roads, access ways, sidewalks, walkways, exits and entrances which may, from time to time, be located on the Rock RDP 1 Property solely for purposes of vehicular and pedestrian ingress and egress to and from the Calmil Property to Lake Doe Boulevard, but not for parking, as generally depicted on Exhibit E, attached hereto. The depiction of particular driveways on Exhibit "E" shall not be construed as an obligation to establish or maintain those particular driveways.

b. Calmil hereby grants and conveys to Rock RDP 1, for the use and benefit of Rock RDP 1 and its successors, assigns, purchasers, tenants, employees, agents, invitees and licensees and guests, a non-exclusive easement across any driveways, roads, access ways, sidewalks, walkways, exits and entrances which may, from time to time, be located on the Calmil Property solely for purposes of vehicular and pedestrian ingress and egress to and from the Rock RDP 1 Property to United States Highway 441, but not for parking, as generally depicted on Exhibit E, attached hereto. The depiction of particular driveways on Exhibit "E" shall not be construed as an obligation to establish or maintain those particular driveways.

c. Rock RDP 1 shall, at its sole cost and expense, design and construct such driveways, access ways, exits and entrances as may be reasonably necessary to provide a point of access from the Rock RDP 1 Property to Calmil Property (the "Rock RDP 1 Driveway Construction Obligation"). The driveways, access ways, exits and entrances designed and constructed by Rock RDP 1 on the Rock RDP 1 Property shall comply with the requirements of the City of Apopka. Rock RDP 1 shall perform the Rock RDP 1 Driveway Construction Obligation on or before the issuance of a certificate of occupancy for any occupant of any portion of the Rock RDP 1 Property but no later than December 31, 2015.

d. Calmil or its successor shall, at its sole cost and expense, design and construct such driveways, access ways, exits and entrances as may be reasonably necessary to provide a point of access from the Calmil Property to Rock RDP 1 Property. The driveways, access ways, exits and entrances designed and constructed by Calmil on the Calmil Property shall comply with the requirements of the City of Apopka. Calmil shall complete the construction of such driveways, access ways, exits and entrances on or before the issuance of a certificate of occupancy for any occupant of any portion of the Calmil Property.

e. Notwithstanding the easements granted hereunder, Rock RDP 1 shall not permit construction vehicles seeking access to the Rock RDP 1 Property to obtain ingress and egress to the Rock RDP 1 Property across Calmil Property. Likewise, Calmil shall not permit construction vehicles seeking access to Calmil Property to obtain ingress and egress to Calmil Property across the Rock RDP 1 Property.

f. Calmil reserves the right to establish, from time to time, reasonable rules and regulations for the use of the driveways, access ways, sidewalks, walkways, exits and entrances of the Calmil Property. Likewise, Rock RDP 1 reserves the right to establish, from time to time, reasonable rules and regulations for the use of the driveways, access ways, sidewalks, walkways, exits and entrances of the Rock RDP 1 Property.

g. Calmil shall not establish or erect signs directing traffic from Calmil Property to the driveways, access ways, sidewalks, walkways, exits and entrances of the

Rock RDP 11 Property. Likewise, Rock RDP 1 shall not establish or erect signs directing traffic from the Rock RDP 1 Property to the driveways, access ways, sidewalks, walkways, exits and entrances of Calmil Property.

h. Each party reserves the right, subject to the approval of the other party, which approval shall not be unreasonably withheld, to record an instrument containing the legal description and a sketch of such legal description of the driveways, access ways, sidewalks, walkways, exits and entrances of its Property. Upon the recordation of such instrument the rights of ingress and egress described in this instrument shall apply solely to the real property included in such description.

2. **Grant of Utility Easement.** Rock RDP 1 hereby grants and conveys to Calmil, for the use and benefit of Calmil Property, the owners of any portion thereof or interest therein, their successors and assigns, a non-exclusive easement for utility purposes over, under and across the property legally described in **Exhibit "C"** and as depicted in **Exhibit "C-1"**, both attached hereto and incorporated herein a. ("Utility Easement Area"). Utility installations within the Utility Easement Area may, without limitation, include water (potable, fire protection and irrigation water), telephone, cable, gas and electric power. Calmil may from time to time, at its sole cost and expense, install, maintain and repair, within the Utility Easement Area underground utility lines to provide services to Calmil Property.

Prior to beginning any Utility installations in the Utility Easement Area, Calmil will provide written notice to Rock RDP 1 not later than twenty (20) days from the date Calmil anticipates commencing its' work.

Notwithstanding the foregoing, Calmil hereby agrees that during the any installations within the Utility Easement Area and at all times thereafter for the purposes of maintenance or repair, it shall make every reasonable effort not to impede the driveways, access ways, sidewalks, walkways, exits and entrances of the Rock RDP 1 Property or in any way restrict the access to and from the Rock RDP 1 Property of any automobile, pedestrian, employee or agent of Rock RDP 1.

3. **Grant of Sewer Line Easement.** Rock RDP 1 hereby grants and conveys to Calmil, for the use and benefit of Calmil Property, the owners of any portion thereof or interest therein, their successors and assigns, a non-exclusive easement for the for the conduct and passage of waste water through certain sanitary sewer mains, pipes, conduits, valves, meters and related appurtenances located within the property legally described in **Exhibit "D"** and as depicted in **Exhibit "D-1"**, both attached hereto and incorporated herein ("Sewer Line Easement Area") Rock RDP 1 shall, at its sole cost and expense, design and construct the following improvements to be located in the Sewer Line Easement Area:

Construction of a 4" PVC sanitary sewer force main from the common Calmil/Rock RDP 1 property line, westerly across the Rock RDP 1 parcel, with connection to the City's force main in Lake Doe Boulevard

which improvements shall comply with the requirements of the City of Apopka (the "Sewer Line Construction Obligation"). Rock RDP 1 shall perform the Sewer Line Construction Obligation on or before the issuance of a certificate of occupancy for any occupant of any

portion of the Rock RDP 1 Property but no later than December 31, 2015. Calmil may, from time to time and at its sole cost and expense, connect to the lines and facilities located within the Sewer Line Easement Area to provide services to Calmil Property.

Notwithstanding the foregoing, Calmil hereby agrees that during the construction of the Sewer Line Construction Obligation improvements and at all times thereafter for the purposes of maintenance or repair, it shall make every reasonable effort to not impede the driveways, access ways, sidewalks, walkways, exits and entrances of the Rock RDP 1 Property or in any way restrict the access of any automobile, pedestrian, employee or agent of Rock RDP 1 to the Rock RDP 1 Property.

4. **Duration.** The easements hereby created, granted and conveyed shall remain in effect in perpetuity, subject to the right of Rock RDP 1 to relocate the Utility Easement Area and Sewer Line Easement Area as more particularly set forth in Section 5.

5. **Relocation of the Utility Easement Area and Sewer Line Easement.** Rock RDP 1 reserves the right to relocate all or any part of Utility Easement Area or Sewer Line Easement Area, and the utility lines and facilities installed therein, lying within the Rock RDP 1 Property to one or more other easement areas constituting a part of the Rock RDP 1 Property, provided that Rock RDP 1 pays all costs of relocation, at its sole cost and expense, the reasonable needs of Calmil continue to be met in a reasonable manner during relocation, and Rock RDP 1 executes and delivers to Calmil an amendment to this Agreement, or a separate instrument in form and content acceptable to Rock RDP 1 and Calmil, in which Calmil is granted an easement in and to the new easement area(s), and in which the easement granted herein affecting the relocated easement area(s) will be terminated. Rock RDP 1 shall provide not less than sixty (60) days written notice to Calmil that Rock RDP 1 intends to relocate such easement areas and shall provide plans and specification providing reasonable information about its plans for such relocation (hereafter the "Relocation Notice"). Provided that Calmil does not object within twenty (20) days from the date of the Relocation Notice, then Rock RDP 1 may proceed with such relocation in accordance with such plans. Notwithstanding the foregoing, without the express written consent of Calmil, Rock RDP 1 may not commence its' activities to relocate the Utility Easement Area or Sewer Line Easement area until the sixtieth (60th) day from the date of the Relocation Notice.

6. **Maintenance of Utility Easement Area and Sewer Line Easement Area.** Calmil, at its sole cost and expense, shall be responsible for the repair and maintenance of the utility lines and facilities located within the Utility Easement Area and Sewer Line Easement Area which lines and facilities exclusively serve the Calmil Property. Rock RDP 1, at its cost and expense, shall be responsible for the repair and maintenance of the utility lines and facilities located within the Utility Easement Area and Sewer Line Easement Area which lines and facilities serve the Rock RDP 1 Property.

7. **Remedies.** If Rock RDP 1 fails to maintain and repair the utility lines and facilities serving both the Rock RDP 1 Property and the Calmil Property and/or driveways, roads, access ways, sidewalks, walkways, exits and entrances serving the Calmil Property so that they shall at all times be in good and operable condition and in compliance with all applicable governmental codes and regulations or, if Rock RDP 1 shall fail to perform the Rock RDP 1 Driveway Construction Obligation or the Sewer Line Construction Obligation within the time specified herein, Calmil shall have the right after twenty (20) days written

notice to Rock RDP 1 or, in case of an emergency, at any time, to undertake reasonable construction, repairs and maintenance and Rock RDP 1 shall reimburse Calmil for all reasonable costs and expenses related to Calmil's construction, maintenance and repair activities within thirty (30) days of receipt of an invoice for such costs. In the event Rock RDP 1 does not pay when due Calmil's costs and expenses, Calmil shall be entitled to execute and record among the Public Records of Orange County, Florida a claim of lien encumbering Rock RDP 1 Property. The claim of lien shall be in an amount equal to the reimbursement due to Calmil, plus interest at the highest rate allowed by law from the date said reimbursement was due, together with all costs and reasonable attorneys' fees (at all trial and appellate levels) incurred in connection therewith. Calmil shall be entitled to pursue any or all available remedies to enforce the lien and collect the amounts due, including without limitation foreclosure of the lien or an action to collect the indebtedness.

If Calmil fails to maintain and repair any driveways, roads, access ways, sidewalks, walkways, exits and entrances serving the Rock RDP 1 Property so that they shall at all times be in good and operable condition and in compliance with all applicable governmental codes and regulations or, if Calmil shall fail to perform its' obligations related to the Utility Easement Area within the time specified herein, Rock RDP 1 shall have the right after twenty (20) days written notice to Calmil or, in case of an emergency, at any time, to undertake reasonable construction, repairs and maintenance and Calmil shall reimburse Rock RDP 1 for all reasonable costs and expenses related to Rock RDP 1's construction, maintenance and repair activities within thirty (30) days of receipt of an invoice for such costs. In the event Calmil does not pay when due any Rock RDP 1's costs and expenses, Rock RDP 1 shall be entitled to execute and record among the Public Records of Orange County, Florida a claim of lien encumbering the Calmil Property. The claim of lien shall be in an amount equal to the reimbursement due to Rock RDP 1, plus interest at the highest rate allowed by law from the date said reimbursement was due, together with all costs and reasonable attorneys' fees (at all trial and appellate levels) incurred in connection therewith. Rock RDP 1 shall be entitled to pursue any or all available remedies to enforce the lien and collect the amounts due, including without limitation foreclosure of the lien or an action to collect the indebtedness.

8. **Estoppel Certificates.** In the event that Calmil or Rock RDP 1, or their respective successors or assigns, shall desire to inquire as to the status of any party's performance of or compliance of the obligations imposed in this Agreement, the inquiring party shall be entitled to demand and receive from the other party within ten (10) days prior written notice, an estoppel certificate which states whether any party hereto is in default of its obligations hereunder and whether, when, and to what extent any monies may be due to from one party to another hereunder. Any such written demand must be forwarded pursuant to the notice provision hereunder.

9. **Incidental Rights.** Except as otherwise specifically provided or limited herein, the easements, rights and obligations hereby created, granted and conveyed include all incidental rights reasonably necessary for the use and enjoyment of the easements granted herein and for their intended purposes.

10. **No Common Ownership.** Notwithstanding anything herein set forth, the parties hereto expressly negate any construction of this Agreement which implies the joint or common ownership of any part of Calmil Property or the Rock RDP 1 Property, or which implies the creation, establishment or existence of any partnership, joint venture or other such scheme of common ownership or common operation of the respective properties.

11. **Indemnification.** Rock RDP 1, its successors and assigns, shall indemnify and hold Calmil, its successors and assigns, harmless from and against any and all loss, cause, damage, expense, injury, claim and liability (including reasonable attorney's fees and paraprofessional fees at any pre-trial, trial or appellate proceedings) which Calmil, its successors and assigns, may suffer or incur as the result of, arising out of, or attributable to, use of the Calmil Property by Rock RDP 1, its successors and assigns, or the exercise of any rights granted to Rock RDP 1 herein, except to the extent resulting from the negligent, intentional or willful acts or omissions of the party being indemnified, its contractors, employees, agents or others acting by, through, under or on behalf of such party. Calmil, its successors and assigns, shall indemnify and hold Rock RDP 1, its successors and assigns, harmless from and against any and all loss, cause, damage, expense, injury, claim and liability (including reasonable attorney's fees and paraprofessional fees at any pre-trial, trial or appellate proceedings) which Rock RDP 1, its successors and assigns, may suffer or incur as the result of, or arising out of, or attributable to, use of the Rock RDP 1 Property by Calmil, its successors and assigns, or the exercise of any rights granted to Calmil herein, except to the extent resulting from the negligent, intentional or willful acts or omissions of the party being indemnified, its contractors, employees, agents or others acting by, through, under or on behalf of such party.

12. **No Merger.** If any party shall become the fee owner of any part of the subject real property who is also the holder of a beneficial easement interest created hereunder, said fee interest and beneficial interest shall not merge into the fee estate.

13. **Attorney's Fees.** In the event of a dispute arising under this Agreement, the prevailing party shall be entitled to recover its reasonable attorneys' fees and costs, including attorneys' fees and costs incurred in litigating entitlement to attorneys' fees and costs, as well as in determining or quantifying the amount of recoverable attorneys' fees and costs. The reasonable costs to which the prevailing party is entitled shall include costs that are taxable under any applicable statute, rule or guideline, as well as non-taxable costs, including, but not limited to, costs of investigation, copying costs, electronic discovery costs, telephone charges, mailing and delivery charges, information technology support charges, consultant and expert witness fees, travel expenses, court reporter fees, and mediator fees, regardless of whether such costs are otherwise taxable. The party prevailing in said legal proceedings shall be entitled to recover from the party not prevailing in said legal proceedings reasonable attorneys' fees and court costs incurred incidental thereto, including, without limitation, fees and costs incurred in appellate proceedings and in bankruptcy.

14. **Applicable Law.** This Agreement shall be governed by and construed in accordance with the laws of the State of Florida, exclusive of any conflict of laws provisions thereof that would apply the laws of another jurisdiction. Calmil and Rock RDP 1 hereby submit to the jurisdiction of, and agree that venue for actions hereunder shall be, in the Circuit Court of the State of Florida sitting in Orange County, Florida, and Calmil and Rock RDP 1 each hereby waive any objection to venue in such courts and any objection to any action or proceeding on the basis of forum non-conveniens.

15. **Entire Agreement.** This Agreement contains the entire agreement between Rock RDP 1 and Calmil with respect to the subject matter contained herein, and no representations, inducements, promises or agreements, oral or otherwise, not embodied herein shall be binding upon the owners hereto.

16. **Notices.** Any notice required or permitted to be given hereunder shall be in writing and shall be (i) personally delivered, (ii) transmitted by postage pre-paid registered mail, or (iii) transmitted by a recognized overnight courier service to Calmil and Rock RDP 1, their successor and/or assigns, to the address used by the Orange County Tax Collector, or any successor thereto, for the delivery of invoices for the payment of ad valorem property taxes. Any notice required or given hereunder shall only be deemed as having been received (i) upon actual receipt if delivered by hand, (ii) the day following deposit thereof if sent via nationally recognized overnight courier service for next day delivery or (iii) upon receipt or refusal if sent by certified mail, return receipt requested or upon refusal to accept delivery from any overnight courier. Either party may, from time to time, give notice to the other party of some other address to which notices or other communications to such party shall be sent, in which event, notices or other communications to such party shall be sent to such address. If any notice or other communication described in this Agreement is sent by either party hereto to the other and such notice or other communication was not sent in accordance with the foregoing terms of this Section but was, in fact, actually received by the other party, then such notice or other communication shall be deemed to have been duly given by the sending party and received by the recipient party effective as of such date of actual receipt. If any notice is tendered and is refused by the intended recipient, such notice shall nonetheless be considered to have been given and shall be effective as of the date provided herein.

17. **Force Majeure.** Except with respect to any failure to pay any sum due hereunder as a result of bankruptcy, insolvency or refusal or inability to pay, if either party shall be delayed or hindered in whole or in part, or prevented from, the performance of any non-monetary covenant or obligation hereunder as a result of acts of God, fire or other casualty, earthquake, hurricane, flood, epidemic, landslide, enemy act, acts of war, acts of terrorism or bioterrorism, riot, intervention by civil or military authorities of government, insurrection or other civil commotion, general unavailability of certain materials, strikes, boycotts, lockouts, labor disputes or work stoppage beyond the control of either party hereto, then the performance of such covenant or obligation, shall be excused for the period of such delay, hindrance or prevention and the period of the performance of such covenant or obligation shall be extended by the number of days equivalent to the number of days of such delay, hindrance or prevention. The delayed or hindered party shall promptly notify the other party of any force majeure event affecting the delayed or hindered party's performance under this Agreement.

18. **Severability.** The invalidity or unenforceability of any provision or portion of this Agreement will not affect the validity of the remainder of this Agreement. If any provision of this Agreement is determined to be invalid or unenforceable, Calmil and Rock RDP 1 will negotiate in good faith to agree upon substitute provisions to carry out the purpose and intent of the invalid or unenforceable provision.

19. **Miscellaneous.** With or without specific reference thereto, the conveyance of an interest in all or any portion of either Calmil Property or the Rock RDP 1 Property shall be subject to the benefits and burdens of the easements hereby created, granted and conveyed to the same extent as if all the terms and conditions of this Agreement were set forth in full in such conveyance. The easements, covenants, agreements, obligations and conditions contained herein shall not be personal, but shall run with the land and shall be binding upon and inure to the benefit of the owners of all portions of Calmil Property and the Rock RDP 1 Property, the successors and assigns of said owners, and the tenants, agents, licensees, guests and invitees of each of them. The caption included herein are for reference only and should not be used in construing any of the terms hereof.

Signed, sealed and delivered
in the presence of:

CALMIL

Calmil Investment Group, LP

Frank J. Chin
Print: Frank J. Chin

Katelyn Bayer
Print: Katelyn Bayer

Frank J. Chin
Print: Frank J. Chin

Katelyn Bayer
Print: Katelyn Bayer

By: Kenneth L. Jureit
Kenneth L. Jureit, General Partner

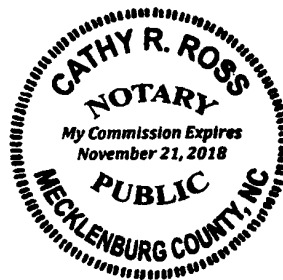
Kenneth L. Jureit
Kenneth L. Jureit as Trustee of THE KENNETH
LEE JUREIT LIVING TRUST dated February
12, 2002, as amended

STATE OF NORTH CAROLINA)
COUNTY OF Cabarrus

The foregoing instrument was acknowledged before me this 28th day of August,
2014, by Kenneth L. Jureit, as trustee and as general partner of Calmil Investment Group,
L.P., on behalf of the limited partnership, who is personally known to me or who presented
a valid driver's license as identification.

Cathy R. Ross
NOTARY PUBLIC
STATE OF NORTH CAROLINA
Print Name: Cathy R. Ross

My commission expires: 11/21/18


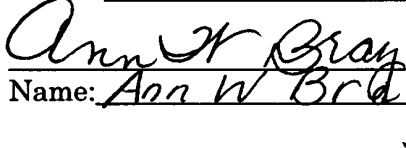


Rock RDP 1

Rock RDP 1, LLC,
A Florida limited liability company

By: ROCK CELLULAR, LLC,
A Florida limited liability company,
As it's sole Manager

By: ROCK PROPERTIES, INC.,
a Florida corporation,
as its sole Manager


Name: David R. Woods

Name: Ann W. Brady

By: 
Name: Greg I. Zuckerman
Title: President

STATE OF FLORIDA)
COUNTY OF ORANGE)

The foregoing instrument was acknowledged before me this 9th day of September, 2014, by Greg I. Zuckerman, as President of Rock RDP 1, LLC, a Florida limited liability company, on behalf of the limited liability company, who is personally known to me or who presented a valid driver's license as identification.




NOTARY PUBLIC STATE OF FLORIDA

Print Name: _____
My commission expires: _____

EXHIBIT "A"
ROCK RDP 1PROPERTY

EXHIBIT "A"

ROCK RDP 1 PROPERTY LEGAL DESCRIPTION

THE WEST 127.94 FEET OF THE S.W. 1/4 OF THE S.E. 1/4 OF SECTION 5, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, LYING SOUTH OF U.S. HIGHWAY 441 AND NORTH OF THE SEABOARD COASTLINE RAILROAD RIGHT-OF-WAY, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE INTERSECTION OF THE SOUTH RIGHT-OF-WAY LINE OF U.S. HIGHWAY 441 (163 FEET WIDE) WITH THE WEST BOUNDARY OF THE S.W. 1/4 OF THE S.E. 1/4 OF SAID SECTION 5, SAID POINT BEING ON THE EAST RIGHT-OF-WAY LINE OF LAKE DOE BOULEVARD (60 FEET WIDE); THENCE S00°54'42"W ALONG SAID WEST BOUNDARY AND SAID EAST RIGHT-OF-WAY LINE, A DISTANCE OF 300.39 FEET TO THE NORTH RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD (120 FEET WIDE); THENCE DEPARTING SAID WEST BOUNDARY AND EAST RIGHT-OF-WAY LINE, PROCEED S78°27'33"E ALONG SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 130.18 FEET; THENCE DEPARTING SAID NORTH RIGHT-OF-WAY LINE, PROCEED N00°54'42"E, A DISTANCE OF 267.56 FEET TO A POINT ON THE AFOREMENTIONED SOUTH RIGHT-OF-WAY LINE OF U.S. HIGHWAY 441; THENCE N65°08'03"W ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 140.00 FEET TO THE POINT OF BEGINNING.

ROGERS ENGINEERING, LLC
 Civil Engineering & Land Surveying

• 1105 S.E. 3rd Avenue • Ocala, Florida 34471
 • Ph. (352) 622-9214 • Lic. Bus. #4074

SCALE

DATE

6-02-14

EXHIBIT "B"
CALMIL PROPERTY

EXHIBIT "B"

CALMIL PROPERTY LEGAL DESCRIPTION

THE S.W. 1/4 OF THE S.E. 1/4 OF SECTION 5, TOWNSHIP 21 SOUTH,
RANGE 28 EAST, ORANGE COUNTY, FLORIDA, LYING SOUTH OF U.S.
HIGHWAY 441 AND NORTH OF THE SEABOARD COASTLINE RAILROAD
RIGHT-OF-WAY EXCEPT THE WEST 127.94 FEET THEREOF.

ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying

• 1105 S.E. 3rd Avenue • Ocala, Florida 34471
• Ph. (352) 622-9214 • Lic. Bus. #4074

SCALE

DATE

6-02-14

EXHIBIT "C"
UTILITY EASEMENT AREA

EXHIBIT "C"
UTILITY EASEMENT

LEGAL DESCRIPTION - UTILITY EASEMENT

COMMENCE AT THE INTERSECTION OF THE SOUTH RIGHT-OF-WAY LINE OF U.S. HIGHWAY 441 (163 FEET WIDE) WITH THE WEST BOUNDARY OF THE S.W. 1/4 OF THE S.E. 1/4 OF SAID SECTION 5, SAID POINT BEING ON THE EAST RIGHT-OF-WAY LINE OF LAKE DOE BOULEVARD (60 FEET WIDE); THENCE S00°54'42"W ALONG SAID WEST BOUNDARY AND SAID EAST RIGHT-OF-WAY LINE, A DISTANCE OF 220.39 FEET TO THE POINT OF BEGINNING; THENCE DEPARTING SAID RIGHT-OF-WAY LINE, PROCEED S78°27'33"E, A DISTANCE OF 130.18 FEET TO A POINT ON THE EAST PROPERTY LINE OF THE PARENT PARCEL; THENCE S00°54'42"W ALONG SAID EAST PROPERTY LINE, A DISTANCE OF 24.42 FEET; THENCE DEPARTING SAID EAST PROPERTY LINE, PROCEED N78°27'33"W, A DISTANCE OF 130.18 FEET TO A POINT ON THE AFOREMENTIONED EAST RIGHT-OF-WAY LINE OF LAKE DOE BOULEVARD; THENCE N00°54'42"E ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 24.42 FEET TO THE POINT OF BEGINNING.

ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying

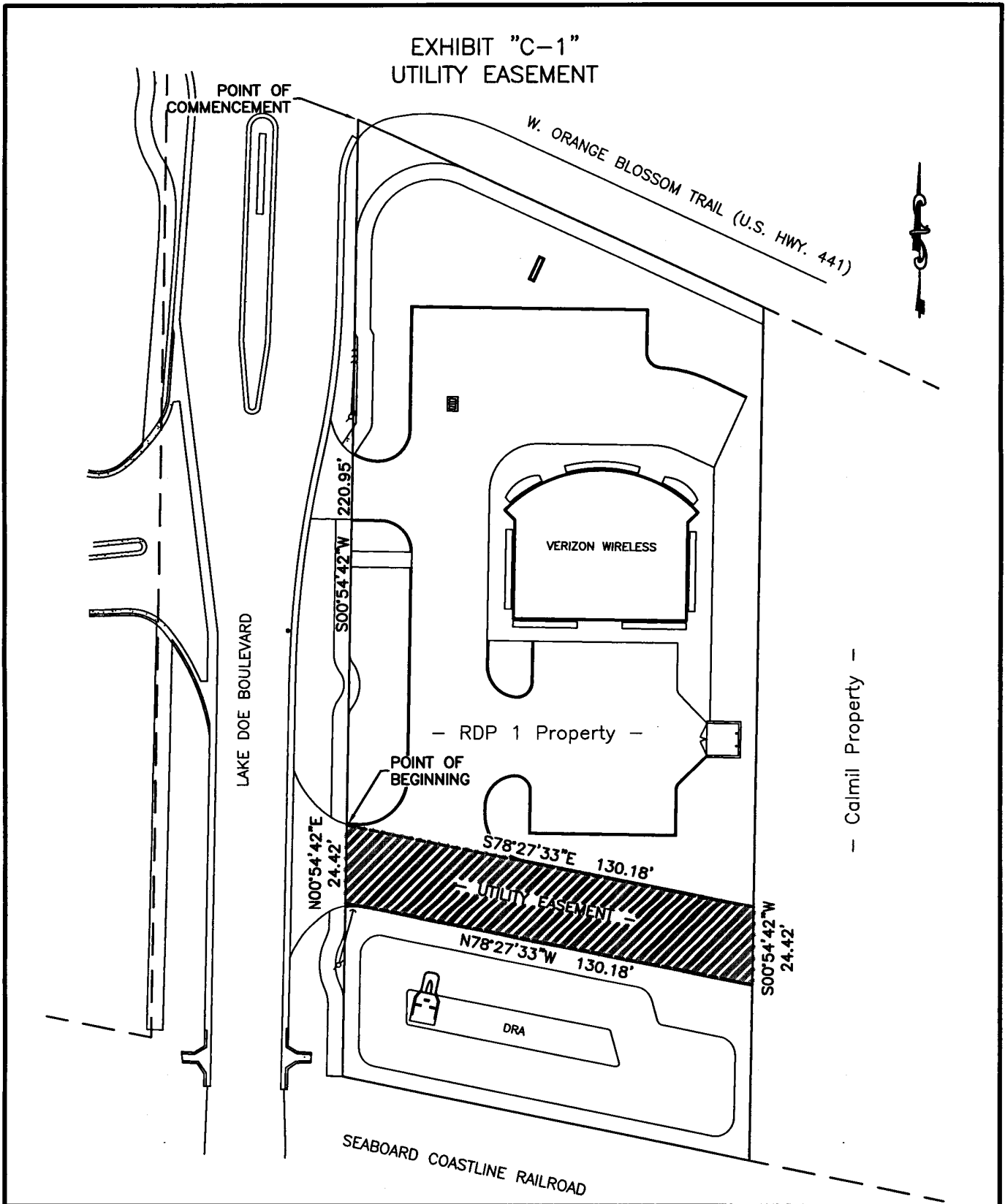
• 1105 S.E. 3rd Avenue • Ocala, Florida 34471
• Ph. (352) 622-9214 • Lic. Bus. #4074

SCALE

DATE

7-28-14

EXHIBIT "C-1" UTILITY EASEMENT



ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying

• 1105 S.E. 3rd Avenue • Ocala, Florida 34471
• Ph. (352) 622-9214 • Lic. Bus. #4074

SCALE
1" = 40'

DATE
7-28-14

EXHIBIT "D"
SEWER LINE EASEMENT AREA

EXHIBIT "D"
SEWER EASEMENT

LEGAL DESCRIPTION – SEWER EASEMENT

A 10 FEET WIDE EASEMENT, LYING 5 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

COMMENCE AT THE INTERSECTION OF THE SOUTH RIGHT-OF-WAY LINE OF U.S. HIGHWAY 441 (163 FEET WIDE) WITH THE WEST BOUNDARY OF THE S.W. 1/4 OF THE S.E. 1/4 OF SAID SECTION 5, SAID POINT BEING ON THE EAST RIGHT-OF-WAY LINE OF LAKE DOE BOULEVARD (60 FEET WIDE); THENCE S00°54'42"W ALONG SAID WEST BOUNDARY AND SAID EAST RIGHT-OF-WAY LINE, A DISTANCE OF 219.47 FEET TO THE POINT OF BEGINNING OF SAID CENTERLINE; THENCE DEPARTING SAID RIGHT-OF-WAY LINE, PROCEED S89°59'36"E, A DISTANCE OF 127.96 FEET TO THE POINT OF TERMINUS, SAID POINT BEING ON THE EAST PROPERTY LINE OF THE PARENT PARCEL, LENGTHENING AND SHORTENING THE SIDE LINES TO INTERSECT THE EAST RIGHT-OF-WAY LINE OF LAKE DOE BOULEVARD AND THE EAST PROPERTY LINE OF THE PARENT PARCEL.

ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying

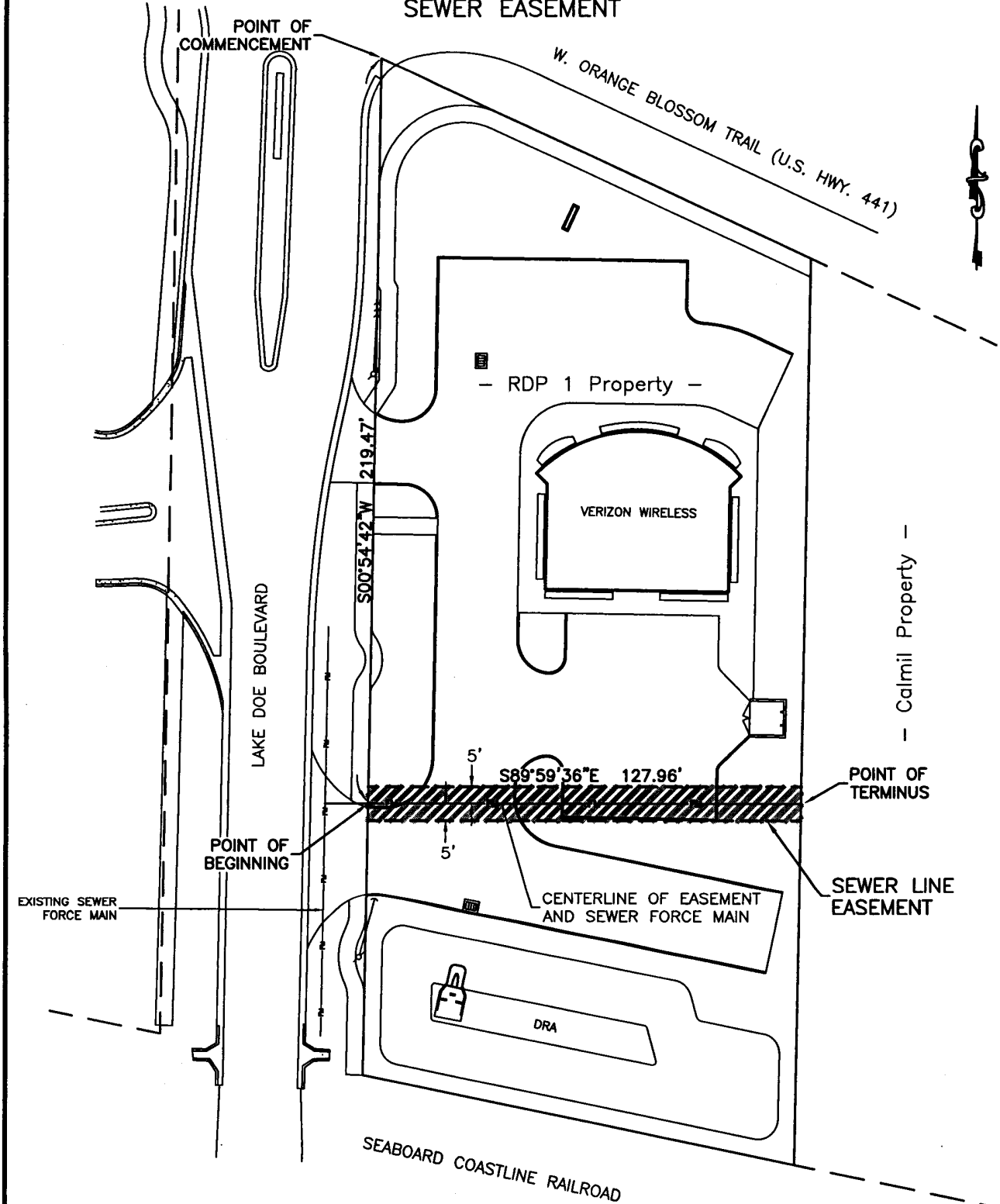
• 1105 S.E. 3rd Avenue • Ocala, Florida 34471
• Ph. (352) 622-9214 • Lic. Bus. #4074

SCALE

DATE

7-28-14

EXHIBIT "D-1" SEWER EASEMENT



ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying

• 1105 S.E. 3rd Avenue • Ocala, Florida 34471
• Ph. (352) 622-9214 • Lic. Bus. #4074

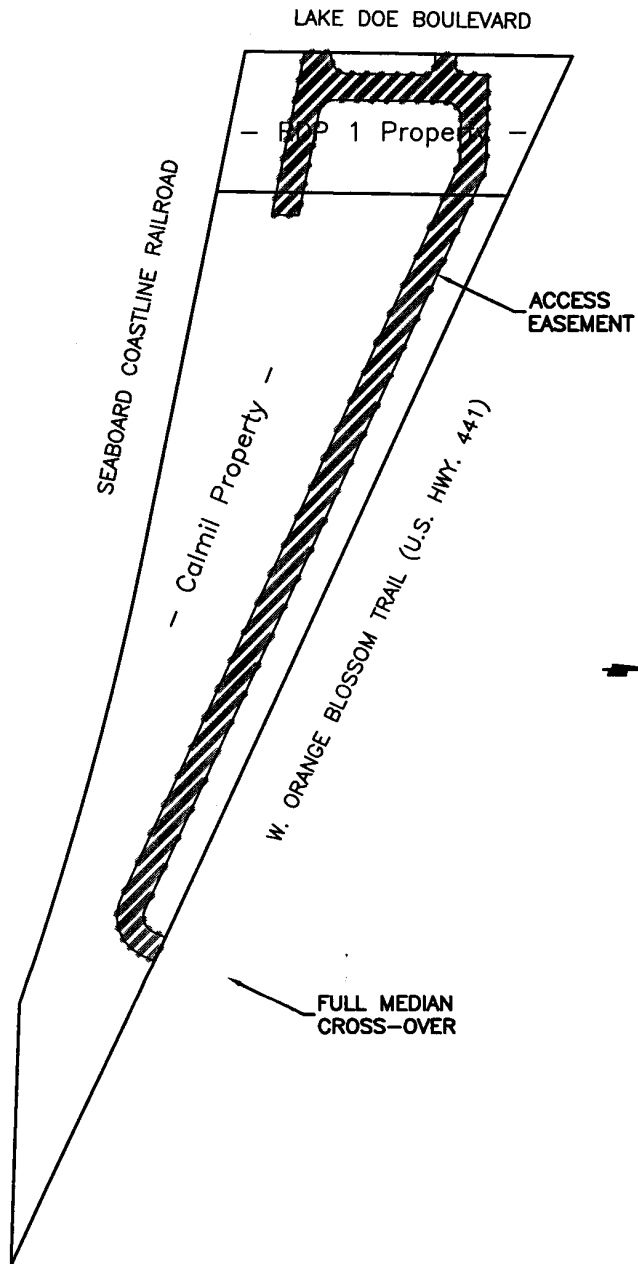
SCALE
1" = 40'

DATE
7-28-14

EXHIBIT "E"

MUTUAL ACCESS, INGRESS AND EGRESS EASEMENT AREA

EXHIBIT "E" ACCESS EASEMENT



ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying

• 1105 S.E. 3rd Avenue • Ocala, Florida 34471
• Ph. (352) 622-9214 • Lic. Bus. #4074

SCALE

DATE

7-28-14



CITY OF APOPKA CITY COUNCIL

CONSENT AGENA
 PUBLIC HEARING
 SPECIAL REPORTS
 OTHER: PUD Master Plan/PDP

MEETING OF: September 5, 2018
FROM: Community Development
EXHIBITS: Zoning Report
Vicinity Map
Adjacent Zoning Map
Adjacent Uses Map
Ordinance No. 2671
PUD Master Plan
Comparison Table
Draft Coca-Cola Co. Land Dedication

SUBJECT: ORDINANCE NO. 2671 – AMENDMENT TO THE PUD MASTER PLAN FOR AVIAN POINTE

REQUEST: FIRST READING OF ORDINANCE NO. 2671 – AMENDING THE PUD MASTER PLAN FOR AVIAN POINTE; AND HOLD OVER FOR SECOND READING AND ADOPTION.

SUMMARY:

OWNERS: Apopka Clear Lake Investments, LLC
APPLICANT: Frank Bombeeck
LOCATION: East side of SR 429, north of Lust Road
PARCEL ID NUMBERS: 07-21-28-0000-00-002; 07-21-28-0000-00-015; 07-21-28-0000-00-064
EXISTING USE: Vacant
FLUM DESIGNATION: Residential Low Density, Residential Medium Density
CURRENT ZONING: PUD (Planned Unit Development)
PROPOSED DEVELOPMENT: 56 single family homes; 222 townhomes, 480 apartments
PROPOSED ZONING: Planned Unit Development (PUD)
TRACT SIZE: 127.21 +/- acres

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

ADDITIONAL COUNCIL ACTIONS: A development agreement will be available for City Council review and action for its September 19 second hearing for the PUD zoning amendment. The development agreement establishes the obligation the developer has regarding off-site improvements, schedule for completion of infrastructure, and development conditions. Further, Grand Avian Parkway – the spine road from Lust Road to Petersen Road – at the northern end includes a 30-wide tract of land that Coca-Cola Corporation has agreed to dedicate the City to expand the road to an eighty-foot wide right-of-way. This will allow a two-lane divided road with a bike trail. A draft of the resolution to accept the land dedication will also appear on the September 19 City Council agenda.

SUMMARY: The subject property is approximately 127.21 acres in size and is zoned PUD (Planned Unit Development) and has a future land use designations of Residential Medium Density and Residential Low Density. The subject property is located on the east side of SR 429, north of Lust Road, and south of Peterson Road. Access to the development is proposed via Lust Road and Peterson Road.

The original Avian Pointe PUD Master Plan was approved via Ordinance No. 2433 and permitted up to 758 residential units consisting of single-family, townhomes, apartments, a shared use recreation area, and a flex use parcel consisting of either a school or daycare facility, senior housing facility, or a 100 room boutique hotel. The PUD Master Plan was amended in 2017 to allow the apartment units to be up to four stories, not to exceed 50-feet in height. The applicant is requesting an amendment to the PUD (Planned Unit Development) zoning and Master Plan, and proposed revisions to the Master Plan appear in the attached phase-by-phase comparison table.

The amendment to the PUD Zoning and Master Plan does not propose an increase in the total amount of residential units that are permitted pursuant to Ordinance No. 2433. Development design standards from the current Master Plan are carried over to the Proposed Master Plan.

Residential development profile:

Unit type	Number of units	Minimum Livable Area (Square Feet)	Building Height
Single Family (75' width; 8,400 sq.ft. min.) (60-feet by 125-feet, 60-feet by 132-feet, 70-feet by 120-feet)	58-56	1,700	35-foot maximum height
Townhomes:	216 222	1,350	3 stories; 45-feet
Apartments:	484 480		4 stories; 50-feet
	1-Bedroom:	750 minimum	
	2-Bedroom:	900 minimum	
	3-Bedroom:	1,050 minimum	
Total Residential units:	758		

B. Deviations. The applicant is requesting one deviation to the City’s required development standards. For a PUD Master Plan, a deviation from the City’s Land Development Code does not represent a variance but a development standard or zoning condition unique to and approved as part of the Planned Unit Development zoning. PUD’s are required to satisfy the requirements of the Land Development Code unless the City Council finds that, based on substantial evidence, a proposed alternative development guideline is adequate to protect to the public health safety, and welfare. Any deviations must be consistent with the policies of the Comprehensive Plan.

1. Typical Lot Width Standard, Land Development Code Section 2.02.18.D.11. requires a minimum lot size within a PUD to be 70-feet in width, and to have a minimum site area of 7,500 square feet. The developer is proposing 39, 60-foot wide lots with minimum lots sizes of 7,500 square feet. 17 units are proposed at 75-feet in width.
- C. Justification for Deviations/Development Standard. The following justifications are provided for the deviations that is proposed.
1. Dedication of right-of-way - The PUD Master Plan proposes the dedication of right-of-way to the City referred to as Grand Avian Parkway on the PUD Master Plan which will connect Lust Road to Peterson Road. The right-of-way is proposed to range in width from 75-feet to 80-feet. An 11-foot wide bike path/trail will be provided on the west side of the right-of-way. A 5-foot wide sidewalk will be provided on the east side. A landscape median ranging in width between 10-feet and 15-feet is provided.
 2. An improved recreation amenities package is proposed – The PUD Master Plan proposes the construction of a 7.071 acre Community Park and Recreation area that will consist of a tot lot, restrooms, basketball courts, tennis courts, soccer field, and baseball field.
 3. Abutting Site Characteristics - The PUD Master Plan proposes a 20-foot landscape buffer between the proposed single-family homes and the Clear Lake Estates subdivision to the east. The development will not be visible from the homes within Clear Lake Estates and separation between the larger lots in Clear Lake Estates and the smaller lots within the Avian Pointe PUD will be provided with the landscape buffer. The developer is proposing 75-foot wide lots adjacent to the Clear Lake Estates subdivision. 60-foot wide lots will be provided adjacent to Clearwater Lake and within the interior of the single-family subdivision.
 4. Protection of Environmentally Sensitive Areas and Preservation of Open Space - The PUD Master Plan protects wetlands adjacent to Clearwater Lake. Single-family homes will be setback approximately 190-feet from Clearwater Lake.
 5. Flex Zone Development tract – The PUD Master Plan reserves a 14.998 acre tract for either of the following uses: 1) School or daycare facility, 2) Senior Housing Facility, or 3) 100 room boutique hotel. The School site was expanded to

PUD RECOMMENDATIONS: That the zoning classification of the following described property be designated as Planned Unit Development (PUD), as defined in the Apopka Land Development Code, and with the following Master Plan provisions subject to the following zoning provisions:

- A. The uses permitted within the PUD district shall be single-family residential uses.
- B. Terms of Expiration for this PUD shall be as follows:

If a Final Development Plan associated with the PUD district has not been approved by the City within three years, and site development has not commenced within four years after approval of these Master Plan provisions, the approval of the Master Plan provisions will expire. At such time, the City Council may:

1. Permit a single six-month extension for submittal of the required Final Development Pl

2. Allow the PUD zoning designation to remain on the property pending resubmittal of new Master Plan provisions and any conditions of approval; or
3. Rezone the property to a more appropriate zoning classification.

COMPREHENSIVE PLAN COMPLIANCE: The proposed use of the property is consistent with the Low Density and Medium Density Residential Future Land Use designation and is consistent with the Land Development Code.

SCHOOL CAPACITY REPORT: Per Orange County Public Schools, the project is vested to satisfy capacity, however there are outstanding concurrency issues that will be required to be satisfied prior to approval of a residential plat or prior to a final development plan for a multi-family apartment site plan.

ORANGE COUNTY NOTIFICATION: Pursuant to Section 7 of the Joint Planning Area agreement, notification to Orange County is not required for a rezoning application as the subject parcels are not adjacent to unincorporated Orange County.

PUBLIC HEARING SCHEDULE:

August 14, 2018 - Planning Commission (5:30 pm)
September 5, 2018 - City Council (1:30 pm) - 1st Reading
September 19, 2018 – City Council (7:00 pm) - 2nd Reading

DULY ADVERTISED:

August 3, 2018 – Public Notice; Letter, Poster
September 7, 2018 – Public Notice

RECOMMENDATION ACTION:

The **Development Review Committee** finds the proposed amendment to the PUD zoning and Master Plan consistent with the Comprehensive Plan and Land Development Code and recommends approval of the Avian Pointe Planned Unit Development Master Plan.

The Planning Commission, at its meeting on August 14, 2018, unanimously recommended approval of the amendment to the PUD zoning and Master Plan for Avian Pointe based on the findings and facts presented in the staff report and exhibits and subject to City Council approval of a development agreement.

City Council: Accept Ordinance No. 2671 at first reading and hold over for a second public hearing for September 19, 2018.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City) (County)	Mixed Use (0-5 du/ac) Rural	Mixed-EC (City) A-1 (County)	Vacant, Agricultural buildings and uses
East (City)	Low Density Residential (0-5 du/ac)	R-1AA	Clear Lake Estates subdivision
South (City)	Low Density Residential (0-5 du/ac); Residential Low Suburban	R-1AA, R-1	Vacant, Clearwater Lake
West (City)	N/A	N/A	SR 429 right-of-way

**LAND USE &
 TRAFFIC COMPATIBILITY:**

The property is accessed via Lust Road and Peterson Road. Internal streets are public and private and will be owned and maintained by the City of Apopka and a yet to be established homeowners association. Future land use designations and zoning categories assigned to properties to the north, south, east, and west are predominantly residential.

**COMPREHENSIVE
 PLAN COMPLIANCE:**

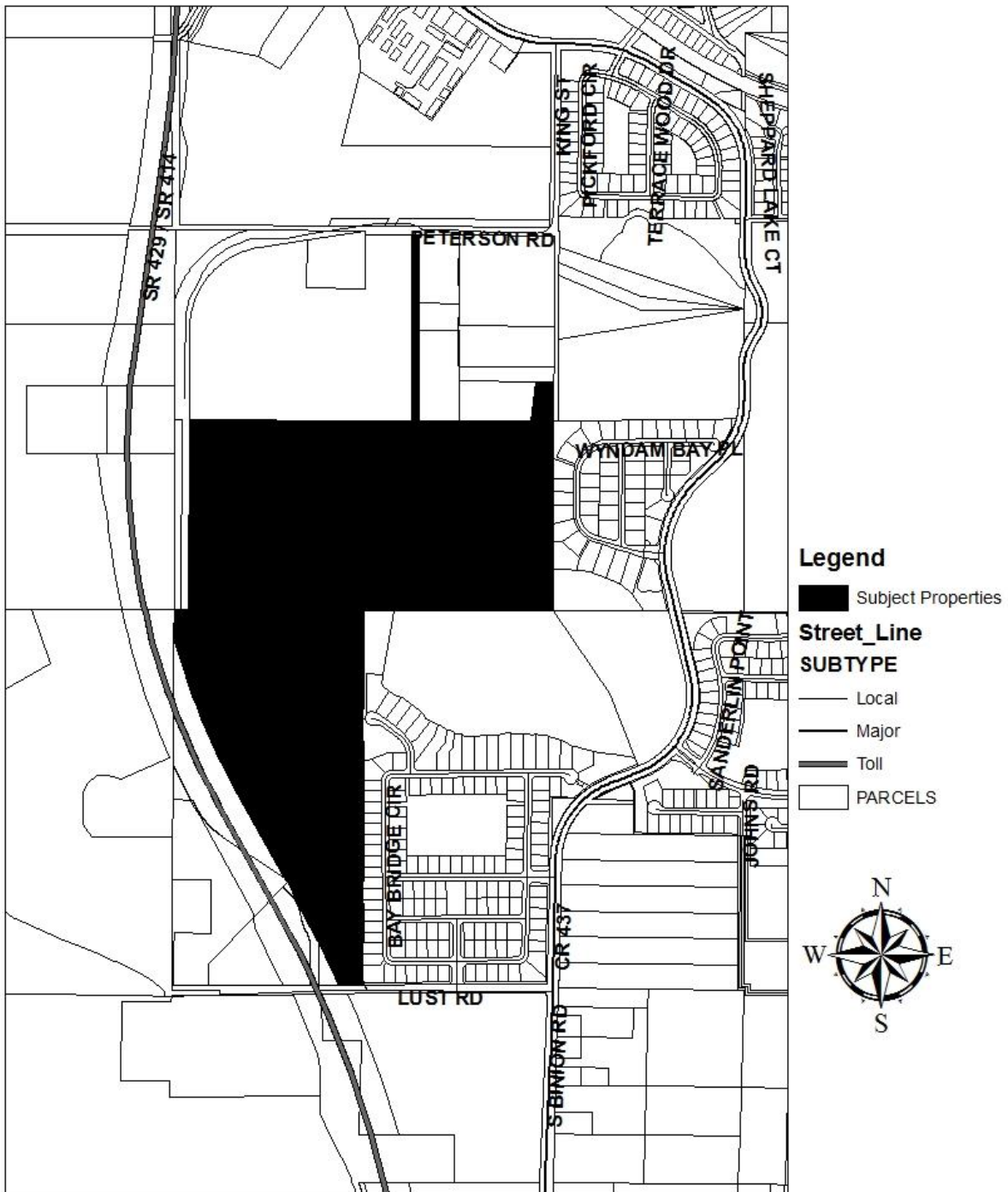
The proposed PUD zoning and Master Plan is compatible with policies set forth in the Comprehensive Plan.

**ALLOWABLE
 USES:**

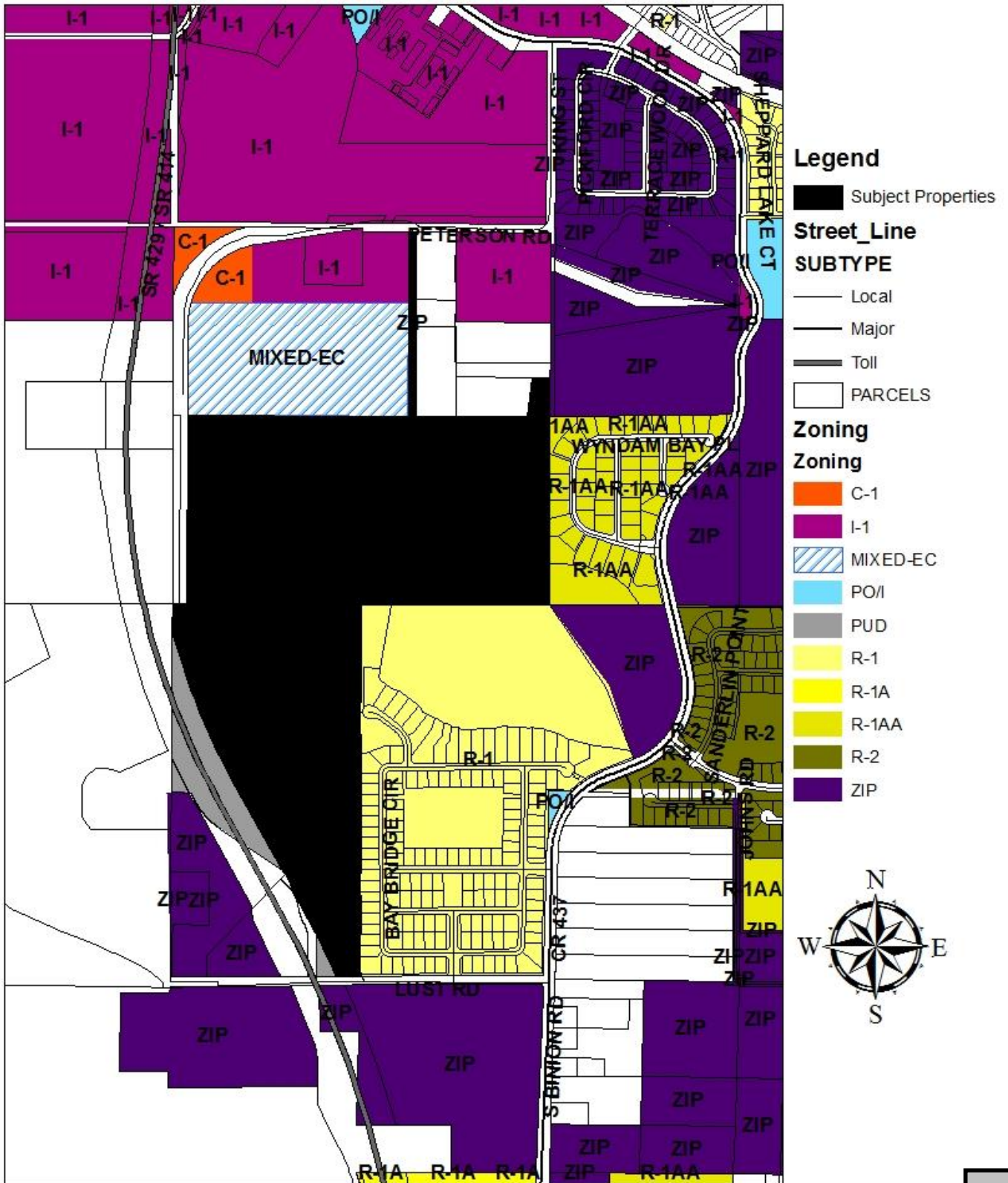
Uses as set forth within the Planned Unit Development Master Plan.

Project: AVIAN POINTE
Owned by: Apopka Clear Lake Investments, LLC
Located: East side of SR 429, north of Lust Road
Parcel ID#s: 07-21-28-0000-00-002, 07-21-28-0000-00-015, 07-21-28-0000-00-064

VICINITY MAP



ADJACENT ZONING



ADJACENT USES



ORDINANCE NO. 2671

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, AMENDING ORDINANCE 2243 AND 2608, WHICH AMENDS THE ADOPTED “AVIAN POINTE PLANNED UNIT DEVELOPMENT (PUD) MASTER PLAN” FOR CERTAIN REAL PROPERTY LOCATED NORTH OF LUST ROAD AND EAST OF SR 429, COMPRISING 127.21 ACRES MORE OR LESS; OWNED BY APOPKA CLEAR LAKE INVESTMENTS, LLC; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

WHEREAS, to manage growth, the City of Apopka, Florida, finds it in the best interest of the public health, safety and welfare of its citizens to establish zoning classifications within the City; and

WHEREAS, the City of Apopka has requested a change in zoning on said property as identified in Section I of this ordinance; and

WHEREAS, the City of Apopka approved the Avian Pointe PUD zoning and Master Plan through Ordinance No. 2243 on June 3, 2015, and amended said Ordinance by Ordinance 2608 on November 15, 2017, and now the property owner desires to amend the Master Plan;

WHEREAS, the proposed Planned Unit Development (PUD) zoning has been found to be consistent with the City of Apopka Comprehensive Plan and the City of Apopka Land Development Code.

NOW THEREFORE, BE IT ORDAINED, by the City Council of the City of Apopka, Florida, as follows:

Section I. That the zoning classification of the following described property be designated as Planned Unit Development (PUD), as defined in the Apopka Land Development Code, and with the following Avian Pointe Mixed Use Master Plan, as established in Exhibit “A” and subject to the following zoning provisions:

- A. The uses permitted within the Avian Pointe Mixed Use PUD district shall be: Parcel A, maximum of 56 single family homes; Parcel B-1, 118 townhomes; Parcel B-2, maximum of 480 apartment units; Parcel B-3, maximum of 104 townhomes; Parcel B-4, Shared Recreation Area; Parcel B-5 Flex Use Ares, and associated accessory uses or structures consistent with land use and development standards established for the R-3 zoning category except where otherwise addressed in this ordinance.
- B. Where any development standard conflicts between the Avian Pointe Mixed Use Master Plan and the Land Development Code (LDC), the Master Site Plan shall prevail.

Any proposed revision to the Master Site Plan shall be evaluated and processed pursuant to Section 2.02.18.N. (Master plan revision), LDC.

- C. If a Final Development Plan associated with the Avian Pointe PUD district has not been approved by the City within five (5) years after approval of these Master Plan provisions, the approval of the Master Site Plan provisions shall expire. At such time, the City Council may:
1. Permit a single six-month extension for submittal of the required Preliminary Development Plan;
 2. Allow the PUD zoning designation to remain on the property pending resubmittal of new Master Site Plan provisions and any conditions of approval; or
 3. Rezone the property to a more appropriate zoning classification.

Section II. That the zoning classification of the following described property, being situated in the City of Apopka, Florida, is hereby Planned Unit Development (PUD), as defined in the Apopka Land Development Code.

Legal Description: As set forth within the Exhibit "A", Avian Pointe PUD Master Plan.

Combined total acreage: 127.21 acres (+/-)

Section III. Ordinance Number 2671 is hereby repeals and replaces Ordinance Numbers 2433 and 2608.

Section IV. That the zoning classification is consistent with the Comprehensive Plan of the City of Apopka, Florida.

Section V. That the Community Development Director, or the Director's designee, is hereby authorized to amend, alter, and implement the official zoning maps of the City of Apopka, Florida, to include said designation. The Community Development Director shall not accept an application for a development plan until such time the property owner addresses school capacity enhancement review with Orange County Public Schools.

Section VI. That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force or effect of any other section or portion of section or subsection or part of this ordinance.

GENERAL NOTES

PROJECT

AVIAN POINTE
CITY OF APOPKA, FLORIDA
PUD MASTER PLAN AMENDMENT
(MIXED USE MASTER PLAN)

PARCEL I.D. NUMBERS

07-21-28-0000-00-002
07-21-28-0000-00-015
07-21-28-0000-00-064

SUBMITTED JULY 25, 2018

VICINITY MAP

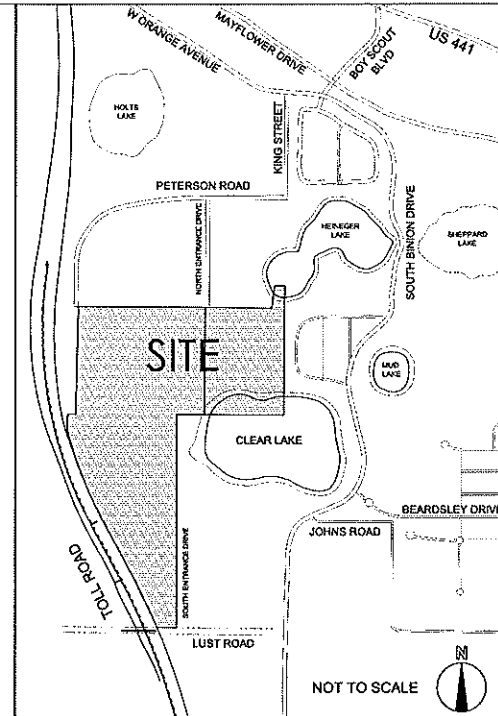


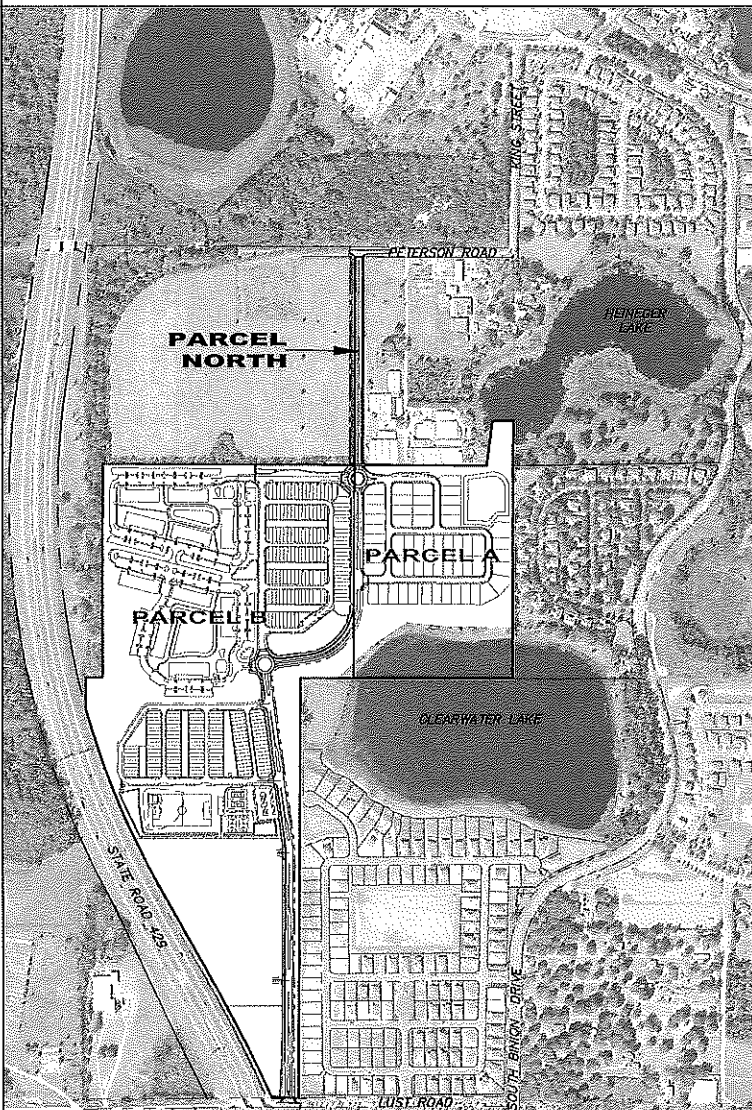
Table with columns for JOB #, PREPARED BY, DESIGNED BY, CHECKED BY, DATE, and REVISIONS.

- 1. PROJECT SHALL COMPLY WITH THE FOLLOWING: AMERICANS WITH DISABILITIES ACT, CITY OF APOPKA MUNICIPAL & LAND USE CODES, DESIGN GUIDELINES & STANDARDS, CITY OF APOPKA FIRE DEPARTMENT, FLORIDA FIRE MARSHAL, FLORIDA DEPARTMENT OF TRANSPORTATION, ST JOHNS WATER MANAGEMENT DISTRICT.
2. ON-SITE ROADS & STORM SEWER SYSTEM WITHIN PROPOSED PRIVATE RIGHT-OF-WAY, INCLUDING THE STORMWATER MANAGEMENTS DETENTION PONDS, WILL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER WITH A MUNICIPAL SERVICE TAXING UNIT ESTABLISHED FOR STORMWATER SYSTEM FUNCTIONALITY.
3. ALL STORMWATER PONDS SHALL BE DESIGNED IN ACCORDANCE WITH SMM&D & CITY OF APOPKA STANDARDS.
4. BUFFER, LANDSCAPING, CREATION & COMMON AREAS WILL BE PRIVATELY OWNED & MAINTAINED BY THE PROPERTY OWNER.
5. BUFFER, WHERE REQUIRED, WILL CONSIST OF LANDSCAPING, BERMS, APPROVED FENCING, EXISTING & NEW CITY APPROVED TREES.
6. PROJECT INFRASTRUCTURE WILL BE DEVELOPED IN ONE PHASE.
7. UTILITIES SHALL BE PROVIDED BY THE CITY OF APOPKA.
8. PROJECT SHALL COMPLY WITH CITY OF APOPKA DEVELOPMENT REQUIREMENTS PER MUNICIPAL CODE PART III ARTICLE II LAND USE: TYPE, DENSITY AND INTENSITY.
9. STRUCTURES SHALL COMPLY WITH FLORIDA BUILDING CODE, CURRENT ENFORCED EDITION.
10. ROADS AND PARKING AREAS SHALL COMPLY WITH FDOT DESIGN AND ENGINEERING REQUIREMENTS. PUBLIC RIGHT-OF-WAY PAVEMENT WORK MUST UTILIZE TYP SP-9.5 ASPHALT.
11. MASTER PLAN AS SHOWN IS CONCEPTUAL. ALL FEATURES NOTED HEREIN SHALL BE SUBJECT TO JURISDICTIONAL APPROVALS AND CML ENGINEERING REFINEMENTS IN ACCORD WITH AGENCY REQUIREMENTS.
12. LANDSCAPE & IRRIGATION PLANS SHALL BE DESIGNED IN ACCORDANCE WITH CITY ORDINANCE NO. 2069.
13. DEVELOPER AGREEMENT SHALL BE REQUIRED FOR OFF-SITE RIGHT-OF-WAY IMPROVEMENTS FROM THE NORTH ENTRANCE DRIVE TO THE INTERSECTION OF W. ORANGE AVENUE AND KING STREET.

LEGAL DESCRIPTION

PARCEL A LEGAL DESCRIPTION: (PARCEL ID # 07-21-28-0000-00-015) THE WEST 1/2 OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 7, TOWNSHIP 21 SOUTH, RANGE 28 EAST, EAST 1/2 OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 7, TOWNSHIP 21 SOUTH, RANGE 28 EAST, EAST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 7, TOWNSHIP 21 SOUTH, RANGE 28 EAST, AND BEGINNING AT THE SOUTHWEST CORNER OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 7, TOWNSHIP 21 SOUTH, RANGE 28 EAST, RUN THENCE WEST 160 FEET, THENCE NORTH 7' 18" EAST 277.24 FEET, THENCE EAST 124.28 FEET, THENCE SOUTH 295 FEET TO THE P.O.B., ALL IN ORANGE COUNTY, FLORIDA.
PARCEL B LEGAL DESCRIPTION: (PARCEL ID # 07-21-28-0000-00-002) PARCEL 1: COMMENCE AT THE NORTHWEST CORNER OF SECTION 7, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA. THENCE RUN SOUTH 01 DEGREES 00 MINUTES 22 SECONDS WEST A DISTANCE OF 282.56 FEET TO A FOUND 4X4 CONCRETE MONUMENT, SAID MONUMENT BEING THE POINT OF BEGINNING. THENCE RUN SOUTH 88 DEGREES 53 MINUTES 02 SECONDS EAST A DISTANCE OF 100 FEET; THENCE RUN NORTH 01 DEGREES 00 MINUTES 22 SECONDS WEST A DISTANCE OF 1316.28 FEET; THENCE RUN SOUTH 89 DEGREES 45 MINUTES 54 SECONDS EAST A DISTANCE OF 150.70 FEET; THENCE RUN SOUTH 00 DEGREES 28 MINUTES 18 SECONDS WEST A DISTANCE OF 1312.90 FEET; THENCE RUN NORTH 89 DEGREES 53 MINUTES 02 SECONDS WEST A DISTANCE OF 332.87 FEET TO A FOUND AXLE AT THE NORTHWEST CORNER OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 7, TOWNSHIP 21 SOUTH, RANGE 28 EAST; THENCE RUN SOUTH 00 DEGREES 09 MINUTES 28 SECONDS EAST A DISTANCE OF 185.24 FEET; THENCE RUN NORTH 89 DEGREES 47 MINUTES 20 SECONDS WEST A DISTANCE OF 516.81 FEET TO A POINT OF CURVATURE OF A NON-TANGENT CURVE BEING CONVEX SOUTHWESTERLY, HAVING A RADIUS OF 597.96 FEET, A CHORD BEARING OF NORTH 54 DEGREES 41 MINUTES 55 SECONDS WEST, A CENTRAL ANGLE OF 5 DEGREES 10 MINUTES 09 SECONDS, THENCE RUN ALONG ARC OF SAID CURVE A DISTANCE OF 53.85 FEET; THENCE RUN NORTH 57 DEGREES 14 MINUTES 32 SECONDS WEST A DISTANCE OF 601.30 FEET TO A POINT OF CURVATURE OF A CURVE CONVEX NORTHEASTERLY, HAVING A RADIUS OF 547.95 FEET, A CHORD BEARING OF NORTH 39 DEGREES 16 MINUTES 28 SECONDS WEST, A CENTRAL ANGLE OF 35 DEGREES 56 MINUTES 07 SECONDS, THENCE RUN ALONG ARC OF SAID CURVE A DISTANCE OF 343.88 FEET; THENCE RUN NORTH 89 DEGREES 50 MINUTES 05 SECONDS WEST A DISTANCE OF 131.12 FEET; THENCE RUN NORTH 00 DEGREES 24 MINUTES 43 SECONDS WEST A DISTANCE OF 1311.51 FEET TO THE POINT OF BEGINNING.
AND: PARCEL 2: A TRACT OF LAND LYING IN SECTION 7, TOWNSHIP 21 SOUTH, RANGE 28 EAST, DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHWEST CORNER OF THE ABOVE-REFERENCED SECTION 7 FOR A POINT OF REFERENCE; THENCE RUN SOUTH 89°47'20" EAST, ALONG THE SOUTH LINE OF SAID SECTION 7, 1024.55 FEET TO A POINT OF BEGINNING; THENCE DEPARTING SAID SOUTH SECTION LINE, RUN NORTH 00°12'40" EAST, 274.53 FEET TO A POINT OF CURVATURE OF A CURVE CONVEX SOUTHWESTERLY; THENCE RUN NORTHWESTERLY ALONG SAID CURVE, HAVING A RADIUS OF 306.00 FEET, A CENTRAL ANGLE OF 30°33'31", AN ARC LENGTH OF 162.67 FEET, A CHORD LENGTH OF 150.75 FEET, AND A CHORD BEARING OF NORTH 15°46'40" WEST TO A POINT OF CURVATURE OF A CURVE CONVEX NORTHEASTERLY; THENCE RUN NORTHWESTERLY ALONG SAID CURVE, HAVING A RADIUS OF 245.00 FEET, A CENTRAL ANGLE OF 22°15'56", AN ARC LENGTH OF 95.21 FEET, A CHORD LENGTH OF 84.61 FEET, AND A CHORD BEARING OF NORTH 19°12'53" WEST TO A POINT OF REVERSE CURVATURE OF A CURVE CONVEX SOUTHWESTERLY; THENCE RUN NORTHWESTERLY ALONG SAID CURVE, HAVING A RADIUS OF 305.00 FEET, A CENTRAL ANGLE OF 34°15'29", AN ARC LENGTH OF 182.36 FEET, AND A CHORD BEARING OF NORTH 20°29'29" WEST TO A POINT OF COMPOUND CURVATURE OF A CURVE CONVEX SOUTHWESTERLY; THENCE RUN NORTHWESTERLY ALONG SAID CURVE, HAVING A RADIUS OF 597.96 FEET, A CENTRAL ANGLE OF 09°49'29", AN ARC LENGTH OF 102.00 FEET, A CHORD LENGTH OF 101.88 FEET, AND A CHORD BEARING OF NORTH 47°13'57" WEST; THENCE RUN SOUTH 89°47'20" EAST, NON-TANGENT TO SAID CURVE, 516.82 FEET TO THE EAST LINE OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 7; THENCE RUN SOUTH 00°09'22" EAST, ALONG SAID EAST LINE, 750.02 FEET TO THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 7; THENCE RUN NORTH 89°47'20" WEST, ALONG SAID SOUTH SECTION LINE, 285.64 FEET TO THE POINT OF BEGINNING.
LESS AND EXCEPT RIGHT OF WAY FOR LUST ROAD AS DESCRIBED IN RIGHT-OF-WAY AGREEMENT RECORDED IN O.R. BOOK 521, PAGE 280; AND RIGHT-OF-WAY AGREEMENT RECORDED IN O.R. BOOK 538, PAGE 804, AS RE-RECORDED IN O.R. BOOK 554, PAGE 516, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.
ALSO LESS AND EXCEPT THOSE PORTIONS DESCRIBED IN STIPULATED ORDER OF TAKING RECORDED IN O.R. BOOK 10106, PAGE 2611, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.
AND TOGETHER WITH: A PARCEL OF LAND SITUATED IN SECTION 7, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHWEST CORNER OF SECTION 7, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA; THENCE RUN NORTH 00°23'17" EAST, ALONG THE WEST LINE OF THE SOUTHWEST 1/4 OF SAID SECTION 7, FOR A DISTANCE OF 30.00 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF LUST ROAD, AS RECORDED IN DEED BOOK 521, PAGE 280 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE DEPARTING SAID WEST LINE, RUN NORTH 89°39'30" EAST, ALONG THE SAID NORTH RIGHT OF WAY LINE, FOR A DISTANCE OF 1192.54 FEET TO A POINT ON THE EASTERLY LIMITED ACCESS RIGHT OF WAY LINE OF STATE ROAD 429 PER ORANGE COUNTY EXPRESSWAY AUTHORITY RIGHT OF WAY MAP PROJECT NUMBER 429-201, SAID POINT LYING ON A CURVE, CONVEX SOUTHWESTERLY, HAVING A RADIUS OF 8150.00 FEET, A CHORD BEARING OF NORTH 29°38'44" WEST AND A CHORD DISTANCE OF 720.85 FEET; THENCE DEPARTING SAID NORTH RIGHT OF WAY LINE, RUN NORTHWESTERLY ALONG THE ARC OF SAID CURVE, AND SAID LIMITED ACCESS RIGHT OF WAY LINE, THROUGH A CENTRAL ANGLE OF 05°04'10" FOR AN ARC DISTANCE OF 721.09 FEET TO A POINT OF TANGENCY; THENCE RUN NORTH 29°06'49" WEST, ALONG SAID LIMITED ACCESS RIGHT OF WAY LINE, FOR A DISTANCE OF 75.30 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 29°06'49" WEST, ALONG SAID LIMITED ACCESS RIGHT OF WAY LINE, FOR A DISTANCE OF 142.70 FEET TO A POINT ON A NON-TANGENT CURVE, CONVEX SOUTHWESTERLY, HAVING A RADIUS OF 597.96 FEET, A CHORD BEARING OF SOUTH 52°05'17" EAST AND A CHORD DISTANCE OF 49.58 FEET; THENCE DEPARTING SAID LIMITED ACCESS RIGHT OF WAY LINE, RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 04°45'11" FOR AN ARC DISTANCE OF 46.86 FEET TO A POINT; THENCE DEPARTING SAID CURVE, RUN NORTH 89°47'20" WEST FOR A DISTANCE OF 22.18 FEET TO THE POINT OF BEGINNING.
AND TOGETHER WITH: A PARCEL OF LAND SITUATED IN SECTION 7, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHWEST CORNER OF SECTION 7, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA; THENCE RUN NORTH 00°23'17" EAST, ALONG THE WEST LINE OF THE SOUTHWEST 1/4 OF SAID SECTION 7, FOR A DISTANCE OF 30.00 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF LUST ROAD, AS RECORDED IN DEED BOOK 521, PAGE 280 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE DEPARTING SAID WEST LINE, RUN NORTH 89°39'30" EAST, ALONG THE SAID NORTH RIGHT OF WAY LINE, FOR A DISTANCE OF 1192.54 FEET TO A POINT ON THE EASTERLY LIMITED ACCESS RIGHT OF WAY LINE OF STATE ROAD 429 PER ORANGE COUNTY EXPRESSWAY AUTHORITY RIGHT OF WAY MAP PROJECT NUMBER 429-201, SAID POINT LYING ON A CURVE, CONVEX SOUTHWESTERLY, HAVING A RADIUS OF 8150.00 FEET, A CHORD BEARING OF NORTH 29°38'44" WEST AND A CHORD DISTANCE OF 720.85 FEET; THENCE DEPARTING SAID NORTH RIGHT OF WAY LINE, RUN NORTHWESTERLY ALONG THE ARC OF SAID CURVE, AND SAID LIMITED ACCESS RIGHT OF WAY LINE, THROUGH A CENTRAL ANGLE OF 02°14'27" FOR AN ARC DISTANCE OF 318.73 FEET TO THE POINT OF BEGINNING; SAID POINT BEING ON A CURVE, CONVEX SOUTHWESTERLY, HAVING A RADIUS OF 8150.00 FEET, A CHORD BEARING OF NORTH 27°43'51" WEST AND A CHORD DISTANCE OF 402.39 FEET; THENCE CONTINUE ALONG THE ARC OF SAID CURVE, AND SAID LIMITED ACCESS RIGHT OF WAY LINE, THROUGH A CENTRAL ANGLE OF 02°04'42" FOR AN ARC DISTANCE OF 402.33 FEET TO A POINT OF TANGENCY; THENCE RUN NORTH 29°06'49" WEST, ALONG SAID LIMITED ACCESS RIGHT OF WAY LINE, FOR A DISTANCE OF 75.30 FEET; THENCE DEPARTING SAID LIMITED ACCESS RIGHT OF WAY LINE, RUN SOUTH 89°47'20" EAST FOR A DISTANCE OF 22.18 FEET TO THE POINT OF CURVATURE OF A CURVE, CONVEX SOUTHWESTERLY, HAVING A RADIUS OF 597.96 FEET, A CHORD BEARING OF SOUTH 52°05'17" EAST AND A CHORD DISTANCE OF 49.58 FEET; THENCE RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 43°01'07" FOR AN ARC DISTANCE OF 183.95 FEET TO THE POINT OF REVERSE CURVATURE OF A CURVE, CONVEX NORTHEASTERLY, HAVING A RADIUS OF 545.00 FEET, A CHORD BEARING OF SOUTH 18°32'40" EAST AND A CHORD DISTANCE OF 94.81 FEET; THENCE RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 22°15'55" FOR AN ARC DISTANCE OF 190.21 FEET TO THE POINT OF REVERSE CURVATURE OF A CURVE, CONVEX SOUTHWESTERLY, HAVING A RADIUS OF 305.00 FEET, A CHORD BEARING OF SOUTH 18°34'31" EAST AND A CHORD DISTANCE OF 116.11 FEET; THENCE RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 21°56'42" FOR AN ARC DISTANCE OF 116.82 FEET TO THE POINT OF BEGINNING.
PARCEL NORTH LEGAL DESCRIPTION: (PARCEL ID # 07-21-28-0000-00-064) THE WEST 50.00 FEET OF THE EAST 1/2 OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF SECTION 7, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, LESS THE NORTH 30.00 FEET FOR RIGHT OF WAY.

AERIAL SITE LOCATION MAP



PROJECT DATA

Table with columns for PARCEL ID NUMBER, FUTURE LAND USE, ZONING, ADJACENT LAND USE, ACREAGE, FOOTPRINT, BUILDING HEIGHT, BUILDING SETBACKS, OPEN SPACE. Includes data for Parcel A and Parcel B.

PROJECT DIRECTORY

OWNER/APPLICANT: FRANK BOMBEECKEN STOLTENBERG, APOPKA CLEAR LAKE INVESTMENTS, LLC, 1810 WEST KENNEDY BLVD, TAMPA, FL 33608, (813) 321-1984.
CIVIL ENGINEER: EDGARDO GARCIA LUNA, PE, LOCHRANE ENGINEERING, INC., 201 SOUTH BUMBY AVENUE, ORLANDO, FLORIDA, FL 32803, (407) 890-3317.
LAND SURVEYOR: JAMES RICKMAN, PSM, ALLEN & COMPANY INC., 15 EAST PLANT STREET, WINTER GARDEN, FL 34787, (407) 854-5355.
TRAFFIC ENGINEER: JOE ROVIARO, PE, LUKE TRANSPORTATION ENGINEERING CONSULTANTS, 29 EAST PINE STREET, ORLANDO, FL 32828, (407) 423-8055.

SHEET INDEX

Table with columns for SHEET NO., DRAWING NO., and COVER SHEET. Lists sheets 1 through 15 and their corresponding drawing numbers.

AVIAN POINTE
PUD MASTER PLAN AMENDMENT
(MIXED USE MASTER PLAN)
2771 LUST ROAD
APOPKA, FLORIDA
APOPKA CLEAR LAKE INVESTMENTS, LLC

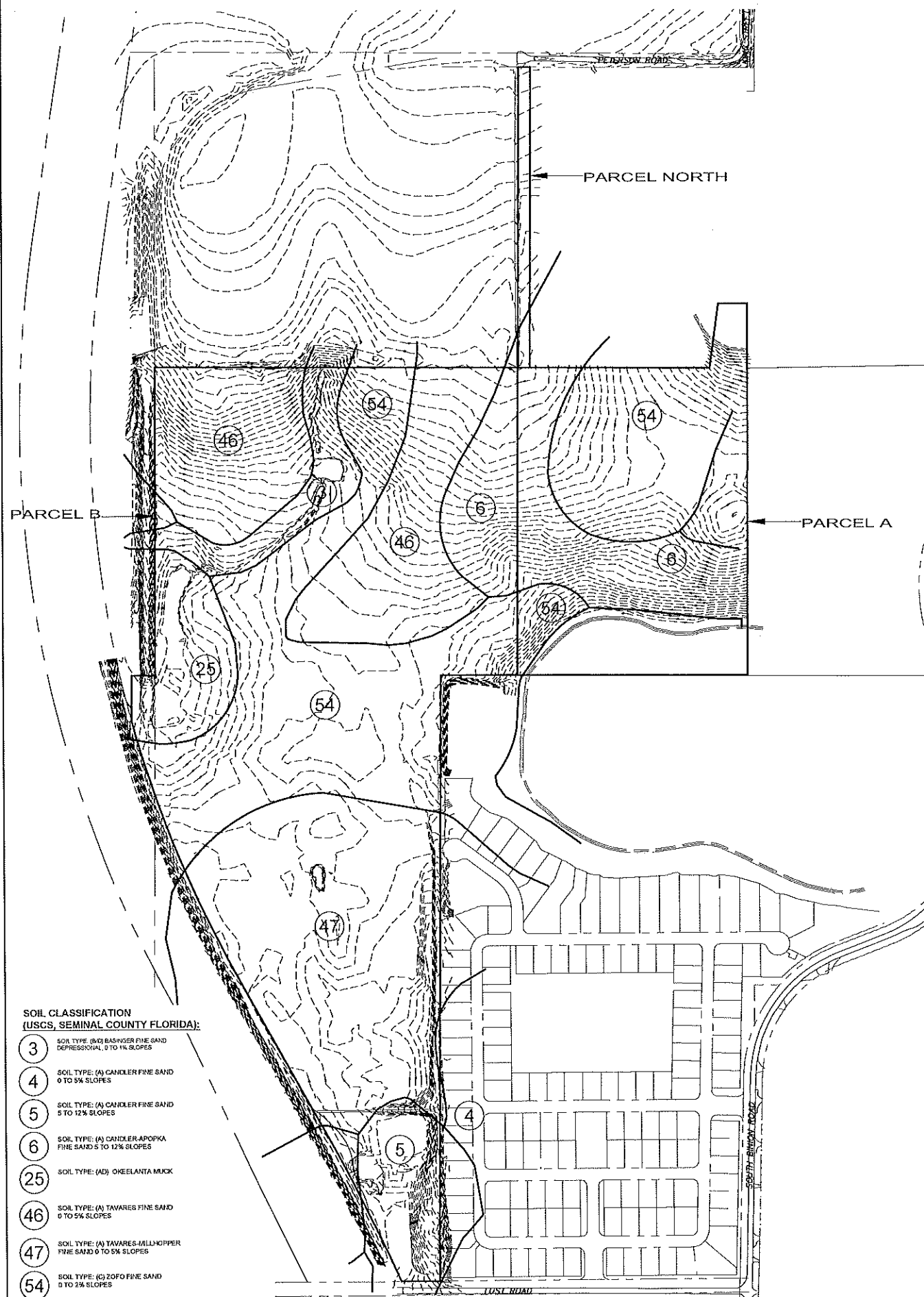
COVER SHEET

LOCHRANE Consulting Engineers - Surveyors An NVI Company logo and contact information.

Vertical text on the right edge: JOB # 1605620, PREPARED BY, DESIGNED BY, CHECKED BY, DATE: JUL 25, 2018, REVISIONS, RECORD DRAWING, ENGINEER: T.L.C.G.P., SHEET 1 OF 15, DATE: JUL 25, 2018.

EXISTING SOILS & TOPOGRAPHY PLAN

AERIAL LAND USE PLAN



MASTER PLAN IS SUBJECT TO PRELIMINARY OR FINAL DEVELOPMENT PLAN APPROVAL

MASTER PLAN IS SUBJECT TO PRELIMINARY OR FINAL DEVELOPMENT PLAN APPROVAL

JOB #: 180520		DESIGNER: ECL	CHECKED: JN
PROJECT: AVIAN POINTE PUD		DATE: JUL 25, 2018	
RECORD DRAWING		NO. DATE	
AVIAN POINTE PUD MASTER PLAN AMENDMENT (MIXED USE MASTER PLAN)		REVISIONS	
SOILS MAP & AERIAL WITH LAND USE		CITY OF APOPKA PUD MASTER REVIEW #3	
LOCHRANE Consulting Engineers - Surveyors An MVE Company		CITY OF APOPKA PUD MASTER REVIEW #1	
DRAWING NO: ZA.01		SHEET: 2 OF 15	

D:\180520\CONSTR\PUD - MASTER PLAN\02 - AVIAN POINTE PUD - ZA.01.dwg -- Jul 25, 2018 -- 1:44pm

DEVELOPMENT SUMMARY

PARKING SUMMARY

SUB-DIVISION	USE	TOTAL # OF UNITS	PARKING SPACE			
			REQUIRED PER UNIT	PROVIDED PER UNIT	ENCLOSED PER UNIT	OVERFLOW/ GUEST
A	SINGLE FAMILY	55	2	4	2	12
B1	TOWNHOMES	118	2	4	1	60
B2	APARTMENTS	480	SEE APARTMENT UNIT SUMMARY BELOW			
B3	TOWNHOMES	104	2	2	3	56
B4	COMMUNITY PARK	N/A	N/A	N/A	N/A	
B5	FLEX ZONE	N/A	PER LDC STANDARDS BY USE			

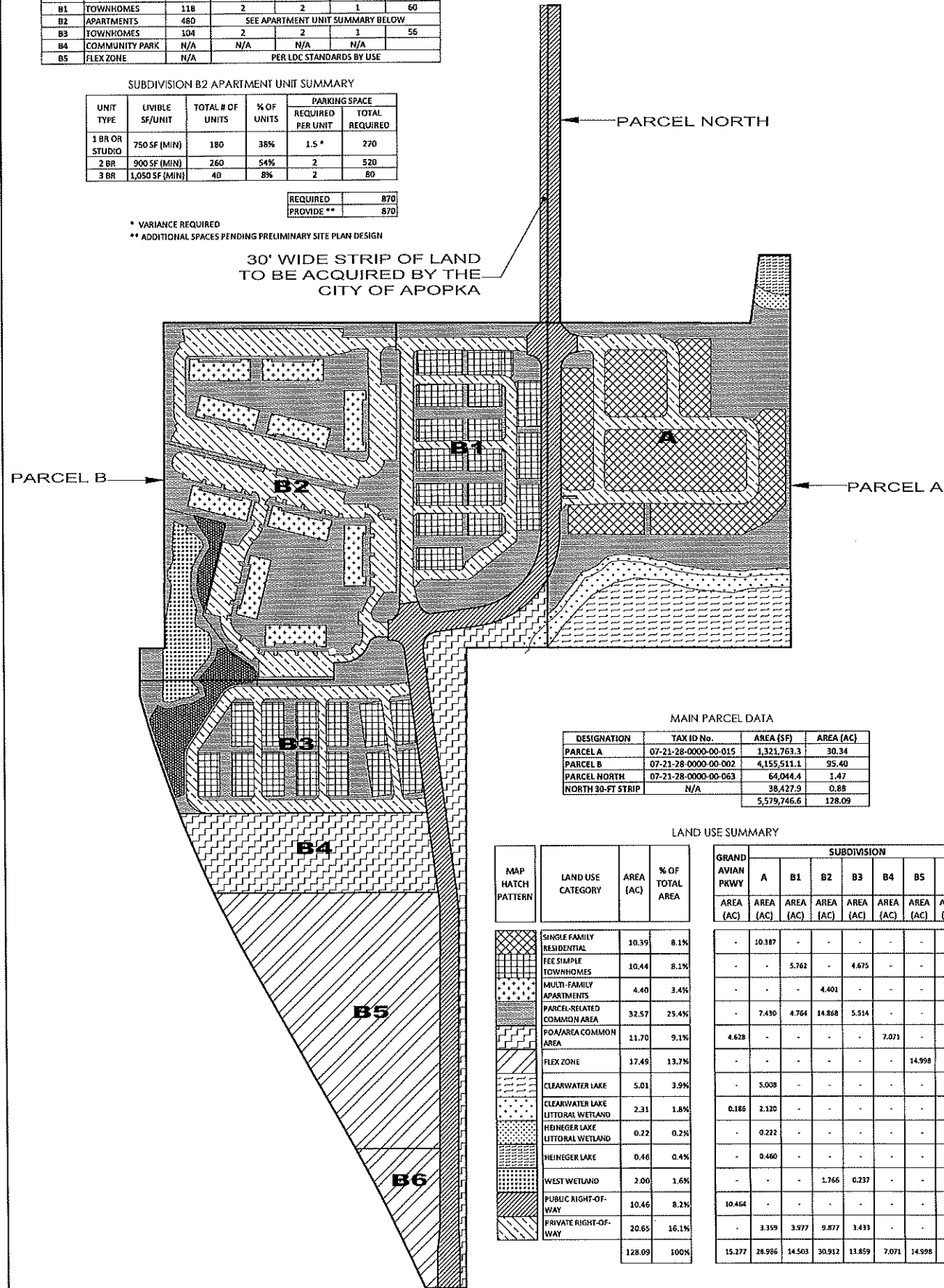
SUBDIVISION B2 APARTMENT UNIT SUMMARY

UNIT TYPE	LIVABLE SF/UNIT	TOTAL # OF UNITS	% OF UNITS	PARKING SPACE REQUIRED PER UNIT	TOTAL REQUIRED
1 BR OR STUDIO	750 SF (MIN)	180	38%	1.5 *	270
2 BR	900 SF (MIN)	260	54%	2	520
3 BR	1,050 SF (MIN)	40	8%	2	80

REQUIRED = 870
PROVIDE ** = 870

* VARIANCE REQUIRED
** ADDITIONAL SPACES PENDING PRELIMINARY SITE PLAN DESIGN

30' WIDE STRIP OF LAND TO BE ACQUIRED BY THE CITY OF APOPKA



MAIN PARCEL DATA

DESIGNATION	TAX ID No.	AREA (SF)	AREA (AC)
PARCEL A	07-21-28-0000-00-015	1,321,763.3	30.34
PARCEL B	07-21-28-0000-00-002	4,155,511.1	95.40
PARCEL NORTH	07-21-28-0000-00-063	84,044.4	1.47
NORTH 30-FT STRIP	N/A	38,427.9	0.88
		5,579,746.6	128.09

LAND USE SUMMARY

MAP HATCH PATTERN	LAND USE CATEGORY	AREA (AC)	% OF TOTAL AREA	SUBDIVISION									
				GRAND AVIAN PKWY	A	B1	B2	B3	B4	B5	B6		
[Hatch]	SINGLE FAMILY RESIDENTIAL	10.39	8.1%	-	10.187	-	-	-	-	-	-	-	-
[Hatch]	FEE SIMPLE TOWNHOMES	10.44	8.1%	-	-	5.762	-	4.675	-	-	-	-	-
[Hatch]	MULTI-FAMILY APARTMENTS	4.40	3.4%	-	-	-	4.401	-	-	-	-	-	-
[Hatch]	PARCEL-RELATED COMMON AREA	32.57	25.4%	-	7.430	4.764	14.868	5.514	-	-	-	-	-
[Hatch]	POA/AREA COMMON AREA	11.70	9.1%	4.628	-	-	-	-	7.071	-	-	-	-
[Hatch]	FLEX ZONE	17.49	13.7%	-	-	-	-	-	-	14.998	2.487	-	-
[Hatch]	CLEARWATER LAKE	5.01	3.9%	-	5.008	-	-	-	-	-	-	-	-
[Hatch]	CLEARWATER LAKE LITTORAL WETLAND	2.31	1.8%	0.186	2.120	-	-	-	-	-	-	-	-
[Hatch]	HEINERGER LAKE LITTORAL WETLAND	0.22	0.2%	-	0.222	-	-	-	-	-	-	-	-
[Hatch]	HEINERGER LAKE	0.46	0.4%	-	0.460	-	-	-	-	-	-	-	-
[Hatch]	WEST WETLAND	2.00	1.6%	-	-	-	1.766	0.237	-	-	-	-	-
[Hatch]	PUBLIC RIGHT-OF-WAY	10.46	8.2%	10.464	-	-	-	-	-	-	-	-	-
[Hatch]	PRIVATE RIGHT-OF-WAY	20.65	16.1%	-	3.359	3.977	9.877	3.493	-	-	-	-	-
		128.09	100%	15.277	28.956	14.503	30.912	13.859	7.071	14.998	2.487	-	-

MASTER PLAN IS SUBJECT TO PRELIMINARY OR FINAL DEVELOPMENT PLAN APPROVAL

OVERALL MASTER PLAN

FLOODPLAIN NOTES:

- PER FEMA FIRM MAP NO. 12065C0120F PARTS OF PARCEL A AND B ARE WITHIN FLOOD ZONES "A" AND "AE". FLOOD COMPENSATING VOLUME WILL BE PROVIDED FOR ALL FILL ENCROACHMENTS MADE TO THE EXISTING FLOODPLAIN.

WETLAND NOTES:

- CLEAR WATER LAKE & LAKE HEINERGER, NO IMPACTS TO THESE WATER BODIES AND ASSOCIATED WETLANDS SHALL OCCUR. THEREFORE, NO MITIGATION SHOULD BE REQUIRED AS LONG AS AN UPLAND BUFFER OF 25-FT AVERAGE WIDTH AND 15-FT MINIMUM WIDTH IS PROVIDED BETWEEN THE WETLANDS AND PROPOSED DEVELOPMENT.
- THE CLEAR WATER LAKE LITTORAL WETLAND LIMIT HAS BEEN DETERMINED AND ESTABLISHED AT ELEVATION 55-FT (GVDMS) CONTOUR LINE, PER SURVEY.
- WETLAND LOCATED AT THE WEST PROPERTY LINE, SOUTHWEST CORNER OF SUBDIVISION B2, IS OF LOW QUALITY, AND WILL REQUIRE COMPENSATORY MITIGATION FOR PROPOSED IMPACTS.

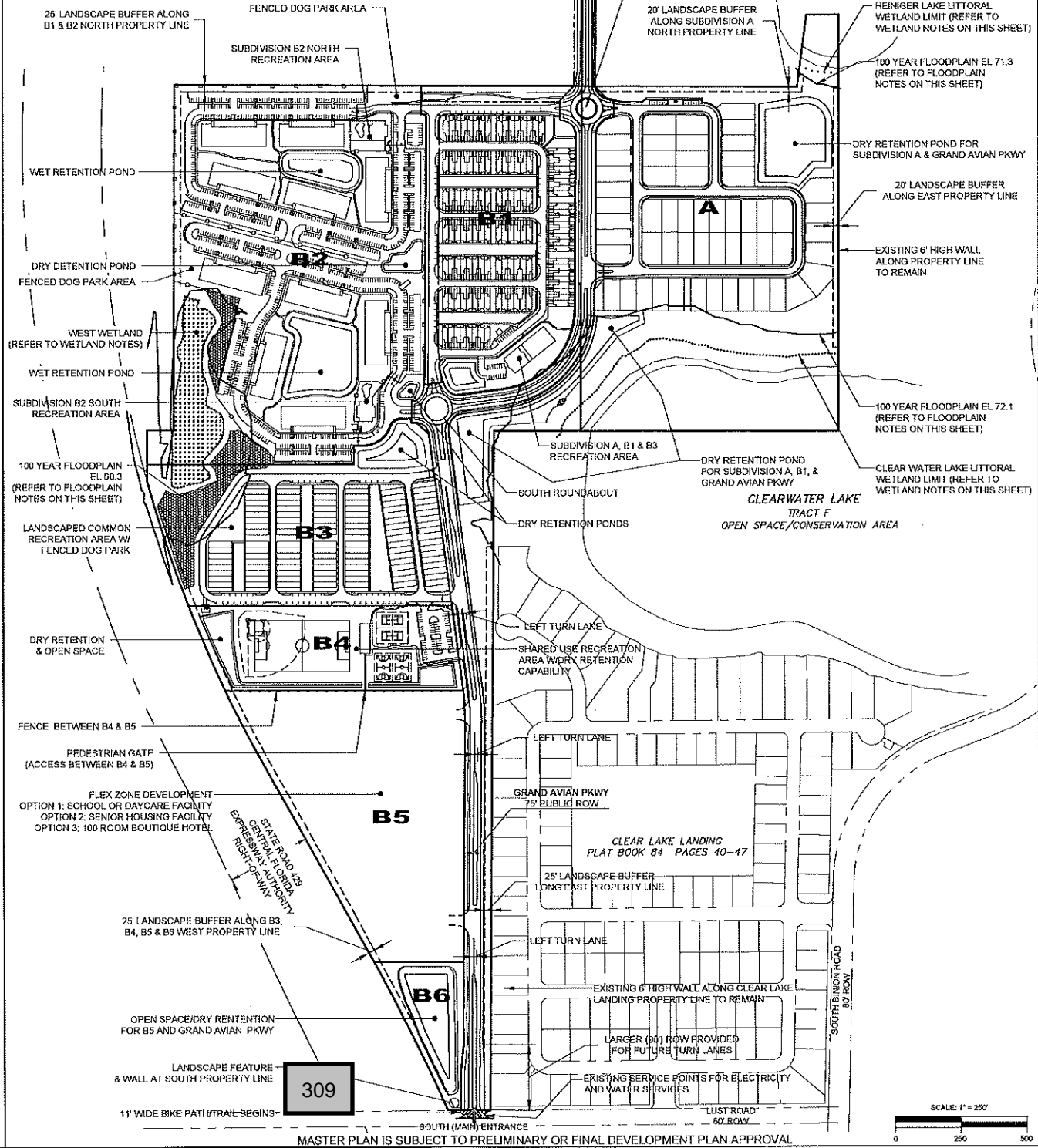
ROADWAY NOTES:

- CURB RADIUS AT INTERSECTIONS AND APARTMENT BLOCK PERIMETERS SHALL BE 35' MINIMUM.
- CURB RADIUS AT APARTMENT PARKING AISLE MEDIANS SHALL BE 25' MINIMUM.
- ALL PAVING SHALL COMPLY WITH CITY OF APOPKA & FDOT DESIGN STANDARDS.
- PUBLIC RIGHTS-OF-WAY ALONG PROPOSED GRAND AVIAN PARKWAY AS FOLLOWS:

SEGMENT A (FROM LUST ROAD TO SOUTH ROUNDABOUT) - VARIES FROM 62' TO 75'
SEGMENT B (FROM SOUTH ROUNDABOUT TO NORTH ROUNDABOUT) - VARIES FROM 75' TO 80'
SEGMENT C (FROM NORTH ROUNDABOUT TO PETERSON ROAD) - 62'

UTILITIES NOTES:

- WATER & ELECTRIC SERVICES SHALL CONNECT TO EXISTING SERVICE POINTS LOCATED IN THE LUST ROAD RIGHT OF WAY SUBJECT TO CITY REVIEW & APPROVAL.



SCALE: 1" = 250'

MASTER PLAN IS SUBJECT TO PRELIMINARY OR FINAL DEVELOPMENT PLAN APPROVAL

JOB #: 1605520
ENGINEER: F. LUC FREEST
DATE: JUL 25, 2018

REVISIONS

NO.	DATE	REVISIONS
1	07/25/18	CITY OF APOPKA PUD MASTER REVIEW #1
2	07/25/18	CITY OF APOPKA PUD MASTER REVIEW #2
3	08/05/18	CITY OF APOPKA PUD MASTER REVIEW #1

RECORD DRAWING

THIS RECORD DRAWING IS BASED ON THE ENCLOSED CONTRACT. A REVIEW OF CONTRACT AND RECORD DRAWINGS SHALL BE CONDUCTED BY THE ENGINEER PRIOR TO CONSTRUCTION AND ANY CHANGES TO THE RECORD DRAWINGS SHALL BE MADE BY THE ENGINEER. THE ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE RECORD DRAWINGS. THE ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE RECORD DRAWINGS.

ENGINEER: F. LUC FREEST

AVIAN POINTE
PUD MASTER PLAN AMENDMENT
(MIXED USE MASTER PLAN)

2777 LUST ROAD
APOPKA, FLORIDA

APOPKA CLEAR LAKE INVESTMENTS, LLC

DEVELOPMENT SUMMARY & OVERALL MASTER PLAN

LOCHRANE
Consulting Engineers - Surveyors
An NVIS Company

DRAWING NO: ZA.02
SHEET 3 OF 15

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DEVELOPMENT STANDARDS & GUIDELINES

PROPOSED VILLAGE NAMES:

SUBDIVISION A THE LAKES AT AVIAN POINTE
 SUBDIVISION B1 NORTH MEWS AT AVIAN POINTE
 SUBDIVISION B2 THE COMMONS AT AVIAN POINTE
 SUBDIVISION B3 SOUTH MEWS AT AVIAN POINTE
 SUBDIVISION B4 (COMMUNITY PARK) TO BE DETERMINED & SUBMITTED WITH THE PRELIMINARY DEVELOPMENT PLAN
 SUBDIVISION B5 (FLEX ZONE) TO BE DETERMINED & SUBMITTED WITH THE PRELIMINARY DEVELOPMENT PLAN

PROPOSED STREET NAMES:

NAME	AVAILABLE		ALTERNATE										SUBDIVISION
	YES	NO	BLVD	DRIVE	STREET	AVENUE	ROAD	LANE	COURT	PLACE	WAY	SUBDIVISION	
			Y/N	Y/N	Y/N	Y/N	Y/N	Y/N	Y/N	Y/N	Y/N		
GRAND AVIAN PARKWAY	✓		Y	Y	Y	Y	Y	Y	Y	Y	Y	AVIAN POINTE	
CLEAR WATER DRIVE	✓		Y		Y	Y	Y	Y	Y	Y	Y	A	
BASS ROAD		✓	Y	N	N	Y		Y	Y	Y	Y	A	
BLUEGIL WAY	✓		Y	Y	N	Y	Y	Y	Y	Y	Y	A	
GALLINULE DRIVE	✓		Y		Y	Y	Y	Y	Y	Y	Y	B1	
AYTHYA WAY	✓		Y	Y	Y	Y	Y	Y	Y	Y	Y	B1	
AMHINGUS COURT	✓		Y	Y	Y	Y	Y	Y	Y	Y	Y	B1	
HARRIER COURT	✓		Y	N	Y	Y	Y	Y	Y	Y	Y	B1	
BLUE HERON WAY	✓		Y	N	Y	Y	Y	Y	Y	Y	Y	B2	
EAST COMMONS DRIVE	✓		Y		Y	Y	Y	Y	Y	Y	Y	B2	
WEST COMMONS DRIVE	✓		Y		Y	Y	Y	Y	Y	Y	Y	B2	
EGERT DRIVE	✓		Y		Y	Y	Y	Y	Y	Y	Y	B3	
PEREGRINE COURT		✓	Y	Y	Y	N	Y	Y	Y	Y	Y	B3	
ARDEA COURT	✓		Y	Y	Y	N	Y	Y	Y	Y	Y	B3	

NOTES:

- ALL STREET NAMES DEEMED AVAILABLE PER ORANGE COUNTY MASTER STREET ADDRESS GUIDE.
- VILLAGES (SUBDIVISIONS) NAMES LISTED ABOVE ARE PRELIMINARY & SUBJECT TO CHANGE PENDING PRELIMINARY SITE PLAN SUBMITTAL.
- STREET NAMES ARE PRELIMINARY & SUBJECT TO CHANGE PENDING ORANGE COUNTY AVAILABILITY & PRELIMINARY SITE PLAN SUBMITTAL.

1. COMMUNITY DESIGN

- GRAND AVIAN PKWY NORTHERN & SOUTHERN ENTRANCES FEATURE DESIGN & LANDSCAPING SHALL BE PROVIDED AT PRELIMINARY DEVELOPMENT PLAN.
- POSTAL SERVICE:
 - ALL SUBDIVISIONS SHALL HAVE USPS/ADA APPROVED MAIL KIOSKS. THESE KIOSKS SHALL BE COVERED BY A SHELTER STRUCTURE SUFFICIENT TO PROTECT THE PATRON AND DELIVERY PERSONNEL FROM INCLEMENT WEATHER, AND SHALL BE LOCATED ON PAVED AREAS WITH SUFFICIENT MANEUVERING CLEARANCES & PROPER GRADING TO ACCOMMODATE BOTH MAIL CARRIERS & PERSONS WITH DISABILITIES. A LETTER FROM THE APOPKA USPS SHALL BE REQUIRED PRIOR TO APPROVAL OF THE PRELIMINARY DEVELOPMENT PLAN.
- PUBLIC & PRIVATE ROADS
 - REFER TO ENLARGED MASTER PLAN SHEETS ZA.03 & ZA.04 FOR ROAD DESIGNATION (PUBLIC OR PRIVATE).
 - REFER TO STREET NAME TABLE SHOWN ON THIS SHEET FOR PROPOSED STREET NAMES. FINAL STREET NAMES SHALL BE SUBMITTED WITH THE PRELIMINARY DEVELOPMENT PLANS.
- FENCED DOG PARK AREA
 - TWO FENCED DOG PARK AREAS SHALL BE PROVIDED WITHIN SUBDIVISION B2, AND ONE FENCED DOG PARK AREA WITHIN SUBDIVISION B3.
 - DELINEATED DOG PARK PLANS SHALL BE SUBMITTED WITH THE PRELIMINARY DEVELOPMENT PLAN.
- A LIST OF POTENTIAL "VILLAGES" OR NEIGHBORHOOD NAMES SHALL BE INCLUDED WITH THE PRELIMINARY SITE PLAN. EACH VILLAGE WILL BE NAMED "XXXX" AT AVIAN POINTE.
- COMMUNITY SIGNAGE WILL BE UNIFORM, DEVELOPED, SUBMITTED & APPROVED PER CITY OF APOPKA SIGNAGE STANDARDS AT THE PRELIMINARY SITE PLAN.
- COMMUNITY STREET LIGHTING WILL BE UNIFORMED, SELECTED, SUBMITTED & APPROVED PER CITY OF APOPKA STREET LIGHTING STANDARDS AT THE PRELIMINARY SITE PLAN.

2. PARKING

- REFER TO ZA.02 FOR PARKING SUMMARY TABLE.
- ON-STREET PARALLEL PARKING SPACES SHALL BE A MINIMUM OF 9' WIDE BY 22' IN LENGTH.
- HEAD-IN 90° STANDARD PARKING SPACES SHALL BE A MINIMUM OF 9' WIDE X 18' IN LENGTH.
- HEAD-IN 90° STANDARD PARKING SPACES AT SUBDIVISION B2 PARKING AISLES MAY BE DECREASED TO 9' WIDE X 16' DEEP TO INCREASE LANDSCAPE MEDIAN PER CITY OF APOPKA LDC.
- HEAD-IN 90° ADA PARKING SPACES SHALL BE A MINIMUM OF 12' WIDE X 19' LONG & MEET BOTH FLORIDA BUILDING CODE & FEDERAL ADA STANDARDS. A 5' WIDE ACCESSIBLE AISLE SHALL BE REQUIRED AT EACH ADA PARKING SPACE. EACH SPACE SHALL BE MARKED WITH THE UNIVERSAL ADA SYMBOL & BE PROVIDED WITH APPROPRIATE SIGNAGE IN ACCORDANCE WITH CODE REQUIREMENTS.
- COMPACT SPACES ARE NOT ALLOWED.
- GARAGE SETBACKS:
 - SUBDIVISION A (SINGLE FAMILY): 30' MINIMUM CLEAR DRIVEWAY DEPTH TO RIGHT OF WAY SIDEWALK.
 - SUBDIVISION B1 & B3 (TOWNHOMES): 29' MIN CLEAR DRIVEWAY DEPTH TO RIGHT OF WAY SIDEWALK. GARAGE SETBACK MUST BE SUFFICIENT TO ACCOMMODATE A 20' LONG VEHICLE WITHOUT EXTENDING OVER A SIDEWALK OR STREET/ALLEY.
- TOWNHOME DRIVEWAYS SHALL BE SEPARATED BY A LANDSCAPE AREA TO SEPARATE VEHICLES & DEFINE PROPERTY BOUNDARIES.

3. BUILDING DESIGN/ARCHITECTURE

- VILLAGE STRUCTURES SHALL BE COMPLEMENTARY TO BUT DISTINCT FROM ADJACENT VILLAGES.
- BUILDING FACADES SHALL BE VARIED IN DEPTH WITH MULTIPLE PITCHED ROOF HEIGHTS TO PROVIDE VISUAL INTEREST. FLAT AND/OR MANSARD ROOFS SHALL NOT BE PERMITTED.
- FACADE MATERIALS SHALL BE VARIED AND MAY CONSIST OF STUCCO, HORIZONTAL SIDING, STONE AND/OR BRICK VENEER.
- COLOR PALETTES SHALL BE COMPLEMENTARY TO BUT DISTINCT FROM ADJACENT VILLAGES. FIELD COLORS & TRIM SHALL BE DISTINCT FROM ONE ANOTHER.
- UNITS SHALL HAVE A USEABLE FRONT PORCH ACCESSIBLE FROM THE SIDEWALK. UPPER UNITS AT THE APARTMENTS SHALL ALSO HAVE PORCHES AND/OR USEABLE OUTDOOR SEATING AREAS LOCATED ALONG THE UPPER FLOOR VERANDAS.
- ONE COMMUNITY CLUBHOUSE AND RESORT STYLE POOL SHALL BE PROVIDED FOR, AND SHALL BE SHARED BY THE SINGLE FAMILY AND TOWNHOME VILLAGES.
- TWO COMMUNITY CLUBHOUSES AND RESORT STYLE POOLS SHALL BE PROVIDED IN THE APARTMENT VILLAGE.
- ALL COMMUNITY CLUBHOUSES SHALL BE EQUIPPED WITH RESTROOMS, COMMUNAL KITCHEN (INDOOR AND/OR OUTDOOR), SEATING AREAS AND EXERCISE AREAS.
- ALL COMMUNITY CLUBHOUSES SHALL BE DESIGNED TO ACCOMMODATE PERSONS WITH DISABILITIES AS REQUIRED BY FLORIDA BUILDING CODE AND ADA, CURRENT ENFORCED EDITIONS.
- ACCESS TO COMMUNITY CLUBHOUSES SHALL BE RESTRICTED TO VILLAGE RESIDENTS AND THEIR GUESTS.
- ENTRANCE TO EACH TOWNHOME UNIT MUST ACCESS A SIDEWALK. TOWNHOMES ABUTTING A STREET SHALL HAVE THEIR MAIN ENTRY FROM THAT STREET. THIS APPLIES TO THE PERIMETER UNITS ON SUBDIVISION B1 & B3.
- TOWNHOMES SHALL HAVE A MINIMUM OF ONE ENCLOSED GARAGE SPACE.
- SINGLE FAMILY RESIDENCES SHALL HAVE A MINIMUM OF 2 ENCLOSED GARAGED SPACES.
- TOWNHOUSE & APARTMENT UNIT PRELIMINARY LAYOUTS & DIMENSIONS USED FOR THIS SUBMITTAL SHALL BE PROVIDED AS SUPPLEMENTAL DOCUMENTS AT TIME OF PUBLIC HEARING.

4. BUILDING SETBACKS

- 4.12 SINGLE FAMILY RESIDENCES
 - FRONT YARD: 25' MINIMUM
 - FRONT-FACING GARAGE: 30' MINIMUM
 - SIDE YARD: 7.5' MINIMUM
 - REAR YARD: 20' MINIMUM
 - 4.12.1 TWO STORY RESIDENCES SHALL BE SETBACK AN ADDITIONAL 2.5' FROM THE SIDE YARD PROPERTY LINES.
 - 4.12.2 FRONT PORCHES MAY ENCRoACH INTO FRONT YARD SETBACK NO MORE THAN 5'.
 - 4.12.3 FENCE SHALL NOT BE INSTALLED ALONG THE BACK OF LOTS 1 TO 8 (REAR GARAGE ENTRANCE LOTS).
 - 4.12.4 THE FRONT ELEVATION OF ANY HOME CONSTRUCTED ON A CUL-DE-SAC OR ON A CURVE SHALL BE NO MORE THAN A 30 DEGREE DEFLECTION FROM A LINE PERPENDICULAR TO A RADIAL LINE FROM THE CENTER OF THE CUL-DE-SAC OR THE RADIUS POINT OF THE CURVE THROUGH A MID-POINT OF THE LOT FRONTAGE.
- 4.1 TOWNHOMES
 - FRONT YARD: 15' MINIMUM, 17' TO 20' SHOWN ON PLAN TO PUBLIC SIDEWALK WHERE FACING STREET
 - FRONT YARD: 5' MINIMUM TO PUBLIC SIDEWALK WHERE FACING CENTRAL GREENBELT
 - FACE OF BLDG TO FACE TO BLDG: 60' MINIMUM WHERE FACING CENTRAL GREENBELT
 - SIDE YARD BETWEEN BLDGS: 20' MINIMUM
 - GARAGE DRIVEWAY: 20' MINIMUM TO PUBLIC SIDEWALK/EDGE OF RIGHT OF WAY
 - 4.1.1 TOWNHOMES ABUTTING THE SINGLE FAMILY RESIDENTIAL VILLAGE SHALL BE SETBACK A MINIMUM OF 30' FROM THE PROPERTY LINE SEPARATING THE TWO VILLAGES.
 - 4.1.2 A 6" HIGH PRECAST CONCRETE WALL WITH STONE VENEER SHALL BE LOCATED ALONG THAT PROPERTY LINE. REFER TO MASTER PLAN & LANDSCAPE PLAN FOR LOCATION.
 - 4.1.3 FRONT PORCHES AT TOWNHOMES MAY NOT ENCRoACH INTO THE FRONT YARD SETBACK.
- 4.2 APARTMENTS
 - FRONT YARDS: 12' MINIMUM TO PUBLIC SIDEWALK WHERE FACING STREET
 - SIDE YARD: NOT APPLICABLE
 - FACE OF BLDG TO FACE TO BLDG: 60' MINIMUM WHERE FACING CENTRAL GREENBELT
 - 4.2.1 GROUND FLOOR APARTMENT UNITS FACING THE STREET SHALL HAVE USABLE FRONT PORCHES AND ENTRANCES ACCESSIBLE FROM THE PUBLIC SIDEWALK.
 - 4.2.2 UNITS FACING THE CENTRAL GREENSPACE SHALL HAVE USABLE PORCHES ACCESSIBLE FROM COMMON AREA SIDEWALK.
 - 4.2.3 FRONT PORCHES AT THE APARTMENTS MAY NOT ENCRoACH INTO THE FRONT YARD SETBACK OR CENTRAL GREENSPACE SETBACK.

5. LOT AREA & DIMENSIONS

- 5.1 SINGLE FAMILY RESIDENCES
 - MINIMUM LOT AREA: 7,500 SQUARE FEET (R-3 MINIMUM LOT AREA)
 - INTERIOR LOTS: 60' X 125', 60' X 132', 70' X 120'
 - CORNER LOTS: 75' X 125', 70' X 132'
 - PERIMETER LOT: 75' X 107' (LOTS ALONG EAST PROPERTY LINE)
 - 5.1.1 LOT WIDTHS AT INTERNAL BLOCKS VARY BUT MUST MAINTAIN MINIMUM STANDARDS LISTED ABOVE.

5.2. TOWNHOMES

- INTERIOR LOTS: 23' X 89' MINIMUM
- END LOTS: 23'-4" WIDE X 89' DEEP TO ACCOMMODATE END WALL THICKNESS
- 5.2.1 COMMON AREAS ABUTTING THE TOWNHOME LOTS SHALL BE THE RESPONSIBILITY OF AND MAINTAINED BY THE VILLAGE H.O.A.

6. UNIT SIZES

- 6.1 SINGLE FAMILY RESIDENCES
 - MINIMUM LIVABLE AREA: 1,700 SQUARE FEET
- TOWNHOMES
 - MINIMUM LIVABLE AREA: 1,350 SQUARE FEET

6.2. APARTMENTS

- MINIMUM LIVABLE AREA:
 - 1 BR UNIT: 750 SQUARE FEET
 - 2 BR UNIT: 900 SQUARE FEET
 - 3 BR UNIT: 1,050 SQUARE FEET
- 6.2.1 REFER TO DEVELOPMENT AGREEMENT FOR THIS PROJECT FOR LIST OF LUXURY APARTMENT FEATURES.

7. COMMUNITY PARK (DEVELOPMENT B4) GUIDELINES

- PARK FACILITIES SHALL MEET ADA ACCESSIBILITY REQUIREMENTS.
- RESTROOMS SHALL BE PROVIDED FOR PARK USERS.
- ON-SITE PARKING SHALL BE PROVIDED FOR PARK USERS.
- BICYCLE RACKS SHALL BE PROVIDED. NUMBER AND LOCATIONS TO BE DETERMINED AT THE PRELIMINARY DEVELOPMENT PLAN.
- DRINKING FOUNTAINS SHALL BE PROVIDED. NUMBER AND LOCATIONS TO BE DETERMINED AT THE PRELIMINARY DEVELOPMENT PLAN.
- RECREATIONAL FACILITIES SHOWN ON PLANS ARE CONCEPTUAL, FINAL FACILITIES TO BE DETERMINED AT THE PRELIMINARY DEVELOPMENT PLAN.
- ALL DEVELOPMENT RESIDENTS SHALL HAVE SHARED-USE ACCESS TO THE COMMUNITY PARK.
- A BACKSTOP SHALL BE PROVIDED AT THE BASEBALL FIELD; DETAIL SHALL BE PROVIDED AT THE PRELIMINARY DEVELOPMENT PLAN.

8. FLEX ZONE (DEVELOPMENT B5)

- 8.1 PROPOSED THREE (3) OPTIONS:
 - OPTION 1: SCHOOL/DAYCARE FACILITY
 - OPTION 2: SENIOR HOUSING FACILITY
 - OPTION 3: 100 ROOM BOUTIQUE HOTEL
- 8.2 FLEX ZONE DEVELOPMENT STANDARD TO FOLLOW LAND DEVELOPMENT CODE.
- 8.3 REFER TO DEVELOPMENT AGREEMENT FOR FLEX ZONE ADDITIONAL INFORMATION.

9. FIRE DEPARTMENT NOTES

- ALL ROADWAYS, WATER LINE INFRASTRUCTURE AND FIRE HYDRANTS SHALL BE IN PLACE BEFORE BUILDING CONSTRUCTION MAY BEGIN.
- FIRE HYDRANTS MUST BE WITHIN 500 FEET OF EACH HOME.
- FIRE HYDRANT SHALL BE MARKED WITH A BLUE ROAD REFLECTOR.
- FIRE LANES SHALL BE PROVIDED FOR THE MULTI RESIDENTIAL BUILDINGS.
- ALL MULTI RESIDENTIAL TOWN HOMES OR APARTMENTS MUST BE EQUIPPED WITH FIRE SPRINKLER SYSTEMS, AND FIRE ALARM SYSTEMS MEETING FLORIDA FIRE PREVENTION CODE.
- FIRE DEPARTMENT CONNECTIONS (FDC) FOR SPRINKLER SYSTEMS MUST BE REMOTE FROM THE BUILDINGS WITH FIRE LANES.
- IF THE DEVELOPMENT IS GATED, THE GATE SHALL BE EQUIPPED WITH AN OPTI-COM TYPE SIGNALING DEVICE THAT IS COMPATIBLE WITH CITY OF APOPKA EMERGENCY VEHICLES. IT MUST ALSO BE EQUIPPED WITH A YELP SIREN ACTIVATION AND GATE CODE REQUESTED BY THE FIRE DEPARTMENT.
- CONNECTOR ROAD TO THE NORTH ALL THE WAY TO ORANGE AVENUE SHALL MEET CITY OF APOPKA STANDARDS TO ALLOW SAFE TRAVEL FOR FIRE APPARATUS.

10. PUBLIC SERVICES DEPARTMENT NOTES

- ROADS, DRIVEWAYS & ROUNDABOUTS SHALL FOLLOW FDOT STANDARDS.
- UTILITIES SHALL BE COORDINATED WITH AND PROVIDED BY THE CITY OF APOPKA.
- SANITATION SERVICE SHALL BE COORDINATED WITH AND PROVIDED BY THE CITY OF APOPKA.
- SINGLE FAMILY & TOWNHOME SANITATION SERVICE SHALL BE VIA INDIVIDUAL UNIT CURBSIDE WASTE BINS PER CITY SCHEDULE.
- APARTMENT SANITATION SERVICE SHALL BE VIA ROLL-OFF BINS LOCATED WITHIN AN ENCLOSED COMPACTOR BAY ON SITE. APARTMENT MAINTENANCE STAFF SHALL BE RESPONSIBLE FOR TRANSPORTATION OF TRASH FROM THE APARTMENT BUILDINGS TO THE COMPACTORS AND COORDINATING PICK UP WITH THE CITY SANITATION DEPARTMENT.
- NO TREES OR SHRUBS SHALL BE PLANTED WITHIN THE ROAD RIGHT OF WAY'S WITH CONTAIN CITY-MAINTAINED POTABLE WATER, RECLAIMED WATER, STORMWATER OR SEWER MAINS.
- LANDSCAPE & IRRIGATION DESIGN SHALL BE IN ACCORDANCE WITH THE CITY OF APOPKA ORDINANCE 2009, ADOPTED MAY 21, 2009 WHICH ESTABLISHES WATER WISE LANDSCAPE & IRRIGATION STANDARDS.

11. ADDITIONAL NOTES

- DEVELOPMENT STANDARDS TO FOLLOW LAND DEVELOPMENT CODE.
- REFER TO DEVELOPER AGREEMENT FOR ADDITIONAL PROJECT INFORMATION REGARDING DEVELOPMENT STANDARDS & GUIDELINES.
- ALL RESIDENTIAL UNITS SHALL COMPLY WITH FAIR HOUSING ACT ACCESSIBILITY STANDARDS.
- ALL SINGLE FAMILY AND TOWNHOME UNITS SHALL HAVE A FAIR HOUSING ACT COMPLIANT BATH OR 1/2 BATH LOCATED ON THE GROUND FLOOR OF THE UNIT.
- ALL RESIDENTIAL UNITS SHALL HAVE LAUNDRY FACILITIES LOCATED WITHIN THE LIVABLE AREA.
- BICYCLES AND OR PERSONAL ITEMS OTHER THAN OUTDOOR FURNISHINGS AND PLANTS SHALL NOT BE STORED ON PORCHES. BICYCLE RACKS SHALL BE PROVIDED AT COMMUNITY CLUBHOUSES, RECREATION AREAS AND EACH APARTMENT BLOCK.
- SINGLE FAMILY WASTE BINS SHALL BE STORED EITHER EACH UNIT'S GARAGE OR BEHIND AN OPAQUE SCREEN WALL OR FENCE LOCATED WITHIN THE SIDE YARD SETBACK.
- TOWNHOME WASTE BINS SHALL BE STORED WITHIN EACH UNIT'S GARAGE OR BEHIND AN OPAQUE SCREEN WALL OR FENCE LOCATED WITHIN THE REAR YARD SETBACK.

JOB #: 185630
 POL/MGR: ECL
 DESIGNER: ECL
 CHECKED: JM

DATE: JUL 25, 2018

REVISIONS

NO.	DATE	REVISIONS
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ENGINEER: ECL
 FL DC #

RECORD DRAWING

THIS RECORD DRAWING IS BASED ON THE RECORDS OF THE ORIGINAL CONTRACTOR. THE ORIGINAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE RECORDS. THE ENGINEER HAS REVIEWED THE RECORDS AND HAS DETERMINED THAT THE RECORDS ARE ACCURATE AND COMPLETE. THE ENGINEER HAS REVIEWED THE RECORDS AND HAS DETERMINED THAT THE RECORDS ARE ACCURATE AND COMPLETE. THE ENGINEER HAS REVIEWED THE RECORDS AND HAS DETERMINED THAT THE RECORDS ARE ACCURATE AND COMPLETE.

AVIAN POINTE
 PUD MASTER PLAN AMENDMENT
 (MIXED USE MASTER PLAN)

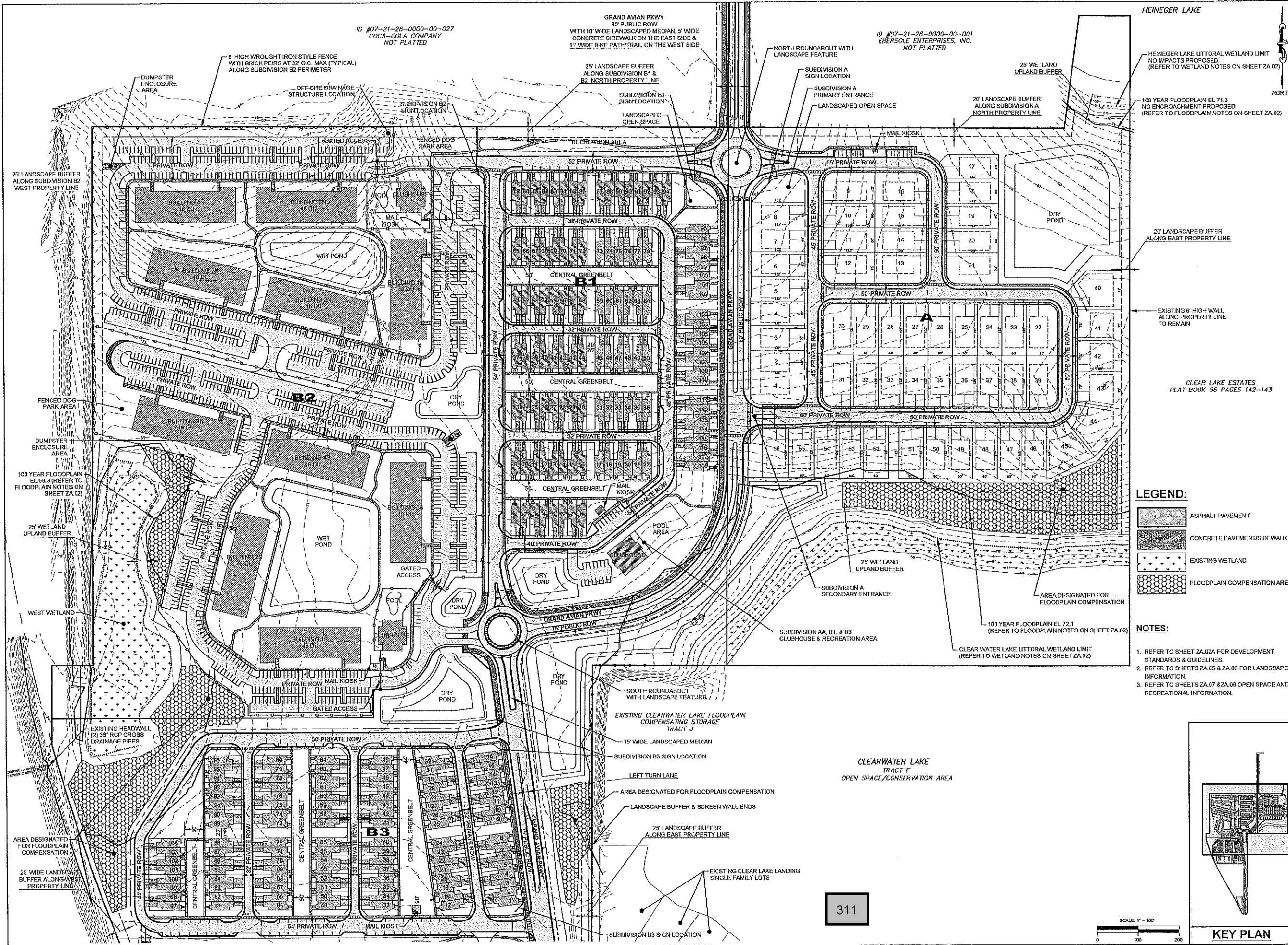
2774 LUST ROAD
 APOPKA, FLORIDA

APOPKA CLEAR LAKE INVESTMENTS, LLC

DEVELOPMENT STANDARDS & GUIDELINES

LOCHRANE
 Consulting Engineers - Surveyors
 An AECOM Company

DRAWING NO. 4A.02A
 SHEET 4 OF 15

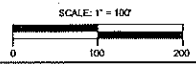
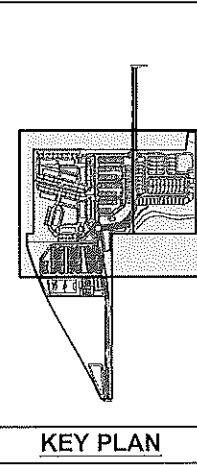


JOB # 165820		PRJ. MGR. ECL	DESIGNER ECL	CHECKED: JN
EDWARDS CONSULTING, P.C. FL. LIC # 17662		DATE: JUL 25, 2018		
RECORD DRAWING		NO. DATE REVISIONS		
THIS RECORD DRAWING IS BASED ON THE FINAL PLAT FOR CLEAR LAKE ESTATES PLAT BOOK 56 PAGES 142-143. THE DRAWING IS A PROFESSIONAL ENGINEER'S REPRESENTATION OF THE PROJECT AND DOES NOT CONSTITUTE A GUARANTEE OF ACCURACY. THE ENGINEER'S LIABILITY IS LIMITED TO THE DESIGN OF THE PROJECT AND DOES NOT EXTEND TO THE CONSTRUCTION OF THE PROJECT.		ENGINEER: F.L.C.#		
AVIAN POINTE		CITY OF APOPKA PUD MASTER REVIEW #2		
PUD MASTER PLAN AMENDMENT		CITY OF APOPKA PUD MASTER REVIEW #1		
(MIXED USE MASTER PLAN)		CITY OF APOPKA PUD MASTER REVIEW #1		
2774 LUST ROAD APOPKA, FLORIDA		APOPKA CLEAR LAKE INVESTMENTS, LLC		
ENLARGED MASTER PLAN		1 OF 2		
DRAWING NO. Z.A.03		SHEET 5 OF 15		

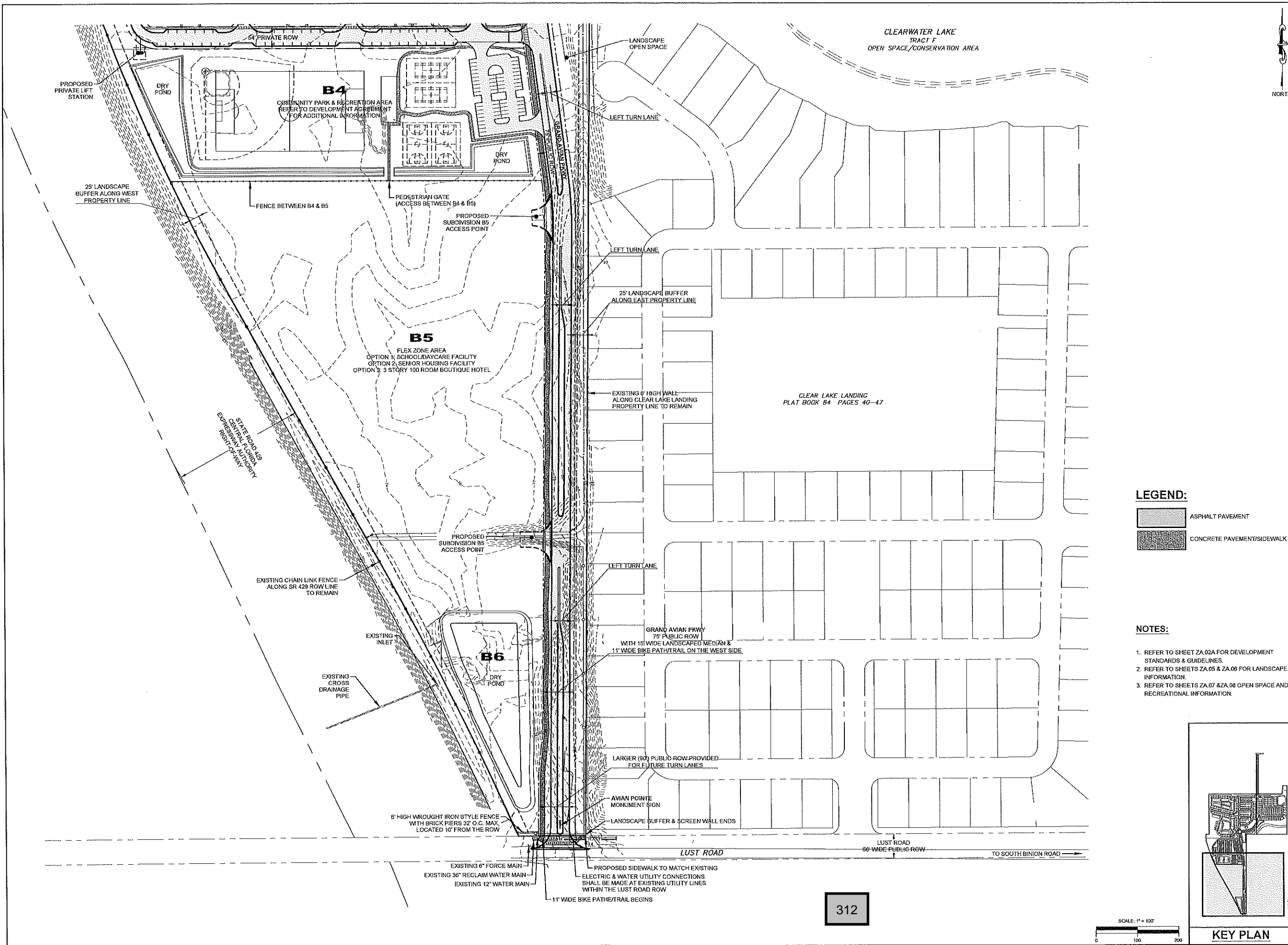
LEGEND:

- ASPHALT PAVEMENT
- CONCRETE PAVEMENT/SIDEWALK
- EXISTING WETLAND
- FLOODPLAIN COMPENSATION AREA

- NOTES:**
- REFER TO SHEET ZA.02A FOR DEVELOPMENT STANDARDS & GUIDELINES.
 - REFER TO SHEETS ZA.05 & ZA.06 FOR LANDSCAPE INFORMATION.
 - REFER TO SHEETS ZA.07 & ZA.08 OPEN SPACE AND RECREATIONAL INFORMATION.

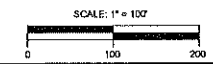


311



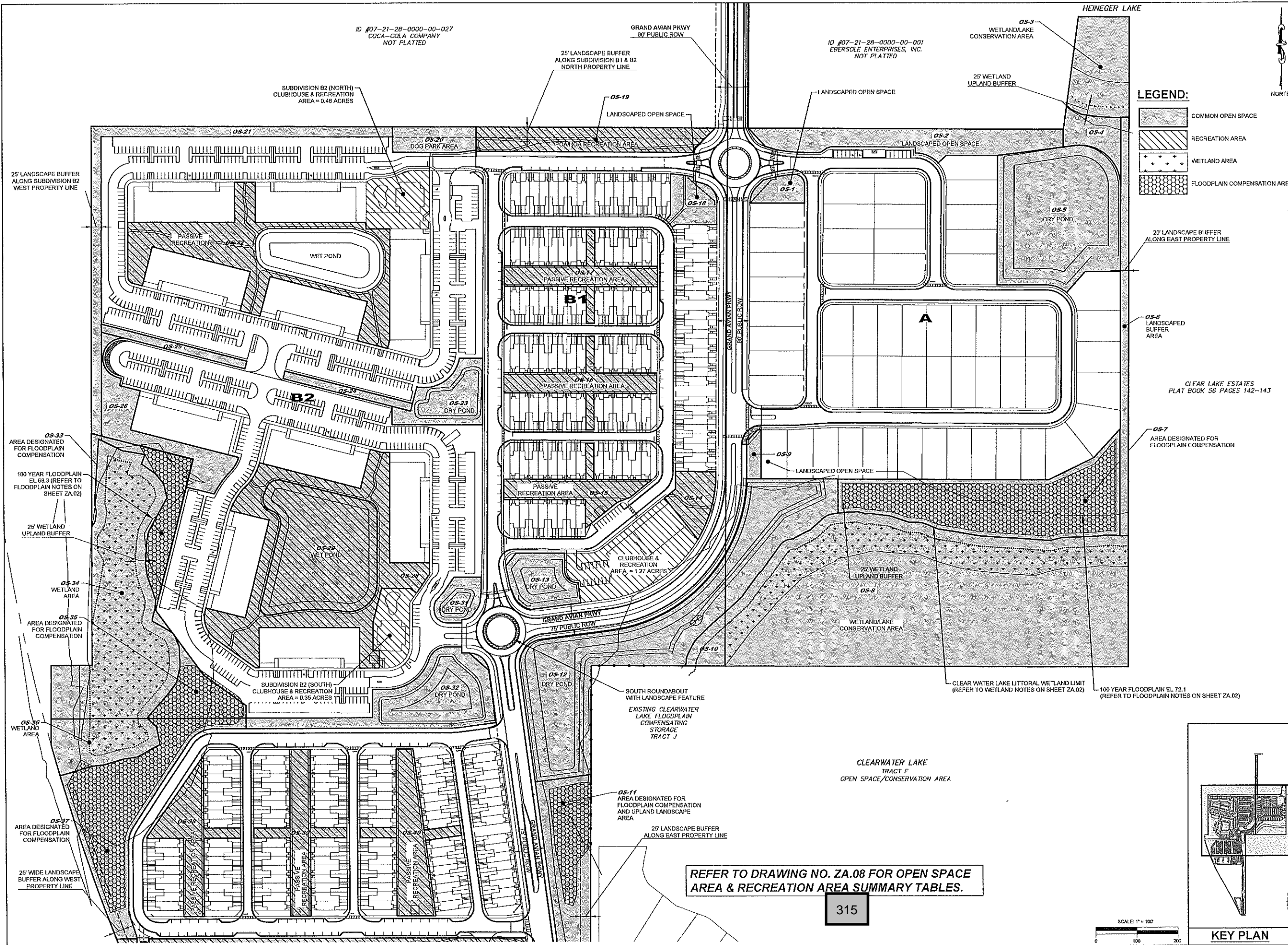
JOB # 18052D		DATE: JUL 25, 2018
EDUARDO GUERRA, P.E.	FL.C. # 76627	
PREL. MGR. ECL	DESIGNER ECL	CHECKED: JM
REVISIONS		
NO.	DATE	REVISIONS
1	07/25/18	CITY OF APOPKA PUD MASTER REVIEW #3
2	07/25/18	CITY OF APOPKA PUD MASTER REVIEW #2
3	05/05/18	CITY OF APOPKA PUD MASTER REVIEW #1
<p>RECORD DRAWING</p> <p>THIS RECORD DRAWING IS BASED ON THE EXISTING RECORD DRAWING AND THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING CONDITIONS AND UTILITIES AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. ALL DIMENSIONS AND CONDITIONS SHALL BE AS SHOWN ON THE RECORD DRAWING UNLESS OTHERWISE NOTED. CONTACT THE ENGINEER FOR ANY QUESTIONS.</p> <p>ENGINEER: ECL FL.C. #</p>		
<p>AVIAN POINTE PUD MASTER PLAN AMENDMENT (MIXED USE MASTER PLAN)</p> <p>2771 LUST ROAD APOPKA, FLORIDA</p> <p>APOPKA CLEAR LAKE INVESTMENTS, LLC</p>		
<p>ENLARGED MASTER PLAN (2 OF 2)</p>		
<p>LOCHRANE Consulting Engineers - Surveyors An AECOM Company</p> <p>315 SOUTH COUNTY STREET, SUITE 200, APOPKA, FL 33511 TEL: 813.941.1414 / FAX: 813.941.1417 WWW.LOCHRANE.COM</p>		
DRAWING NO.	SHEET	OF
ZA.04	6	15

312



KEY PLAN

D:\18052D\CONSTR\PUD - MASTER PLAN\06 - AVIAN POINTE PUD - ZA.04.dwg -- Jul 25, 2018 -- 2:47pm



LEGEND:

[Pattern]	COMMON OPEN SPACE
[Pattern]	RECREATION AREA
[Pattern]	WETLAND AREA
[Pattern]	FLOODPLAIN COMPENSATION AREA

ENGINEER: EDUARDO DUCALANA, P.E.
 FL. LIC. #19822

DATE: JUL 25, 2018

NO.	DATE	REVISIONS
1	07/25/18	CITY OF APOPKA PUD MASTER REVIEW #3
2	07/25/18	CITY OF APOPKA PUD MASTER REVIEW #2
3	08/02/18	CITY OF APOPKA PUD MASTER REVIEW #1

RECORD DRAWING

THIS RECORD DRAWING IS BASED ON THE RESULTS OF THE FIELD SURVEY AND THE INFORMATION PROVIDED BY THE CLIENT. THE ENGINEER HAS CONDUCTED A VISUAL GENERAL VERIFICATION OF THE INFORMATION PROVIDED AND HAS FOUND IT TO BE REASONABLY ACCURATE. THE ENGINEER DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED OR THE RESULTS OF THE SURVEY. THE CLIENT IS RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED AND THE RESULTS OF THE SURVEY.

ENGINEER: F.L.C. #

AVIAN POINTE
 PUD MASTER PLAN AMENDMENT
 (MIXED USE MASTER PLAN)

2774 LUST ROAD
 APOPKA, FLORIDA

APOPKA CLEAR LAKE INVESTMENTS, LLC

OPEN SPACE & RECREATION PLAN
 (1 OF 2)

LOCHRANE
 Consulting Engineers - Surveyors
 An IVE Company

315

SCALE: 1" = 100'

KEY PLAN

9 of 15

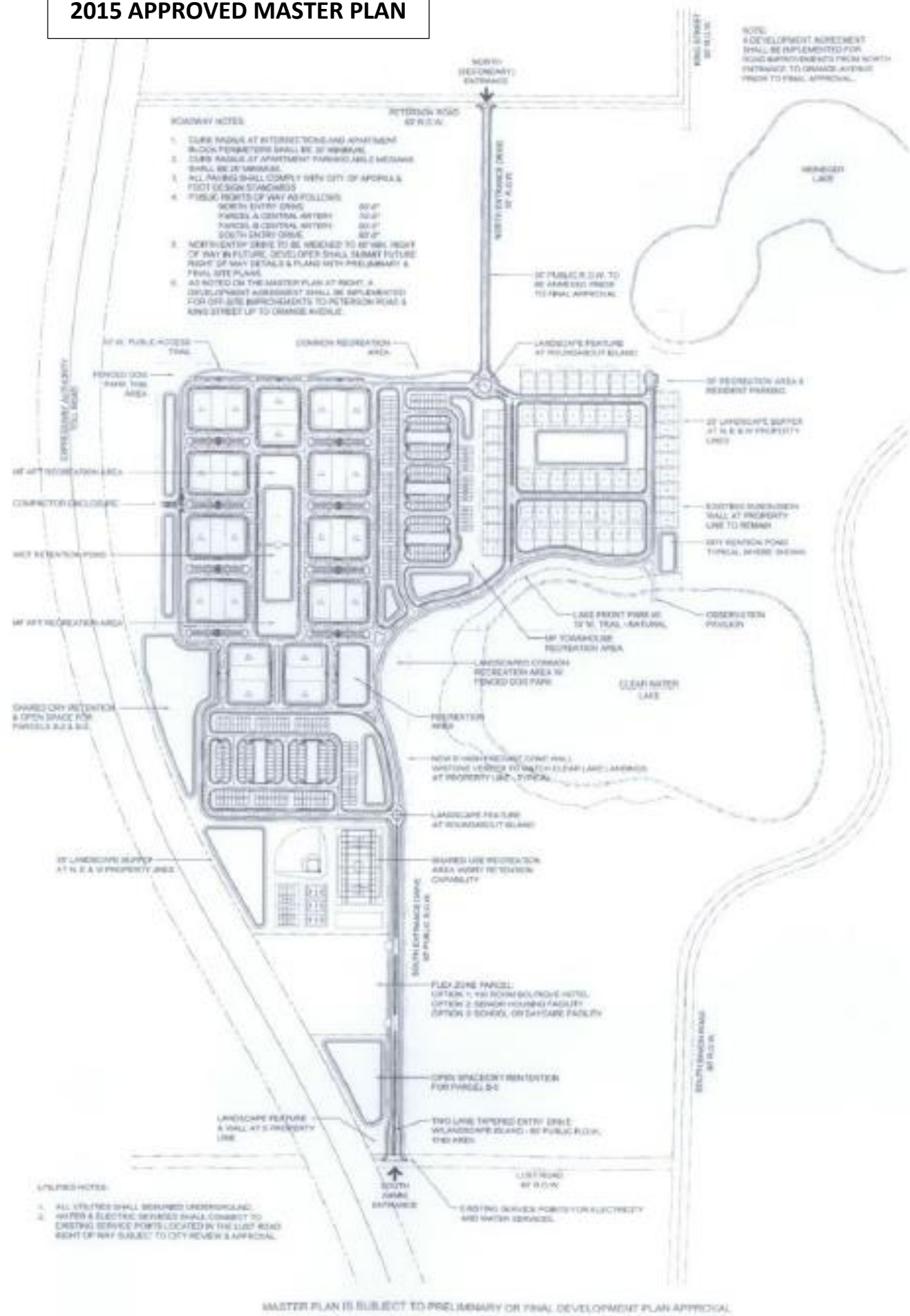
ZA.07

REFER TO DRAWING NO. ZA.08 FOR OPEN SPACE AREA & RECREATION AREA SUMMARY TABLES.

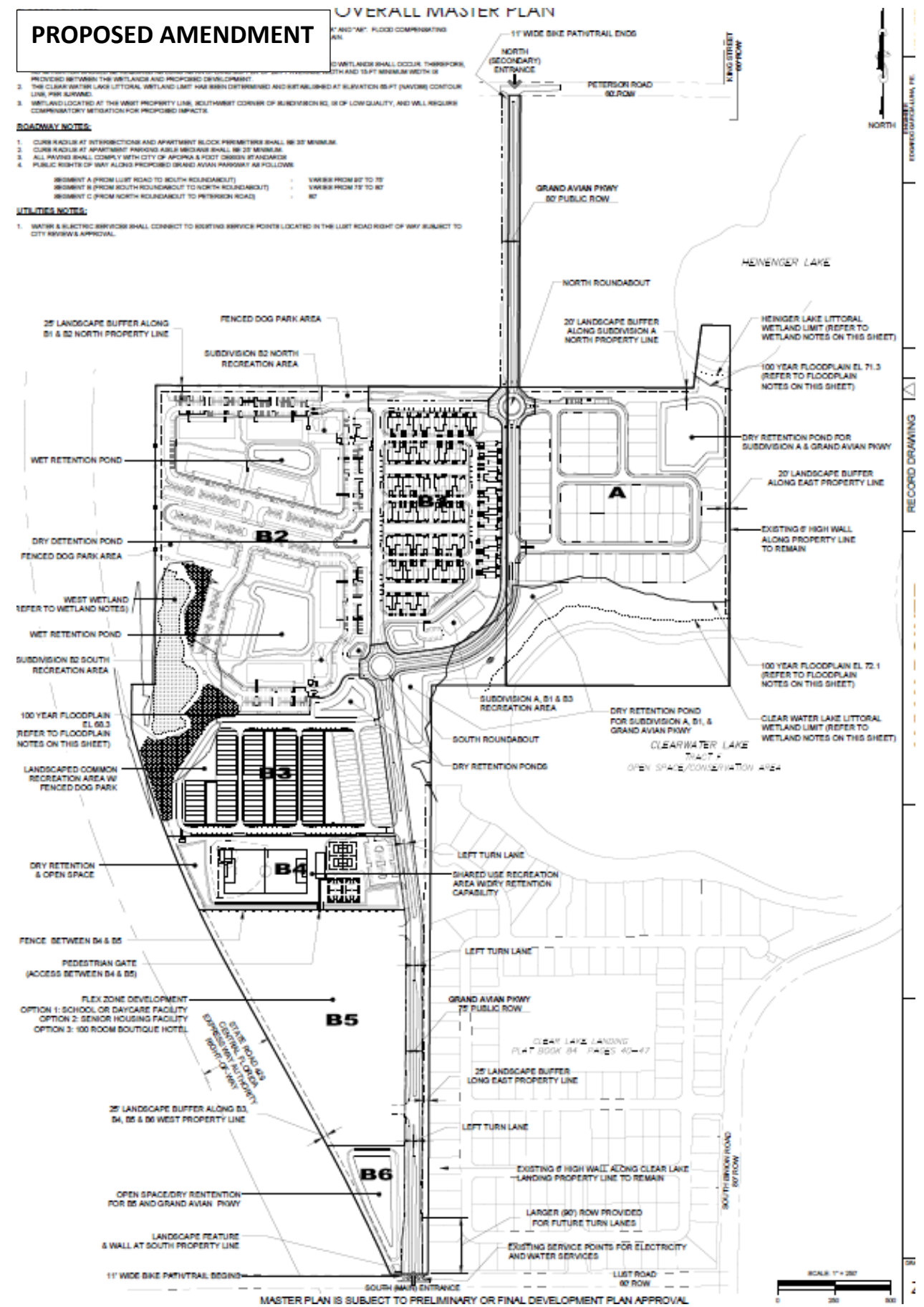
315

O:\18056.20\CONST\PUD - MASTER PLAN\09_10 - AVIAN POINTE PUD - ZA.07_08.dwg - Jul 25, 2018 - 2:20pm

2015 APPROVED MASTER PLAN



PROPOSED AMENDMENT



AVIAN POINTE MASTER PLAN PHASE-BY-PHASE CHANGES

PHASE A:

Use: Single Family homes

Park: Clubhouse and pool moved to Phase B-1 for joint use between A, B-1, and B-3 homes; no other park proposed in Phase A; no lake front open space area with multi-use trail to spine road trail

Road System: Spine road moved to west side of Phase A; no longer interior to neighborhood
r

	Proposed Master Plan	Current Master Plan
No. of Lots\Homes	56	58
Lot Width*	60, 70, 75'	75'
Lot Area	7,500 – 8,750 sq. ft.	8,250 sq. ft.
Home Min. Livable Area	1,700 sq. ft.	1,700 sq. ft.
Acres	10.387	
20'wide landscape buffer tract next to Clear Lake Estates/no wall	Yes	Yes

*Proposed Lot Width\Area		
Lot Width	No. of Lots	Typical Lot Area
60	39	7,500 sq. ft.
70	12	8.750 sq. ft.
75	5	7,950 sq. ft.

PHASE B-1 AND B-3:

Use: Townhomes

Park: Clubhouse and pool at B-1 combined with B-3 for joint use between Phases A, B-1, and B-3 homes

	Proposed Master Plan	Current Master Plan
No. of Lots\Homes	118 + 104 = 222	114 + 102 = 216
Lot Width*	20'	20'
Home Min. Livable Area	1,350 sq. ft.	1,350 sq. ft.
Acres	14.5 + 13.86 = 28.3	11.59 + 8.82 = 20.4

PHASE B-2:

Use: Apartments

Park: Two community recreation areas proposed (swimming pools and clubhouse); one for each apartment phase

	Proposed Master Plan	Current Master Plan
No. of Apartment Units	480	484
Acres	30.91	39.63
Gated Community	Yes	No

Bedrooms per Apt.	Proposed Master Plan			Current Master Plan		
	#	%	Min. Sq. Ft.	#	%	Min. Sq. Ft.
1 BR	180	38	750	194	40	750
2 BR	260	54	900	194	40	900
3 BR	40	8	1,050	96	20	1,050

PHASE B-4:

Use: Community Park for Phase A, B-1, B-2, B-3, and B-4

Facilities: As shown each Master Plan

	Proposed Master Plan	Current Master Plan
Acres	7.071	10.36

PHASE B-5:

Use: Flex Use – Boutique hotel, public or private school, Assisted Living Facility, Mixed-Use Vertical Commercial-Residential

	Proposed Master Plan	Current Master Plan
Acres	14.998	6.09

RESOLUTION #RES2018-XX

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF APOPKA, FLORIDA, ACCEPTING A QUIT CLAIM DEED FROM THE COCA-COLA COMPANY FOR REAL PROPERTY; DIRECTING THE CITY CLERK OR DESIGNEE TO RECORD THE EXECUTED DEED IN THE PUBLIC RECORDS OF ORANGE COUNTY, AND PAY ALL FEES NECESSARY TO EFFECTUATE SUCH RECORDATION; PROVIDING SEVERABILITY AND AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of Apopka has determined it is in the best interests of the City and its citizens to accept a Quitclaim Deed from The Coca-Cola Company for real property; and

WHEREAS, the City Council intends that the donated property will be used for the benefit of the public.

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF APOPKA AS FOLLOWS:

Section 1. Acceptance and Recordation of Deed. The City Council hereby accepts the Quitclaim Deed attached hereto as Exhibit “A” and directs the City Clerk or designee to record the fully executed Quitclaim Deed in the Public Records of Orange County and to pay all costs of recording the Deed.

Section 2. Authorization of Mayor. The City Council hereby authorizes the Mayor to execute the Letter of Acceptance attached hereto as Exhibit “B” and the Letter of Consent attached hereto as Exhibit “C.”

Section 3. Severability. If any section, sentence, clause or phrase of this resolution is held to be invalid or unconstitutional by any court of competent jurisdiction, that holding in no way shall affect the remaining portions of this resolution.

Section 4. Effective Date. This resolution shall take effect immediately upon its adoption.

PASSED AND RESOLVED this ___th day of _____, 2018, by the City Council of the City of Apopka, Florida.

APPROVED:

Bryan Nelson, Mayor

DRAFT –under staff review

ATTEST:

Linda F. Goff, City Clerk

This instrument prepared by:

Sanford H. Zatzoff, Esq.
Holt Ney Zatzoff & Wasserman, LLP
100 Galleria Parkway, Suite 1800
Atlanta, GA 30339

After recording, return to:
Attn: City Clerk
City of Apopka
120 E. Main Street
Apopka, FL 32703

QUIT-CLAIM DEED

THIS INDENTURE made this _____ day of _____, 2018, by THE COCA-COLA COMPANY, a Delaware corporation, having an address of One Coca-Cola Plaza, Atlanta, Georgia 30301 (the "**Grantor**"), to the CITY OF APOPKA, FLORIDA, a government agency organized and existing under the laws of the State of Florida, whose address is City Hall, 120 East Main Street, Apopka, Florida 32703 ("**Grantee**") (Whenever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and their heirs, legal representatives and assigns of individuals, and successors and assigns of entities).

WITNESSETH, that said Grantor for and in consideration of the sum of Ten and No/100 Dollars (\$10.00), and other good and valuable considerations, receipt whereof is hereby acknowledged, by these presents does remise, release and quit-claim unto the Grantee, the land, property described and depicted on Exhibit "A" attached hereto and made a part hereof (the "**Property**").

The property appraisers parcel identification number is [REDACTED].

This property is not homestead nor is it contiguous to the homestead of Grantor.

TO HAVE AND TO HOLD, the above described premises, with the appurtenances, unto the said Grantee, forever.

IN WITNESS WHEREOF, the Grantor has caused these presents to be executed the day and year above written.

Witnesses:

Name: _____

Name: _____

GRANTOR:
THE COCA-COLA COMPANY, a
Delaware corporation

By: _____
Print Name:
Title:

Attest: _____
Print Name:
Title:

(CORPORATE SEAL)

STATE OF GEORGIA

COUNTY OF FULTON

The foregoing instrument was acknowledged before me this ____ day of _____, 2018, by _____, _____ of The Coca-Cola Company, a Delaware corporation, on behalf of said corporation, who is personally known to me and did not take an oath.

_____, Notary Public

My Commission Expires:

(NOTARY SEAL)

EXHIBIT A

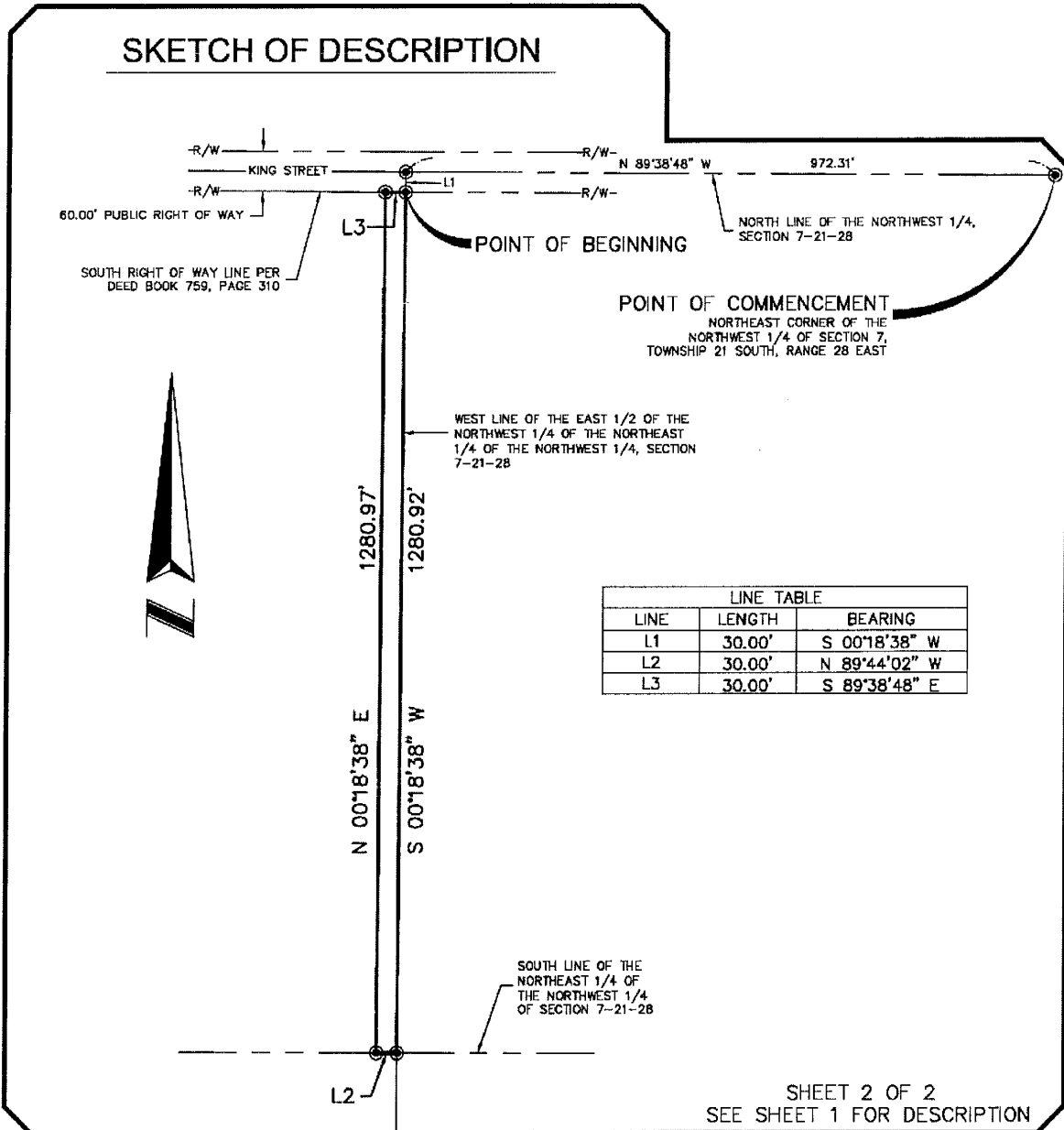
Legal Description

A portion of the Northeast 1/4 of the Northwest 1/4 of Section 7, Township 21 South, Range 28 East, Orange County, Florida, being more particularly described as follows:

Commence at the Northeast corner of the Northwest 1/4 of said Section 7; thence run North 89°38'48" West along the North line of said Northwest 1/4, for a distance of 972.31 feet to a point on the West line of the East 1/2 of the Northwest 1/4 of the Northeast 1/4 of the Northwest 1/4 of aforesaid Section 7; thence departing said North line, run South 00°18'38" West along said West line, for a distance of 30.00 feet to a point on the South right-of-way of King Street per Deed Book 759, Page 310 of the Public Records of Orange County, Florida and the Point of Beginning; thence departing said South right-of-way line and continuing along aforesaid West Line, run South 00°18'38" West, for a distance of 1280.92 feet to the South line of the Northeast 1/4 of the Northwest 1/4 of said Section 7; thence departing said West line, run North 89°44'02" West along aforesaid South line, for a distance of 30.00 feet; thence departing said South line, run North 00°18'38" East, for a distance of 1280.97 feet to a point on aforesaid South right-of-way line; thence run South 89°38'48" East along said South right-of-way line, for a distance of 30.00 feet to aforesaid Point of Beginning.

Contains 0.88 acres more or less.

SKETCH OF DESCRIPTION



ALLEN & COMPANY
Professional Surveyors & Mapmakers

16 EAST PLANT STREET
Winter Garden, Florida 34787 * (407) 654-5335

LEGEND

R/W = Right of Way
⊙ = change in direction

JOB NO. 20130203

DATE: 01/10/17

SCALE: 1" = 200 FEET

DRAWN BY: JLR

Drawing name: I:\Data\20130203_rev1-31-14\sketches\sketch 1 - 30 foot strip - additional access.dwg Model

DRAFT

(To be typed on City of Apopka Letterhead)

_____, 2018

The Coca-Cola Company
Attn: Lynne R. O'Brien, Esq.
Director, Corporate Real Estate
One Coca-Cola Plaza
Mail Code NAT3/D2302
Atlanta, GA 30313

Re: Land Donation

Dear Ms. O'Brien:

This letter is an acknowledgment of the donation of certain property to the City of Apopka by The Coca-Cola Company made on _____, 2018 and as evidenced by the copy of the Quitclaim Deed attached hereto. The donated property consists of the real property, consisting of approximately 0.88 acres fronting on King Street, Apopka, Florida and identified as a portion of Tax Parcel ID No. [REDACTED].

The contribution of this property was made without consideration for any property or services from the City of Apopka.

Very truly yours,

Bryan Nelson, Mayor

(To be typed on The Coca-Cola Company letterhead)

_____, 2018

Via E-Mail and Mail

The City of Apopka
City Hall
120 E. Main Street
Apopka, FL 32703
Attn: Bryan Nelson Mayor

Re: Donation of 0.88 acres fronting on King Street, Apopka (this "Letter of Intent")

Dear Mr. Nelson:

This partially non-bonding letter of understanding and intent sets forth the procedure for entering into, and certain terms and conditions of a proposed donation by The Coca-Cola Company, a Delaware corporation ("TCCC") to the City of Apopka (the "City") of that certain real property consisting of approximately 0.88 acres fronting on King Street, Apopka, Florida, (part of Orange County Tax Parcel ID No. [REDACTED]) described in more particularity on Exhibit A (subject to any and all exception of record, the "Property").

1. Donation of Property

- (a) Procedure for Donation. Upon TCCC's receipt from the City of a duly Countersigned original of this Letter of Intent and a formal acknowledgment of the City's agreement to accept the charitable donation of the Property, TCCC shall convey the Property to the City by recording a Quitclaim Deed in the form attached hereto as Exhibit B (the "Gift Deed") in the Official Records of Orange County, Florida. The City shall be responsible for payment of transfer taxes (if any) and the cost of the Title Policy (if any).
- (b) As Is; Release. The City hereby represents that it has inspected the Property. The City agrees that it is accepting the Property in its "AS IS" condition subject to use, ordinary wear and tear, and natural deterioration. The City further acknowledges that neither TCCC nor and agent or representative of TCCC has made, and TCCC is not liable for or

bound in any manner by, any express or implied warranties, guaranties, promises, statements, inducements, representations or information pertaining to the Property.

THE CITY, ITS SUCCESSORS AND ASSIGNS, HEREBY WAIVE, RELEASE AND AGREE NOT TO MAKE ANY CLAIM OR BRING ANY COST RECOVERY ACTION OR CLAIM FOR CONTRIBUTION OR OTHER ACTION OR CLAIM AGAINST RELEASED PARTIES BASED ON, (X) ANY FEDERAL, STATE, OR LOCAL ENVIRONMENTAL OR HEALTH AND SAFETY LAW OR REGULATION, INCLUDING CERCLA OR ANY STATE EQUIVALENT, OR ANY SIMILAR LAW NOT EXISTING OR HEREAFTER ENACTED: (y) ANY DISCHARGE, DISPOSAL, RELEASE, OR ESCAPE OF ANY CHEMICAL, OR ANY MATERIAL WHATSOEVER, ON, AT, TO, OR FROM THE PROPERTY; OR (z) ANY ENVIRONMENTAL CONDITIONS WHATSOEVER ON, IN, UNDER, OR IN THE VICINITY OF THE PROPERTY. THE CITY, ON BEHALF OF ITSELF AND ITS SUCCESSORS AND ASSIGNS, HEREBY RELEASES, THE RELEASED PARTIES, FROM ANY AND ALL CLAIMS OF ANY KIND WHATSOEVER, KNOWN OR UNKNOWN, WITH RESPECT TO ANY ASPECT OF THE PROPERTY, INCLUDING THE FOREGOING MATTERS, AND ANY COMPARABLE LAW APPLICABLE IN THE STATE OR FLORIDA, REGARDING THE MATTERS COVERED BY A GENERAL RELEASE WHICH PROVIDES AS FOLLOWS:

“A GENERAL RELEASE DOES NOT EXTEND TO CLAIMS WHICH THE CREDITOR DOES NOT KNOW OR SUSPECT TO EXIST IN HIS OR HER FAVOR AT THE TIME OF EXECUTING THE RELEASE, WHICH IF KNOWN BY HIM OR HER MUST HAVE MATERIALLY AFFECTED HIS OR HER SETTLEMENT WITH THE DEBTOR.”

The City and TCCC acknowledge and agree that TCCC would not enter into this Letter of Intent without the City’s agreement to this Section 1(b), and that this Section 1(b) shall become effective immediately upon the recordation of the Gift Deed and shall survive such delivery and recordation of the Gift Deed.

2. Miscellaneous

Each of the parties represents to the other that it has full power and authority to enter into this Letter of Intent and to perform the transactions contemplated hereby; the respective representations set forth in this clause shall survive the closing, and the City waives its immunity in connection with any breach of its representation set forth in this clause.

This Letter of Intent and the exhibits hereto state all of the terms and conditions of the understanding between the parties.

We have provided you with two (2) original copies of this Letter of Intent. Please sign both original copies of the Letter of Intent on the signature page in the space provided, and return to us one fully executed original of the Letter of Intent.

This Letter of Intent is intended to be fully binding and enforceable with respect to: (i) that portion of Section 1(a) allocating closing costs; (ii) Section 1(b), with respect to the City's "As Is" acceptance of and release with respect to the Property, if conveyed; and (iii) all provisions of this Letter of Intent that expressly provide that representations or covenants shall survive the closing or the recordation of the Gift Deed.

Except with respect to those certain binding provisions expressly noted above, the remainder of this letter is not intended to be binding and will not give rise to any right or obligation that may be asserted against either party hereto, it being intended that the parties may or may not undertake the future actions contemplated by this Letter of Intent, it being specifically agreed that TCCC shall have no obligation to make a gift to the City of the Property unless TCCC voluntarily and freely elects to do so without consideration. If any such actions are freely and voluntarily undertaken by the parties hereto without any obligation on such party's part to do so, then, in such event, the provisions of this Letter of Intent that are expressly binding and which are contingent upon certain actions being taken, shall in such case become fully effective, binding, and enforceable.

REMAINDER OF PAGE LEFT INTENTIONALLY BLANK

Sincerely,

THE COCA-COLA COMPANY,
a Delaware corporation

By: _____

Name: _____

Title: _____

AGREED AND ACCEPTED AS OF _____, 2018

THE CITY OF APOPKA

BY: _____

Name: Bryan Nelson

Its: Mayor

Attachments

EXHIBIT A

Legal Description

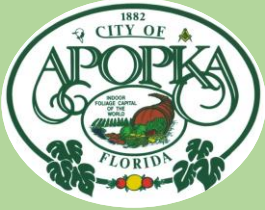
A portion of the Northeast 1/4 of the Northwest 1/4 of Section 7, Township 21 South, Range 28 East, Orange County, Florida, being more particularly described as follows:

Commence at the Northeast corner of the Northwest 1/4 of said Section 7; thence run North 89°38'48" West along the North line of said Northwest 1/4, for a distance of 972.31 feet to a point on the West line of the East 1/2 of the Northwest 1/4 of the Northeast 1/4 of the Northwest 1/4 of aforesaid Section 7; thence departing said North line, run South 00°18'38" West along said West line, for a distance of 30.00 feet to a point on the South right-of-way of King Street per Deed Book 759, Page 310 of the Public Records of Orange County, Florida and the Point of Beginning; thence departing said South right-of-way line and continuing along aforesaid West Line, run South 00°18'38" West, for a distance of 1280.92 feet to the South line of the Northeast 1/4 of the Northwest 1/4 of said Section 7; thence departing said West line, run North 89°44'02" West along aforesaid South line, for a distance of 30.00 feet; thence departing said South line, run North 00°18'38" East, for a distance of 1280.97 feet to a point on aforesaid South right-of-way line; thence run South 89°38'48" East along said South right-of-way line, for a distance of 30.00 feet to aforesaid Point of Beginning.

Contains 0.88 acres more or less.

EXHIBIT B

FORM OF QUITCLAIM DEED TO BE ATTACHED



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER:

MEETING OF: September 5, 2018
 FROM: Community Development
 EXHIBITS: MEdTech Overlay District
 Form-Based Code
 Ordinance No. 2672

SUBJECT: ORDINANCE NO. 2672 – AMENDING THE KELLY PARK INTERCHANGE FORM-BASED CODE, EMPLOYMENT DISTRICT, CREATING THE “MEdTech CAMPUS OVERLAY DISTRICT” (ARTICLE III, LAND DEVELOPMENT CODE).

REQUEST: FIRST READING OF ORDINANCE NO. 2672 – AMENDING THE APOPKA CODE OF ORDINANCES, PART III, LAND DEVELOPMENT CODE, ARTICLE III – “OVERLAY ZONES” AMENDING SECTION 3.06.00 TO CREATE A NEW *MEdTech* CAMPUS OVERLAY DISTRICT WITHIN THE KELLY PARK INTERCHANGE FORM-BASED CODE; AND HOLD OVER FOR SECOND READING & ADOPTION.

SUMMARY:

The Kelly Park Interchange Form-Based Code was approved by the Apopka City Council on June 21, 2017. The Form-Based Code was developed to guide and regulate development within the Wekiva Parkway Interchange Plan area to achieve a specific urban form or character and physical urban form – such as building design and scale while placing less focus on land use or zoning.

The Form-Based Code is in accordance with Objective 19 of the Future Land Use Element (Comp Plan) directs the City to implement a form-based code to further the Wekiva Parkway Interchange Plan; and, Objective 20 of the Comprehensive Plan, Future Land Use Element. A primary purpose of the proposed development standards is to create a sustainable community in the Interchange area – a place where people can live, work, play and shop.

The proposed 2.A. MEdTech Campus Overlay District is being created within the existing Employment District as a means to establish specific development criteria for a campus-type area for Medical, Educational and Technology. This overlay district standards include, but are not limited to: permitted uses, district size (40 to 100 acres), building materials, building step-backs, buffers, size, orientation, pedestrian, bicycle and auto connectivity, and other guidelines for the campus development.

This MEdTech Overlay District is only applicable within the Employment District to the Kelly Park Interchange Form-Based Code. This area is west of S.R. 429, generally east of Effie Drive, and is both north and south of Kelly Park Rd, all within the Kelly Park Interchange Form-Based Code area. (Please see next page for the map).

DISTRIBUTION

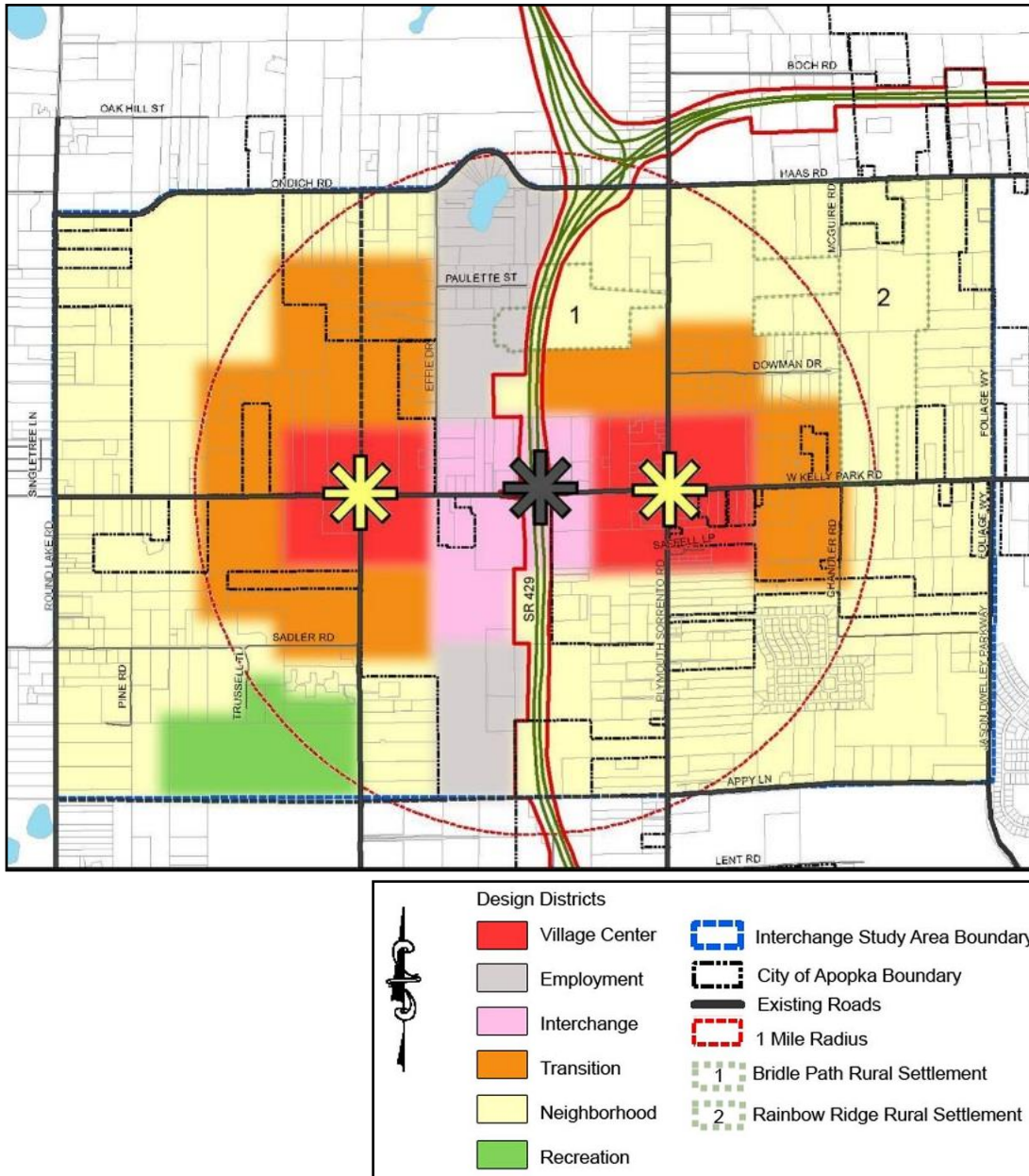
Mayor Nelson
 Commissioners
 City Administrator
 Community Development Director

Finance Director
 HR Director
 IT Director
 Police Chief

Public Services Director
 Recreation Director
 City Clerk
 Fire Chief

CITY COUNCIL – SEPTEMBER 5, 2018
MedTech CAMPUS OVERLAY DISTRICT
PAGE 2

Form-Based Code development area map:



PUBLIC HEARING SCHEDULE:

- August 14, 2018 – Planning Commission (5:30 pm)
- September 5, 2018 – City Council (1:30 pm)
- September 19, 2018 – City Council (7:00 pm)

DULY ADVERTISED:

- August 3, 2018 – Public Hearing Notice & Ordinance Heading Ad
- September 7, 2018 – Ordinance Heading Ad

FUNDING SOURCE:

N/A

RECOMMENDATION ACTION:

The **Development Review Committee (DRC)** finds that the MEdTech Campus Overlay District is consistent with the Comprehensive Plan and the Kelly Park Interchange Form-Based Code, and recommends approval of the MEdTech Campus Overlay District.

The **Planning Commission**, at its meeting on August 14, 2018, found the proposed MEdTech Campus Overlay District within Employment Character District of the Kelly Park Form-Based Code for the Wekiva Parkway Interchange Plan Area to be consistent with the Comprehensive Plan, and unanimously recommended approval to the Apopka City Council to adopt this overlay district.

City Council: Accept first Reading of Ordinance No. 2672 and Hold it Over for Second Reading & Adoption on September 19, 2018.

Note: This item is considered legislative and establishes general policy. The staff report and its findings are to be incorporated into and made part of the minutes of this meeting.

ORDINANCE NO. 2672

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, AMENDING THE KELLY PARK INTERCHANGE FORM BASED CODE BY CREATING A NEW OVERLAY DISTRICT ENTITLED “MEDTECH CAMPUS OVERLAY DISTRICT”, PROVIDING FOR DIRECTIONS TO THE CITY CLERK; SEVERABILITY; CONFLICTS; AND AN EFFECTIVE DATE.

WHEREAS, Section 369.321(1), Florida Statutes, mandates that a local government hosting an interchange on the Wekiva Parkway shall adopt an interchange land use plan into their comprehensive plans, and such land use plan and associated polices were incorporated in the Comprehensive Plan on August 2011;

WHEREAS, in furtherance of Florida Statutes Section 369.321(1), the City Council of the City of Apopka adopted the “Kelly Park Interchange Form-Based Code” on June 21, 2017; and

WHEREAS, the Kelly Park Interchange Form-Based Code vision plan encompasses all properties within a one mile radius of the interchange of State Road 429 and Kelly Park Road; and

WHEREAS, the Kelly Park Interchange Form-Based Code is organized around five character zones: Village Center, Employment, Interchange, Transition and Neighborhood; and

WHEREAS, it has been determined that certain development types related to Medical, Education, and Technology uses could locate within the Kelly Park Form Based Code area and develop in a campus-like environment, which the existing five character zones do not permit; and

WHEREAS, as a means to enhance a campus-like environment within the Kelly Park Interchange Form Based Code area, an amendment to the Kelly Park Interchange Form Based Code is proposed to incorporate a new overlay district herein referred to as the “MEDTech Campus Overlay District” which can only be applied in the designated “Employment” character zone; and

WHEREAS, the City Council of the City of Apopka, Florida, hereby finds and determines that adoption of the regulations set forth below will further the public health, safety, and welfare of the citizens of the City of Apopka, Florida.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF APOPKA, FLORIDA:

SECTION 1. That the Code of Ordinances, Part III, Land Development Code, Article III, Section 3.06.00 of the City of Apopka, Florida, is hereby amended to add entitled “MEDTech Campus Overlay District” as it appears in Exhibit “A”.

SECTION 2. It is the intention of the City Council that the provisions of this ordinance shall become and be made a part of the Code of Ordinances of the City of Apopka; and the City Clerk is directed to take the necessary steps to effect codification into the Code, and Sections of this ordinance may be numbered or renumbered or lettered or re-lettered and the word “ordinance” may be changed to " chapter ", "section ", "article", or such other appropriate word or phrase in order to accomplish such codification. Typographical errors which do not affect the intent may be authorized by the Mayor, without need of public hearing, by filing a corrected or re-codified copy of same with the City Clerk.

SECTION 3. That nothing in this ordinance shall be construed to affect any suit or proceeding impending in any court, or any rights acquired, or liability incurred, or any cause or causes of action acquired or existing, under any act or ordinance; nor shall any just or legal right or remedy of any character be lost, impaired or affected by this ordinance.

SECTION 4. CONFLICTS. All ordinances or parts of ordinances in conflict herewith are hereby repealed.

SECTION 5. SEVERABILITY. If any section, subsection, sentence, clause, phrase of this ordinance, or the particular application thereof shall be held invalid by any court, administrative agency, or other body with appropriate jurisdiction, the remaining section, subsection, sentences, clauses, or phrases under application shall not be affected thereby.

SECTION 6. EFFECTIVE DATE. That this ordinance and the rules, regulations, provisions, requirements, orders and matters established and adopted hereby shall take effect and be in full force and effect immediately upon its passage and adoption.

READ FIRST TIME: September 5, 2018

READ SECOND TIME
AND ADOPTED: September 19, 2018

Bryan Nelson, Mayor

ATTEST:

Linda G. Goff, City Clerk

APPROVED as to form and legality for use and reliance by the City of Apopka, Florida.

Clifford B. Shepard, City Attorney

DULY ADVERTISED FOR PUBLIC HEARING: August 3, 2018

Exhibit A

MEdTech Campus Overlay District
Employment District
Kelly Park Interchange Form-Based Code

2.A MEdTech Campus Overlay District

As a means to enhance a campus-like environment in coordination with staff, the primary intent of the MEdTech – Medical, Education & Technology Campus Overlay District is for the development of major educational, governmental and medical facilities and other complementary and supporting uses such as office developments. The MEdTech Campus Overlay District encourages a campus-type character, which includes landscaped open space between buildings, a green buffer at the perimeter and uniform site design and details. Refer to Appendix B for specific development standards for the size, orientation, massing and frontage design, which will help deliver buildings whose scale and character are compatible with their urban context.

Appendix B: MEdTech Campus Overlay District Development Standards

A. Permitted Uses

Uses allowed within the MEdTech Campus Overlay District include the following:

- Hospitals
- Freestanding Emergency Departments
- Urgent Care Facilities
- Skilled Nursing Facilities
- Senior Housing/Assisted Living Facilities
- Educational facilities/training
- Medical and Professional Office
- Imaging/Diagnostic Centers
- Surgery Centers
- Birthing Centers.
- Central Energy Plants (Hospitals)
- Parking structures
- Helipads are permitted and shall be in compliance with FAA safety requirements.
- Other complementary Health & Wellness uses
- Public use (library, post office, Police, Fire and other municipal offices, and similar uses)

The following uses are permitted as accessory uses when contained within a primary structure:

- Commercial Retail
- Pharmacies
- Restaurants

Whenever there is uncertainty as to whether a use is permitted or not, or when a use is not listed, the Community Development Director shall determine the permissible use, or the Director may request the use to be reviewed by the City Council for a final determination.

B. District Size and Standards

1. The MEdTech Campus Overlay District shall only be applied to property only in the designated “Employment Overlay District.”
2. The minimum size for a MEdTech Campus Overlay District project shall be forty (40) contiguous acres; the maximum size shall be no more than one hundred (100) acres.
3. Blocks do not have to be orthogonal.
4. Internal private streets and drives shall be interconnected for vehicle, bicycle and pedestrian circulation.
5. A proposed MEdTech Campus project shall contain multiple buildings, which may be developed in phases.

F. Building Design Standards

1. Architecture

There is not a requirement for a specific architectural style to be used. All architecture shall be uniform and complementary across the campus. Facade standards are below and shall adhere to Development Design Standards where applicable and the Development Review Committee approval.

2. Green Building

Green building principles related to energy efficiency, resource protection and environmental protection (e.g. reusable building materials, light colored roof materials, living roofs to treat stormwater, energy efficient windows, solar energy, etc.) set forth by agencies such as, but not limited to, the United States Green Building Council, the Florida Green Building Coalition and similar agencies are encouraged, not required.

3. Building Massing

Buildings shall respect and reflect pedestrian scale throughout the campus. Because of the unique nature of a campus-type development, the building massing standards for the MEdTech Campus Overlay District shall be reviewed on a case by case basis with the Community Development Director. Rendered building elevations shall be included with the Master Plan.

4. Facade Articulation

The standards contained in this section apply to all buildings and structures, including parking garages. The elements that make up a building facade are key components for defining the public realm. The facade design standards contained in this section are not intended to regulate style or appeal. The purpose of these standards is to ensure facades are designed to:

- Reduce the uniform monolithic appearance of large unadorned walls by requiring architectural detail;
- Increase public safety by designing buildings that provide human surveillance of the street;
- Building facades along public or private streets and drives shall maintain a pedestrian scale and integrate the public and private spaces throughout the campus.

5. Building Entrances

- a. The main entrance of all buildings shall be oriented toward the internal streets and drives.
- b. Where parking areas are located behind the building, a secondary entrance may be provided from the parking area into the building. Awnings, landscaping, and appropriate signage may be used to mark the secondary entrance.
- c. Pedestrian connections from the public sidewalks and parking areas to the building entrance shall be provided.

6. Windows and Doors

Development within the MEdTech Campus Overlay District shall meet the following standards:

- a. Buildings are subject to glazing requirements and shall be reflective.

- b. Non-Residential Upper Floors: The combined area of glass on all floors above the first divided by the total area of the building façade for those floors shall be no less than fifteen (15) percent.
- c. Windows and doors should be glazed in clear glass with no more than ten (10) percent daylight reduction (transmittance) for retail establishments, and fifty (50) percent for office uses. Glass block is not considered transparent and shall not count toward the minimum glazing requirement.
- d. Reflectance shall not exceed fifteen (15) percent.
- e. Stained or art glass shall only be permitted if consistent with the style of the building (churches, office, hospital, etc.).

7. Building Materials

Building materials that are visible from the street should not be selected on the basis of cost alone, but rather on compatibility with the building style and neighborhood character.

- a. Required Materials:
 - i. Concrete Masonry Units with Stucco
 - ii. Reinforced Concrete with Stucco
 - iii. Pre-Cast Concrete Panels
 - iv. Tilt up Concrete
 - v. Brick
 - vi. Stone
 - vii. Glass
 - viii. Steel

8. Roof Design

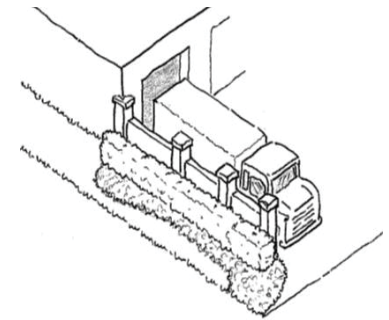
- a. Roofs shall be in scale with the building mass.
- b. Building elevations shall have a defined top edge consisting of, but not limited to, cornice treatments, roof overhangs and brackets.
- c. Buildings with flat roofs shall have a cornice treatment or a parapet. The cornice shall be at least eighteen (18) inches in height. Parapet shall be a minimum of two (2) feet in height.
- d. Roof materials shall be light-colored or a planted surface (green roof).
- e. Prohibited roof types and materials:
 - i. Mansard roofs and canopies
 - ii. Roofs with a 2/12 pitch or less without full parapet coverage
 - iii. Back-lit awnings used as a mansard or canopy roof

9. Service Areas

The following standards apply to non-residential developments:

- a. To the extent possible, areas for outdoor storage, trash collection, and loading shall be incorporated into the primary building design (see Figure 36) and shall not be located within 50 feet of single family residential lots.
- b. Loading areas, outdoor storage, waste disposal, mechanical equipment, satellite dishes, truck parking, and other service support equipment shall be located behind the building line and shall be fully screened from the view of the street.
- c. Mechanical equipment should be integrated into the overall mass of a building by screening it behind parapets or by recessing equipment into hips, gables, parapets, or similar features.

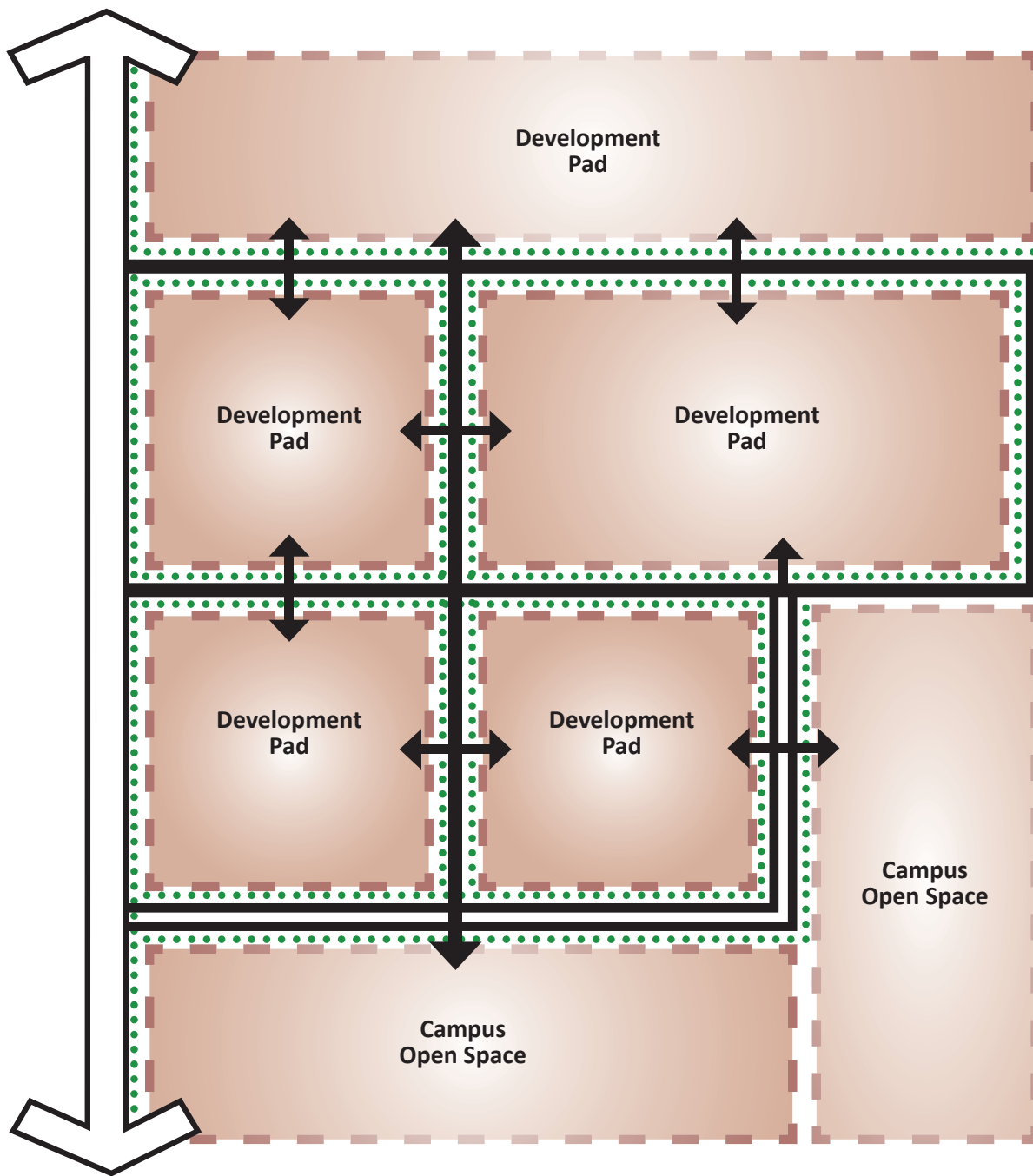
Figure 36. Loading Area Screening



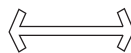




G. Access, Circulation and Parking Requirements

1. On-Site Circulation

- a. New developments must seek to create a balanced transportation system that accommodates pedestrians, bicyclists, and transit riders, as well as motor vehicles, and provides a system of connections to maximize choices for all modes of travel. The Typical Campus Circulation Diagram provides an illustrative example of pedestrian, transit and parking linkages.
- b. The use of joint access driveways is required between commercial sites to reduce the number of access points and driveways that cross sidewalks.
- c. Safe pedestrian connections shall be provided throughout the interior of development sites.
- d. Direct pedestrian access shall be provided from the principal entrance of the building to the sidewalk on the closest public right-of-way.
- e. Additional/secondary pedestrian access to businesses may be provided from parking facilities directly to ground floor uses, either through rear building entrances, sidewalks along the perimeter of buildings, or by pedestrian alleyways which connect the rear parking lots to the sidewalks along the front street.
- f. Pedestrian walkways within the development shall be differentiated from driving surfaces through a change in materials (including thermoplastic paint) and/or grade elevation.
- g. Crosswalks are required wherever a pedestrian sidewalk or alleyway intersects a vehicular area. All crosswalks shall be a minimum of five (5) feet wide and shall be demarcated for pedestrians.
- h. All new development shall provide connections to existing bike and pedestrian pathways and to bus stops and transit facilities.
- i. Installed bicycle racks shall be designed to accommodate the minimum number of bicycles as set forth in the City of Apopka Land Development Code.
- j. Bicycle racks shall be permanently fixed to the ground through mechanical fasteners or the use of concrete footings.



TYPICAL CAMPUS CIRCULATION DIAGRAM

-  Collector Road
-  Primary Road
-  Secondary Road
-  Internal Vehicular Connection
-  Pedestrian Connection

- k. The design of bicycle racks placed within the development site shall coordinate with the overall design scheme of the subject site in terms of color and material. Bike racks placed within the right-of-way shall comply with the requirements of Section K, Street Standards.
- l. Location of bus stops shall be identified on the Development Plans.

2. Location of Parking Facilities

- a. Surface parking lots shall be located adjacent to buildings so that the parking areas are screened from public sidewalks and streets, including, to the extent feasible, the Wekiva Parkway, by street walls or landscaped buffer.
- b. Any surface parking areas located along a public or private street shall be screened from the street view by a wall or landscaped buffer.
- c. Parking garages shall be designed to blend with adjacent architecture so as to not appear like a parking garage. Awnings and faux windows are sample add-ons.
- d. Electric charge stations shall be encouraged in all parking lots and/or garages.

3. Parking for Single Uses

Off -street parking requirements for the MEdTech Campus Overlay District shall comply with the minimum requirements listed in Section 6.03.00 of the City of Apopka Land Development Code.

H. Landscape, Buffering and Screening

Landscape and irrigation shall be consistent with Section 5.01.00 of the City of Apopka Land Development Code, except for the following:

1. Parking Lot Landscaping and Lighting

- a. Large parking lots shall be visually and functionally segmented into smaller lots with landscape island and canopy trees. The design of parking areas should avoid the appearance of large masses of parked cars. Landscape strips at least ten (10) feet wide shall be intermittently provided between parking bays of either head-in or diagonal parking. Trees shall be planted a maximum of fifty (50) feet on center along the length of the landscape strip.
- b. Parking lot layout, landscaping, buffering, and screening should minimize direct views of parked vehicles from streets and sidewalks; prevent spill-over light, glare, noise, and exhaust fumes from infringing on adjacent properties; and provide the required tree canopy shade. The landscape buffers will provide intermittent view corridors of campus buildings from streets and sidewalks.
- c. Any landscaping adjacent to the front of a parking space shall include a two (2) foot wide strip of gravel, mulch, or grass, so that the front of the parked vehicle can overhang without interfering with taller plantings.
- d. Parking spaces adjacent to a sidewalk must have wheel stops placed two (2) feet from the sidewalks so that the car overhang does not reduce the width of the sidewalk.
- e. Parking lot light fixtures shall be designed so that light is directed onto the parking area and away from neighboring residential lots.
- f. The design, color, shape, style, and materials of the fixtures shall match or complement the style and materials of the buildings served.
- g. Lighting fixtures in parking lots adjacent to residential zones shall not exceed twenty (20) feet in height as measured from the adjacent grade to the top of the light fixture.

2. Buffers and Screening

Buffers shall be provided as required by Section 5.01.00 of the Land Development Code, except that no buffer shall be required between the building and the street, or between similar uses unless specifically required as part of a Public Hearing review.

Urban street walls are the only type of fence/wall allowed facing streets and alleys. A street wall shall be required along fifty (50) percent of the perimeter of a surface parking lot that abuts a street or alley. Whenever a street wall is provided, it shall meet the following standards:

- a. The wall shall be a minimum of three (3) feet and a maximum of five (5) feet in height.
- b. Street walls may be constructed of wrought iron, brick, masonry, stone, concrete, powder-coated aluminum, a combination of materials, i.e. split rail fence with stone columns or other decorative materials that complement the finish on the primary building. Chain link and PVC street walls shall be prohibited.
- c. When a parking lot abuts a public right-of-way, ground cover, hedges, or shrubs shall be installed in the street setback zone. The street setback zone landscaping shall be a minimum of three (3) feet wide. The area in front of a street wall may be landscaped or used to expand the public sidewalk.
- d. Breaks should be permitted in the street wall to provide pedestrian access to the site and for the purpose of tree protection.

I. Stormwater

Developers are encouraged to connect to a master stormwater system, rather than providing an on-site facility. If a master stormwater system is anticipated, site specific ponds shall be removed and connection to the master system shall be required. Until such time as a master system is available, development is subject to the following requirements:

- 1. All retention areas shall be incorporated into the overall design of the project.
- 2. Dry stormwater areas shall be designed as amenities, and count towards open space.
- 3. Wet bottom ponds may only be allowed subject to Special Exception approval.
- 4. Landscaping is required to soften the visual appearance of dry retention pond edges. Native trees and shrubs shall be used. No exotic invasive plants are permitted.
- 5. Where slopes require fencing, only ornamental metal will be allowed.
- 6. To reduce the size of stormwater ponds that are not designed as amenities, the use of porous concrete, underground storage, and exfiltration is greatly encouraged, but not required.

J. Signs

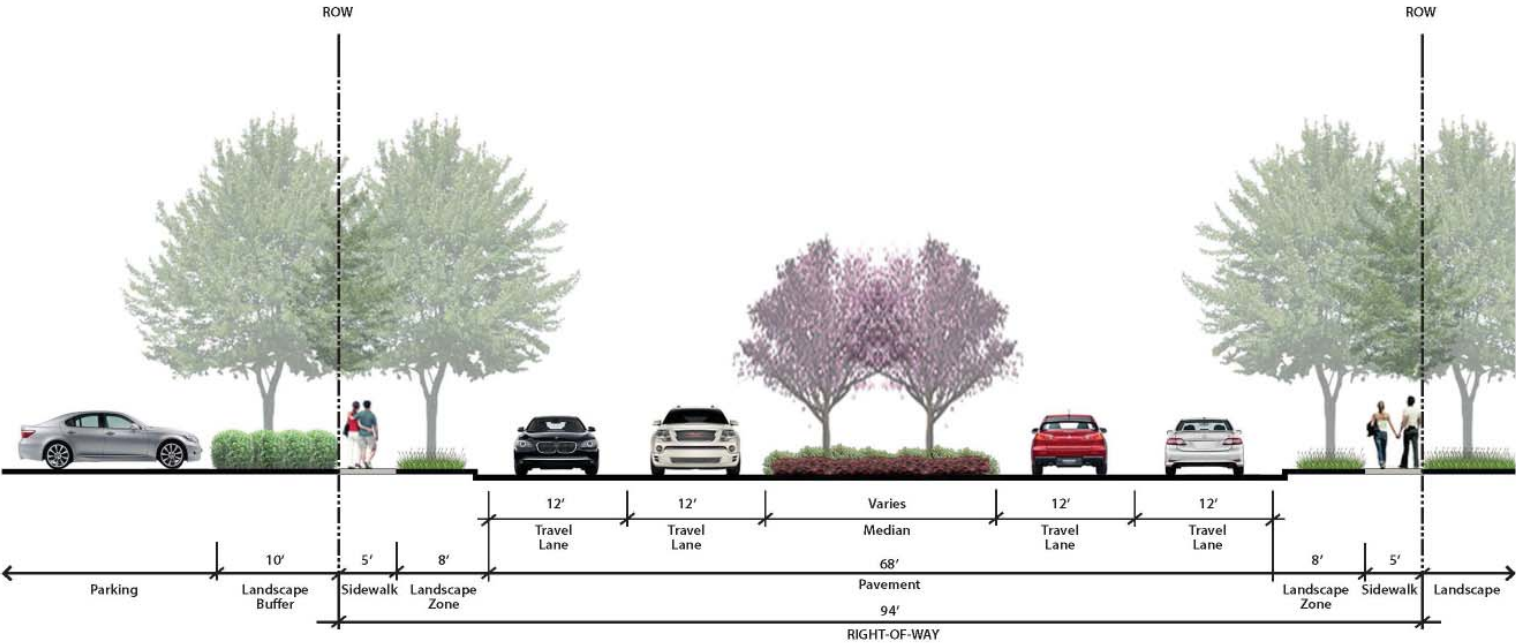
Development within the MEdTech Campus Overlay District shall include a Master Sign Plan with the Master Plan submittal.

K. Street Standards

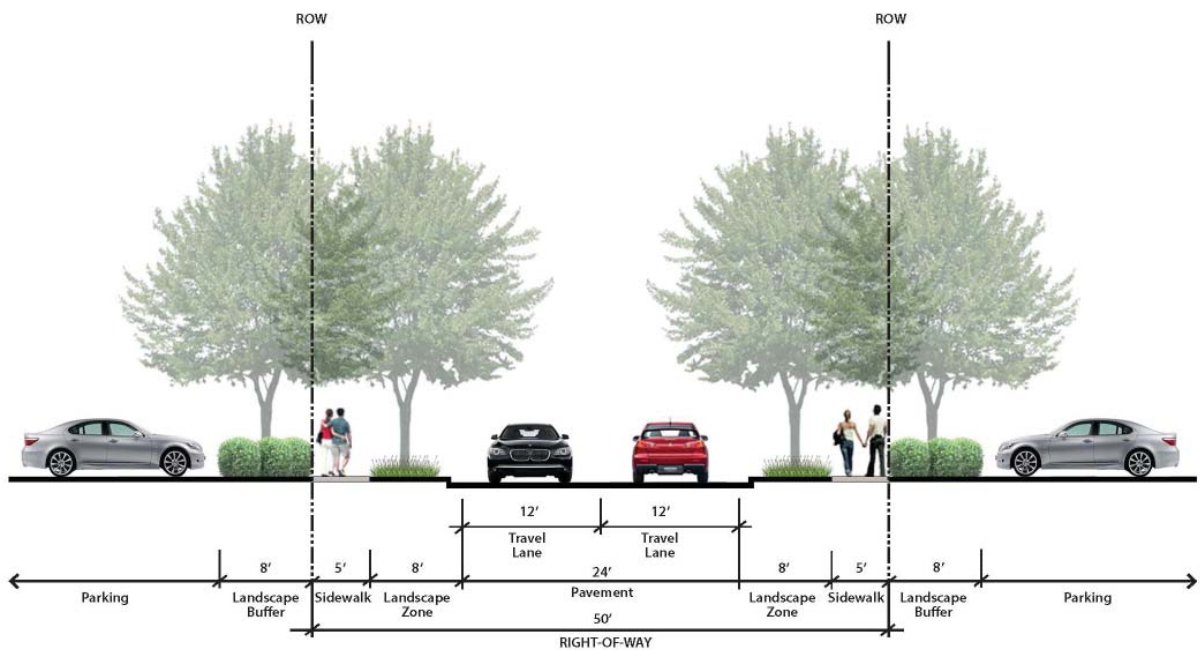
1. Complete Streets

Private internal streets, drives and pedestrian facilities should incorporate the Complete Streets design concept wherever possible. Complete Streets serves the transportation needs of transportation users for all ages and abilities, including but not limited to pedestrians, bicyclists, transit riders, motorists, and freight handlers.

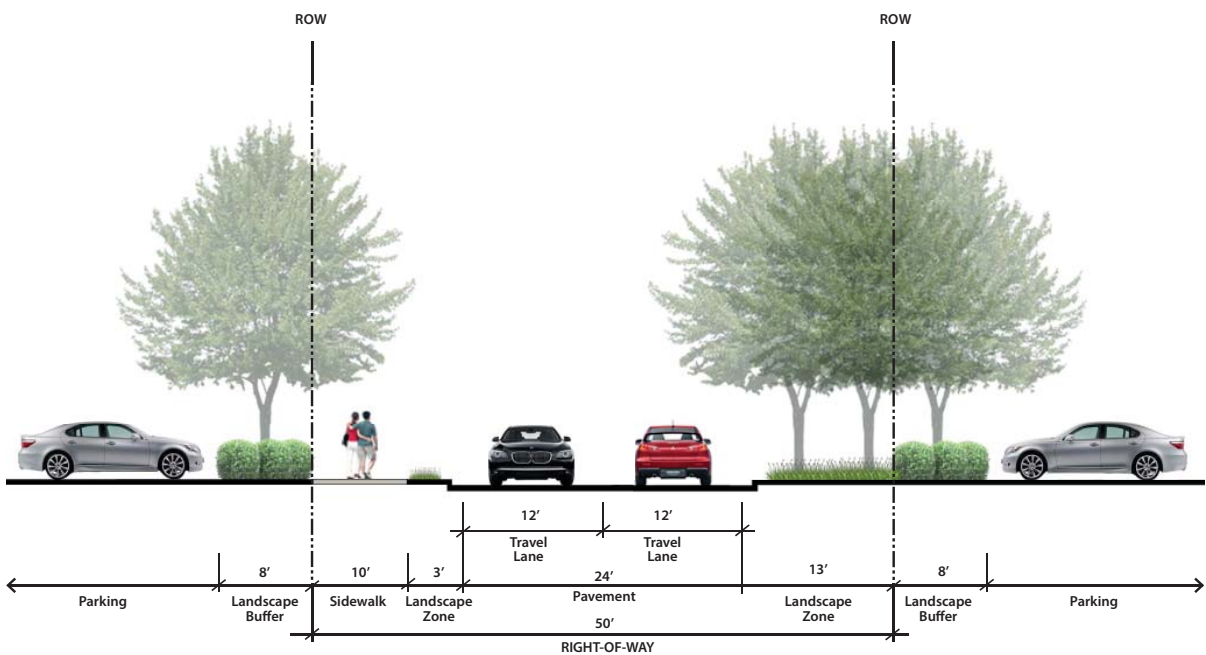
a. Typical cross sections for streets permitted within the MEdTech Campus Overlay District are found below.



TYPICAL INTERNAL PRIMARY ROAD SECTION



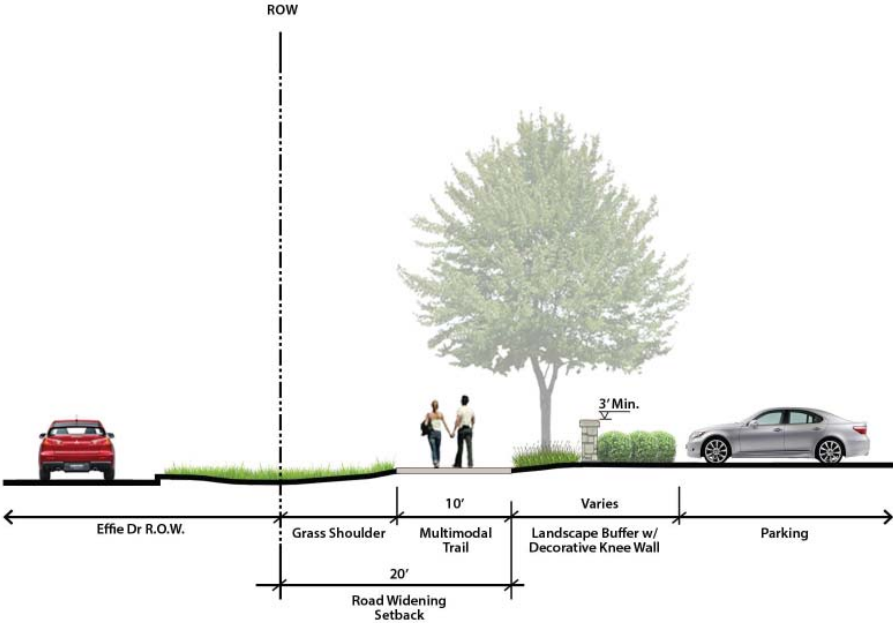
TYPICAL INTERNAL SECONDARY ROAD SECTION



TYPICAL INTERNAL SECONDARY ROAD SECTION
Option #2

2. Effie Drive Streetscape

- a. Effie Drive shall be improved using the street standards for Type D, Option 1, see Typical Effie Drive cross-section.



TYPICAL EFFIE DRIVE SECTION

3. Street Trees

- a. A four-(4) inch canopy tree (minimum caliper at planting) shall be planted every forty (40) feet on center in the landscape zone and central median.
- b. There shall be a minimum of twenty-five (25) square feet of mulch around each tree, unless a tree well is used.
- c. The recommended street trees include D. D. Blanchard Magnolia, Live Oak Cultivar and palm trees. Alternative species may be approved through the site plan review process.
- d. Palm trees shall be limited to forty (40) percent of the total tree requirement.
- e. The use of structural soils (aggregate based soil mix) or modular suspended pavement systems such as Silva Cell (www.deeproot.com) should be considered for street trees. Both methods have been proven to be effective in areas with limited planting space. Additionally, these planting techniques provide a sub-base that can support the above ground infrastructure, promote healthy root growth, and reduce root damage to streets, sidewalks and utilities.
- f. The use of root barriers (e.g. BioBarrier® or DeepRoot Tree Barrier systems) should be considered to prevent damage to utility pipes from tree roots. When installed correctly, a root barrier forces roots to grow downward against the wall surface of the barrier and away from streets, sidewalks and utilities. Each method will increase the cost of tree installation, but will minimize the need for future street, sidewalk and utility repairs as well as corresponding damage to trees during maintenance activities.

4. Sidewalks and Crosswalks

- a. Construction specifications for sidewalks can be requested from City of Apopka Engineering Division. Sidewalk and crosswalks within internal private streets and drives shall also meet the following standards:
 - i. Crosswalks are required at all intersections of primary and secondary roads.
 - ii. All internal private streets and drives shall have, at minimum, painted crosswalks consistent with FDOT standards.

5. Street Furniture

- a. Street furniture includes benches, waste receptacles, and bike racks. Developers will be required to provide the required street furniture along all primary internal private streets and drives within their project. It shall be the property owners' responsibility to ensure proper maintenance of the street furniture within their project. Similar themed furniture is recommended as to be approved with the site plan.
- b. Developers are encouraged to place the required bike racks within the primary internal private streets and drives between the curb and required sidewalk. The bike rack shall be set perpendicular to the street so that parked bicycles do not impede pedestrian circulation. Required bike parking may also be installed within public open spaces.

6. Street Lighting

- a. Lighting shall address both pedestrian as well as vehicular areas and shall be appropriately designed for the width of the roadway, as follows:
 - i. Street lights shall be installed in all character zones. Pedestrian lighting may be provided in the Institutional Campus Overlay District.
 - ii. All lights shall be LED, and shall have Dark Sky optics and cut-off luminaries to reduce light pollution.
 - iii. Double head streetlights may be placed in the landscaped median.
 - iv. Developers may work with Duke Energy to obtain a type of street lights suitable for their project. The design will be reviewed in conjunction with the development plan.

L. Open Space Requirements

- 1. Open space includes active and passive outdoor recreational areas and visually open areas designed to be used by the general public.
- 2. Open space shall be provided at a minimum of twenty (20) percent.
- 3. Open space areas shall include the following:
 - a. Amenitized stormwater areas, as per Section I, Stormwater.
 - b. Landscaped areas.
 - c. Pedestrian access areas such as plazas, sidewalks, bike paths and walkways.



CITY OF APOPKA CITY COUNCIL

CONSENT AGENA
 PUBLIC HEARING
 SPECIAL REPORTS
 OTHER: Ordinance

MEETING OF: September 5, 2018
FROM: Community Development
EXHIBITS: Ordinance No. 2674
Annexation Case
Vicinity Map

SUBJECT: 2018 ANNEXATIONS – CYCLE 4

REQUEST: ORDINANCE NO. 2674 - FIRST READING – ANNEXATION OF CITY STORMWATER POND ON THE EAST SIDE OF N HIAWASSEE ROAD, SOUTH OF US 441/ORANGE BLOSSOM TRAIL, PARCEL I.D. 24-21-28-0000-00-087; AND HOLD OVER FOR SECOND READING AND ADOPTION.

SUMMARY:

OWNER: City of Apopka
APPLICANT: City of Apopka Community Development Department
LOCATION: East side of N Hiawassee Road, south of US 441/Orange Blossom Trail
EXISTING USE: Stormwater Pond
TRACT SIZE: 0.546 +/- acres

ADDITIONAL COMMENTS: This parcel, located within the jurisdictional boundary of Orange County, is owned by the City of Apopka. A stormwater pond owned and maintained by the City resides on the parcel. The proposed annexation will bring the parcel into the jurisdictional boundary of the City of Apopka. The subject parcel is contiguous to the City limits, is compact, and does not create an enclave, therefore meeting requirements of Section 171.044, Florida Statutes, for annexation.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 15 days prior to the first reading of any annexation ordinance. The City provided notification to the County on August 20, 2018.

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

CITY COUNCIL – SEPTEMBER 5, 2018
2018 ANNEXATION CYCLE 4 – PARCEL
PAGE 2

DULY ADVERTISED:

August 17, 2018

August 24, 2018

PUBLIC HEARING SCHEDULE:

September 5, 2018 (1:30 pm) - City Council 1st Reading

September 19, 2018 (7:00 pm) - City Council 2nd Reading and Adoption

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the annexation the City owned parcel located on the east side of N Hiawasse Road, south of US 441/Orange blossom Trail, Parcel ID 24-21-28-0000-00-087.

Accept the First Reading of Ordinance No. 2674 and Hold Over for Second Reading and Adoption on September 19, 2018

ORDINANCE NO. 2674

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, TO EXTEND ITS TERRITORIAL AND MUNICIPAL LIMITS TO ANNEX PURSUANT TO CHAPTER 171.044, FLORIDA STATUTES THE HEREINAFTER DESCRIBED LANDS SITUATED AND BEING IN ORANGE COUNTY, FLORIDA, OWNED BY THE CITY OF APOPKA; AND LOCATED ON THE EAST SIDE OF N HIAWASSEE ROAD AND SOUTH OF US 441/ORANGE BLOSSOM TRAIL; PROVIDING FOR DIRECTIONS TO THE CITY CLERK, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

WHEREAS, the Orange County Board of County Commissioners has requested that the City of Apopka, Florida, annex the property located on the east side of N Hiawassee Road and south of US/; and

WHEREAS, Florida Statute 171.044 of the General Laws of Florida provide that a municipal corporation may annex property into its corporate limits upon voluntary petition of the owners, by passing and adopting a non-emergency ordinance to annex said property; and

WHEREAS, the City Council of the City of Apopka, Florida is desirous of annexing and redefining the boundaries of the municipality to include the subject property pursuant to Florida Statute 171.044.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Apopka, Florida, as follows:

SECTION I: That the following described properties, being situated in Orange County, Florida, totaling **0.546 +/- acre**, and graphically depicted by the attached Exhibit "A", is hereby annexed into the City of Apopka, Florida, pursuant to the voluntary annexation provisions of Chapter 171.044, Florida Statutes, and other applicable laws:

Property Description:

COMMENCE AT THE NORTHWEST CORNER OF SECTION 24-21-28/ AS RECORDED IN THE PUBLIC RECORDS OF ORANGE COUNTY FLORIDA; THENCE SOUTH 89 °30'44" EAST A DISTANCE OF 2/071.26 FEET ALONG THE NORTHERN LINE OF SAID SECTION; THENCE SOUTH 0 °10'32" WEST A DISTANCE OF 707.04 FEET TO THE NORTHWEST CORNER OF PARCEL ID: 24-21-28-0000-00-087; SAID POINT BEING THE POINT OF BEGINNING; THENCE NORTH 89 °48'01" EAST A DISTANCE OF 81.93 FEET; THENCE SOUTH 24°22'16" EAST/ A DISTANCE OF 8.60 FEET; THENCE A DISTANCE OF 146.98 FEET ALONG A RADIUS OF 169.03 FEET; THENCE SOUTH 25 °44'36" WEST/ A DISTANCE OF 270.92 FEET; THENCE A DISTANCE OF 396.40 FEET ALONG A RADIUS OF 1/600.03 FEET.

Parcel ID 24-21-28-0000-00-087 Containing 0.546 +/- acres.

SECTION II: That the corporate territorial limits of the City of Apopka, Florida, are hereby redefined to include said land herein described and annexed.

SECTION III: That the City Council will designate the land use classification and zoning category of these annexed lands in accordance with applicable City ordinances and State laws.

SECTION IV: That the land herein described and future inhabitants of the land herein described shall be liable for all debts and obligations and be subject to all species of taxation, laws, ordinances and regulations of the City.

SECTION V: That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force, or effect of any other section or portion of a section or subsection or part of this ordinance.

SECTION VI: That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

SECTION VII: That this ordinance shall take effect upon passage and adoption, thereafter the City Clerk is hereby directed to file this ordinance with the Clerk of the Circuit Court in and for Orange County, Florida; the Orange County Property Appraiser; and the Department of State of the State of Florida.

READ FIRST TIME: September 5, 2018

READ SECOND TIME
AND ADOPTED: September 19, 2018

Bryan Nelson, Mayor

ATTEST:

Linda Goff, City Clerk

DULY ADVERTISED FOR PUBLIC HEARING: August 17, 2018; and August 24, 2018



CITY OF APOPKA CITY COUNCIL

CONSENT AGENDA
 PUBLIC HEARING
 SPECIAL REPORTS
 OTHER: Ordinance

MEETING OF: September 5, 2018
FROM: Community Development
EXHIBITS: Ordinance No. 2675
Annexation Cases
Vicinity Maps

SUBJECT: 2018 ANNEXATIONS – CYCLE 4 - ROADWAY RIGHT-OF-WAY ANNEXATIONS

REQUEST: ORDINANCE NO. 2675 - FIRST READING – PUBLIC RIGHTS-OF-WAY ANNEXATIONS NORTH HIAWASSEE ROAD, LUST ROAD, EAST VOTAW ROAD, NORTH CHRISTIANA AVENUE, SOUTH CHRISTIANA AVENUE, VICK ROAD, WEST MARTIN STREET, EAST NANCY LEE LANE, AND WEST NANCY LEE LANE; AND HOLD OVER FOR SECOND READING AND ADOPTION ON SEPTEMBER 19, 2018.

SUMMARY:

OWNER: Orange County Board of County Commissioners
APPLICANT: City of Apopka Community Development Department
LOCATION: N Hiawassee Road, Lust Road, E Votaw Road, North Christiana Avenue, South Christiana Avenue, Vick Road, W Martin Street, E Nancy Lee Lane, and W Nancy Lee Lane
EXISTING USE: Public Roads
TRACT SIZE: N Hiawassee Road: 2.409 +/- acres; Lust Road: 3.479 +/- acres; E Votaw Road: 4.225 +/- acres; North Christiana Avenue: 1.707 +/- acres; South Christiana Avenue: 0.347 +/- acres; Vick Road: 0.314 +/- acres; W Martin Street: 2.103 +/- acres; E Nancy Lee Lane: 0.865 +/- acres; and W Nancy Lee Lane: 0.892 +/- acres
TOTAL: 16.341 +/- acres

ADDITIONAL COMMENTS: The annexation of these roadway rights-of-way will result in a change of ownership from the Orange County Board of County Commissioners to the City of Apopka. Exhibit A lists the roadways included in Ordinance 2675. Exhibit B shows the location of the roadway rights-of-way to be annexed.

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

CITY COUNCIL – SEPTEMBER 5, 2018
2018 ANNEXATION CYCLE 4 – PARCEL
PAGE 2

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 15 days prior to the first reading of any annexation ordinance. The City provided notification to the County on August 20, 2018.

DULY ADVERTISED:

August 17, 2018 (Apopka Chief)

August 24, 2018 (Apopka Chief)

PUBLIC HEARING SCHEDULE:

September 5, 2018 (1:30 pm) - City Council 1st Reading

September 19, 2018 (7:00 pm) - City Council 2nd Reading and Adoption

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the roadway rights-of-way annexation of N Hiawassee Road, Lust Road, E Votaw Road, North Christiana Avenue, South Christiana Avenue, Vick Road, W Martin Street, E Nancy Lee Lane, and W Nancy Lee Lane.

Accept the First Reading of Ordinance No. 2675 and Hold Over for Second Reading and Adoption on September 19, 2018.

ORDINANCE NO. 2675

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, TO EXTEND ITS TERRITORIAL AND MUNICIPAL LIMITS TO ANNEX PURSUANT TO FLORIDA STATUTE 171.044 THE HEREINAFTER DESCRIBED PUBLIC RIGHTS-OF-WAY KNOWN AS NORTH HIAWASSEE ROAD, LUST ROAD, EAST VOTAW ROAD, NORTH CHRISTIANA AVENUE, SOUTH CHRISTIANA AVENUE, VICK ROAD, WEST MARTIN STREET, EAST NANCY LEE LANE, AND WEST NANCY LEE LANE, SITUATED AND BEING IN ORANGE COUNTY, FLORIDA, AND COMPRISED OF APPROXIMATELY 16.341 ACRES; OWNED BY ORANGE COUNTY BOARD OF COUNTY COMMISSIONERS; PROVIDING FOR DIRECTIONS TO THE CITY CLERK, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

WHEREAS, the Orange County Board of County Commissioners has requested that the City of Apopka, Florida, annex rights-of-way known as North Hiawassee Road, Lust Road, East Votaw Road, North Christiana Avenue, South Christiana Avenue, Vick Road, West Martin Street, East Nancy Lee Lane, and West Nancy Lee; and

WHEREAS, Florida Statute 171.044 of the General Laws of Florida provide that a municipal corporation may annex property into its corporate limits upon voluntary petition of the owners, by passing and adopting a non-emergency ordinance to annex said property; and

WHEREAS, the City Council of the City of Apopka, Florida is desirous of annexing and redefining the boundaries of the municipality to include the subject property pursuant to Florida Statute 171.044.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Apopka, Florida, as follows:

SECTION I: That the following described properties, being situated in Orange County, Florida, totaling 16.341 +/- acres, and graphically depicted by the attached Exhibits "A" - "I" are hereby annexed into the City of Apopka, Florida, pursuant to the voluntary annexation provisions of Chapter 171.044, Florida Statutes, and other applicable laws:

Descriptions: N Hiawassee Road: 2.409 +/- acres; Lust Road: 3.479 +/- acres; E Votaw Road: 4.225 +/- acres; North Christiana Avenue: 1.707 +/- acres; South Christiana Avenue: 0.347 +/- acres; Vick Road: 0.314 +/- acres; W Martin Street: 2.103 +/- acres; E Nancy Lee Lane: 0.865 +/- acres; and W Nancy Lee Lane: 0.892 +/- acres; more specifically described within Exhibits "A" - "I".

SECTION II: That the corporate territorial limits of the City of Apopka, Florida, are hereby redefined to include said land herein described and annexed.

SECTION III: That the City Council will designate the land use classification and zoning category of these annexed lands in accordance with applicable City ordinances and State laws.

ORDINANCE NO. 2665

PAGE 2

SECTION IV: That the land herein described and future inhabitants of the land herein described shall be liable for all debts and obligations and be subject to all species of taxation, laws, ordinances and regulations of the City.

SECTION V: That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force, or effect of any other section or portion of a section or subsection or part of this ordinance.

SECTION VI: That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

SECTION VII: That this ordinance shall take effect upon passage and adoption, thereafter the City Clerk is hereby directed to file this ordinance with the Clerk of the Circuit Court in and for Orange County, Florida; the Orange County Property Appraiser; and the Department of State of the State of Florida.

READ FIRST TIME: September 5, 2018

READ SECOND TIME
AND ADOPTED: September 19, 2018

Bryan Nelson, Mayor

ATTEST:

Linda Goff, City Clerk

DULY ADVERTISED FOR PUBLIC HEARING: August 17, 2018, August 24, 2018

Exhibit 2-A

Description of public "Right-of-Way": N. Hiawasse Rd.

Owner: Orange County

A public Right-of-Way" as recorded in the Public Records of Orange County, Florida, being more particularly described as follows:

Commence at the Northwest corner of Section 24-21-28, as recorded in the Public Records of Orange County, Florida; thence South 89°30'44" East, a distance of 1,925.43 feet along the Northern line of said section; thence South 0°00'00" East, a distance of 185.09 feet to the Northeast corner of Parcel ID: 24-21-28-0222-01-000; said point being the POINT OF BEGINNING; thence South 47°16'03" West, a distance of 4.16 feet; thence South 42°43'56" East, a distance of 15.19 feet; thence South 0°21'45" East, a distance of 398.49 feet; thence North 89°38'13" East, a distance of 18.53 feet; thence South 03°11'54" West, a distance of 289.53 feet; thence North 86°48'04" West, a distance of 12.00 feet; thence South 03°11'55" West, a distance of 124.34 feet; thence South 86°48'04" East, a distance of 12.00 feet; thence South 03°11'56" West, a distance of 33.16 feet; thence South 64°12'16" East, a distance of 120.03 feet; thence a distance of 390.02 feet along a radius of 1,600.03 feet; thence a distance of 111.95 feet along a radius of 2,915.74 feet; thence North 0°14'21" East, a distance of 253.78 feet; thence North 42°43'17" West, a distance of 214.35 feet.

Containing 104,929.07 square feet (2.409-Acres), more or less.

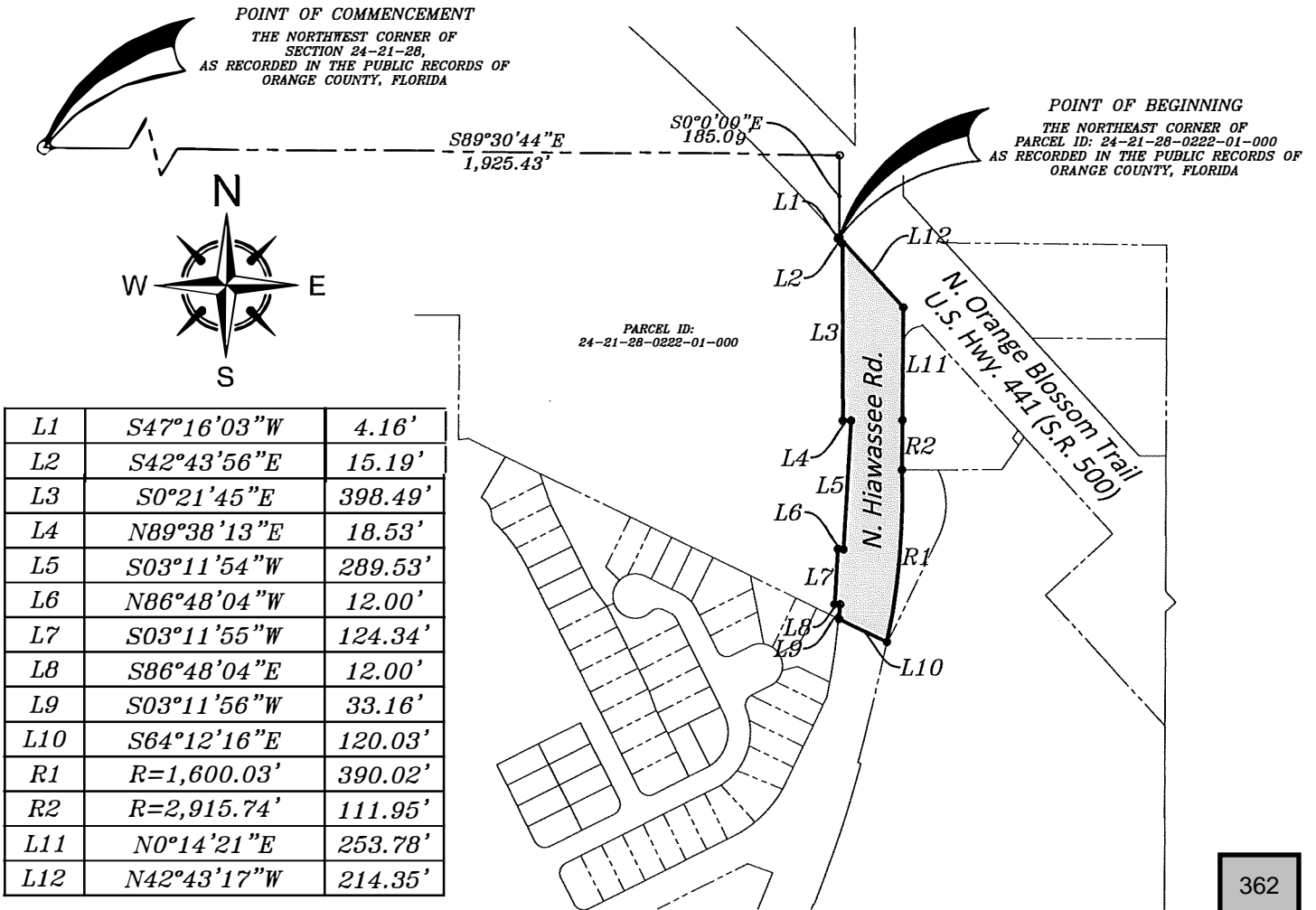


Exhibit 2-B

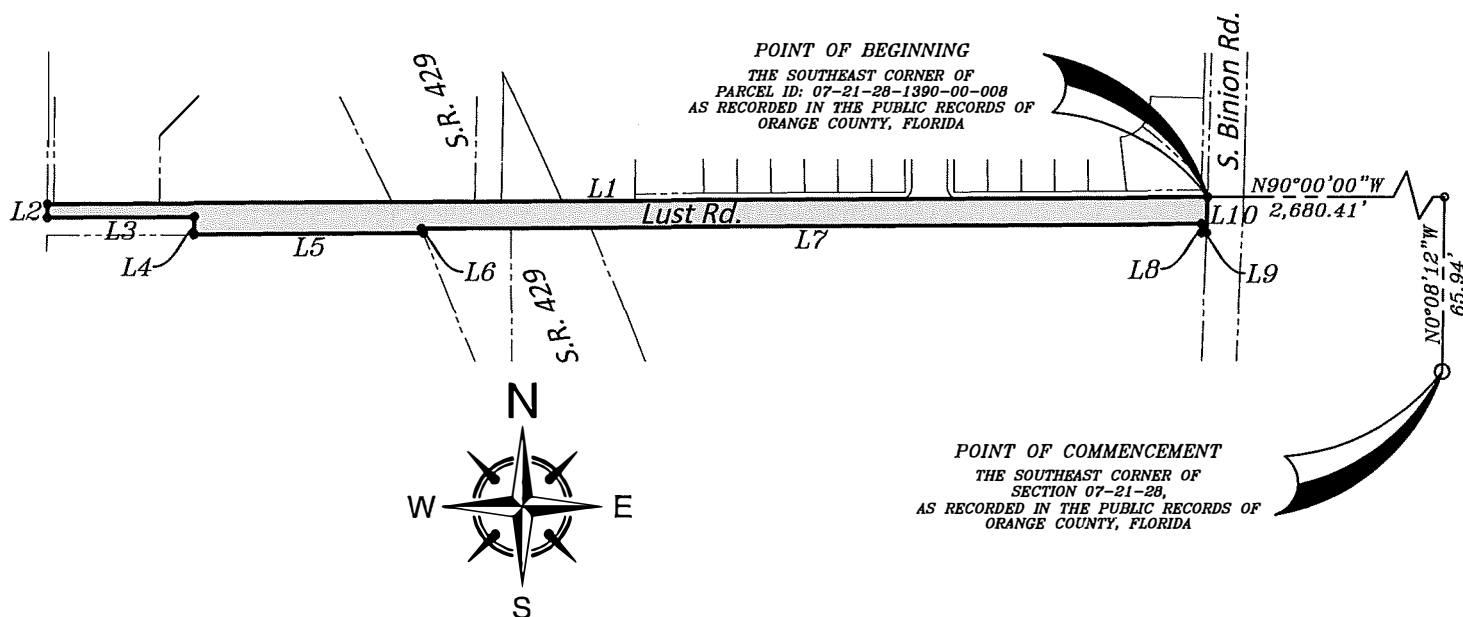
Description of public "Right-of-Way": Lust Rd.

Owner: Orange County

A public "Right-of-Way" as recorded in the Public Records of Orange County, Florida, being more particularly described as follows:

Commence at the Southeast corner of Section 07-21-28, as recorded in the Public Records of Orange County, Florida; thence North 0°08'12" West, a distance of 65.94 feet along the Eastern line of said section; thence North 90°00'00" West, a distance of 2,680.41 feet, to the Southeast corner of Parcel ID: 07-21-28-1390-00-008; said point being the POINT OF BEGINNING; thence South 89°39'49" West, a distance of 2,601.35 feet; thence South 0°23'14" West, a distance of 30.00 feet; thence North 89°39'49" East, a distance of 330.12 feet; thence South 0°20'10" East, a distance of 40.00 feet; thence North 89°39'49" East, a distance of 513.30 feet; thence North 21°53'52" West, a distance of 10.75 feet; thence North 89°39'49" East, a distance of 1,748.53 feet; thence South 01°08'20" West, a distance of 20.01 feet; thence North 89°39'54" East, a distance of 11.45 feet; thence North 01°40'03" East, a distance of 80.05 feet.

Containing 151,563.89 square feet (3.479-Acres), more or less.



L1	S89°39'49"W	2,601.35'
L2	S0°23'14"W	30.00'
L3	N89°39'49"E	330.12'
L4	S0°20'10"E	40.00'
L5	N89°39'49"E	513.30'
L6	N21°53'52"W	10.75'
L7	N89°39'49"E	1,748.53'
L8	S01°08'20"W	20.01'
L9	N89°39'54"E	11.45'
L10	N01°40'03"E	80.05'

Exhibit 2-C

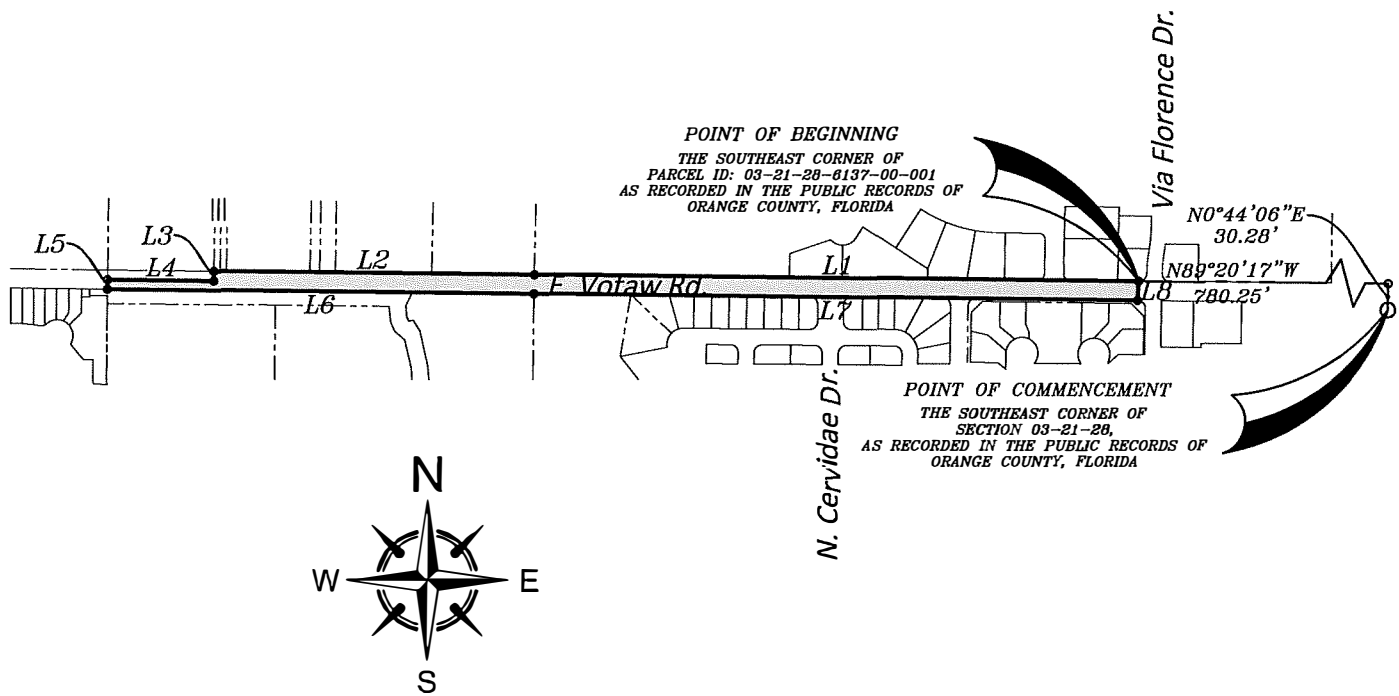
Description of public "Right-of-Way": E. Votaw Rd.

Owner: Orange County

A public "Right-of-Way" as recorded in the Public Records of Orange County, Florida, being more particularly described as follows:

Commence at the Southeast corner of Section 03-21-28, as recorded in the Public Records of Orange County, Florida; thence North 0°44'06" East, a distance of 30.28 feet along the Eastern line of said section; thence North 89°20'17" West, a distance of 780.25 feet, to the Southeast corner of Parcel ID: 03-21-28-6137-00-001; said point being the POINT OF BEGINNING; thence North 89°20'18" West, a distance of 1,897.12 feet; thence North 89°20'25" West, a distance of 1,004.26 feet; thence South 0°41'58" West, a distance of 30.00 feet; thence North 89°20'25" West, a distance of 334.69 feet; thence South 0°34'38" West, a distance of 30.00 feet; thence South 89°20'25" East, a distance of 1,338.83 feet; thence South 89°20'18" East, a distance of 1,894.40 feet; thence North 03°21'16" East, a distance of 60.07 feet.

Containing 184,039.47 square feet (4.225-Acres), more or less.



L1	N89°20'18"W	1,897.12'
L2	N89°20'25"W	1,004.26'
L3	S0°41'58"W	30.00'
L4	N89°20'25"W	334.69'
L5	S0°34'38"W	30.00'
L6	S89°20'25"E	1,338.83'
L7	S89°20'18"E	1,894.40'
L8	N03°21'16"E	60.07'

Exhibit 2-D

Description of public "Right-of-Way": N. Christiana Ave.

Owner: Orange County

A public "Right-of-Way" as recorded in the Public Records of Orange County, Florida, being more particularly described as follows:

Commence at the Northeast corner of Section 10-21-28, as recorded in the Public Records of Orange County, Florida; thence South $0^{\circ}24'01''$ West, a distance of 1,319.98 feet along the Eastern line of said section; thence North $89^{\circ}36'50''$ West, a distance of 1,309.20 feet, to the Northwest corner of Parcel ID: 10-21-28-6138-01-010; said point being the POINT OF BEGINNING; thence North $0^{\circ}25'07''$ East, a distance of 552.94 feet; thence North $89^{\circ}20'18''$ West, a distance of 5.00 feet; thence North $0^{\circ}25'07''$ East, a distance of 718.51 feet; thence a distance of 39.37 feet along a radius of 25.01 feet; thence North $89^{\circ}20'18''$ West, a distance of 105.00 feet; thence a distance of 39.16 feet along a radius of 25.00 feet; thence South $0^{\circ}25'07''$ West, a distance of 1,217.08 feet; thence South $0^{\circ}00'00''$ East, a distance of 54.95 feet; thence South $89^{\circ}41'08''$ East, a distance of 59.60 feet.

Containing 74,343.43 square feet (1.707-Acres), more or less.

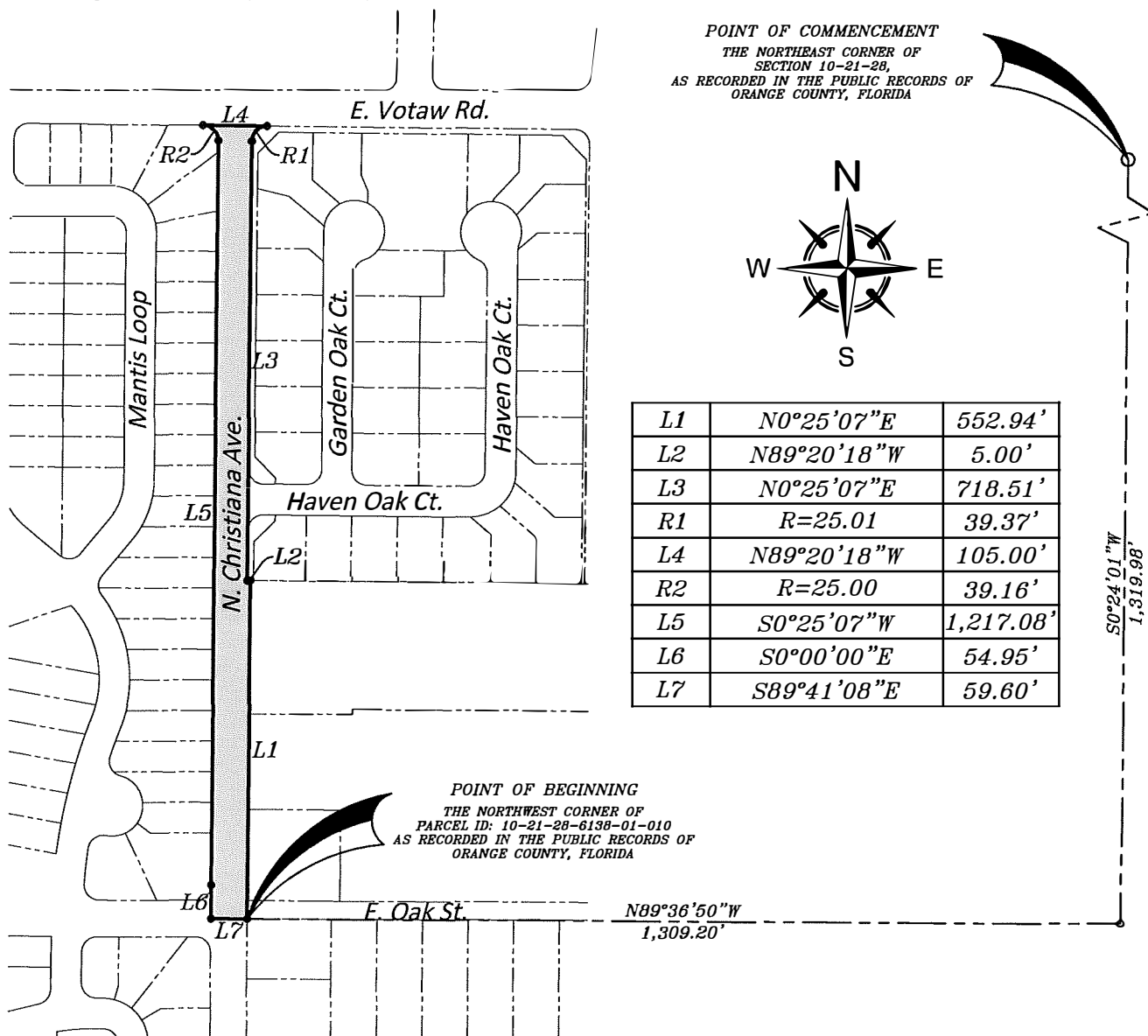


Exhibit 2-E

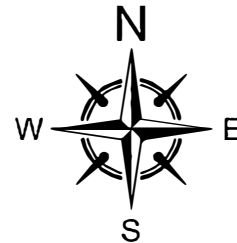
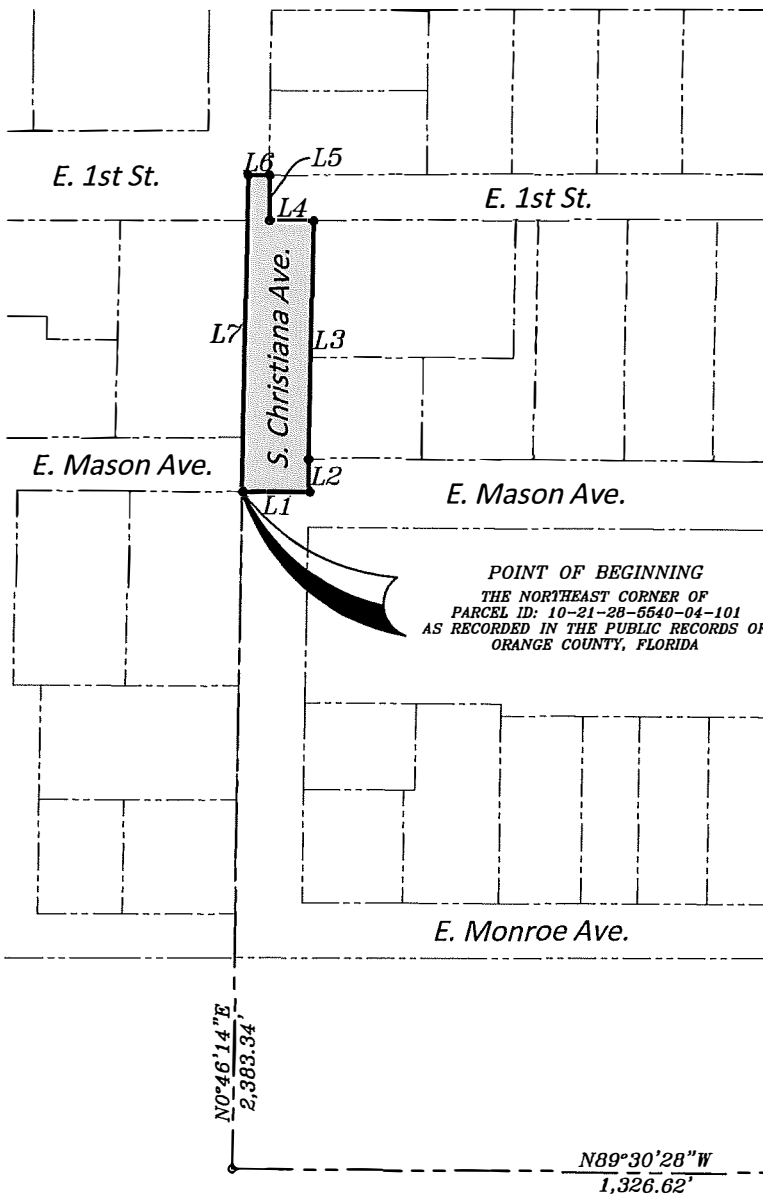
Description of public "Right-of-Way": S. Christiana Ave.

Owner: Orange County

A public "Right-of-Way" as recorded in the Public Records of Orange County, Florida, being more particularly described as follows:

Commence at the Southeast corner of Section 10-21-28, as recorded in the Public Records of Orange County, Florida; thence North $89^{\circ}30'28''$ West, a distance of 1,326.62 feet along the Southern line of said section; thence North $0^{\circ}46'14''$ East, a distance of 2,383.34 feet, to the Northeast corner of Parcel ID: 10-21-28-5540-04-101; said point being the POINT OF BEGINNING; thence South $89^{\circ}42'49''$ East, a distance of 59.98 feet; thence North $0^{\circ}00'00''$ East, a distance of 29.67 feet; thence North $0^{\circ}49'01''$ East, a distance of 210.82 feet; thence North $90^{\circ}00'00''$ West, a distance of 39.55 feet; thence North $0^{\circ}00'00''$ East, a distance of 39.97 feet; thence South $89^{\circ}57'26''$ West, a distance of 19.36 feet; thence South $0^{\circ}50'03''$ West, a distance of 280.16 feet.

Containing 15,097.12 square feet (0.347-Acres), more or less.



L1	$S89^{\circ}42'49''E$	59.98'
L2	$N0^{\circ}00'00''E$	29.67'
L3	$N0^{\circ}49'01''E$	210.82'
L4	$N90^{\circ}00'00''W$	39.55'
L5	$N0^{\circ}00'00''E$	39.97'
L6	$S89^{\circ}57'26''W$	19.36'
L7	$S0^{\circ}50'03''W$	280.16'

POINT OF COMMENCEMENT
THE SOUTHEAST CORNER OF
SECTION 10-21-28,
AS RECORDED IN THE PUBLIC RECORDS OF
ORANGE COUNTY, FLORIDA

Exhibit 2-F

Description of public "Right-of-Way": Vick Rd.

Owner: Orange County

A public "Right-of-Way" as recorded in the Public Records of Orange County, Florida, being more particularly described as follows:

Commence at the Northwest corner of Section 04-21-28, as recorded in the Public Records of Orange County, Florida; thence South 89°45'11" East, a distance of 20.29 feet along the Northern line of said section; thence South 0°00'00" East, a distance of 1,267.97 to the Northwest corner of Parcel ID: 04-21-28-0000-00-003; said point being the POINT OF BEGINNING; thence South 0°12'41" West, a distance of 547.24 feet; thence North 90°00'00" West, a distance of 25.00 feet; thence North 0°12'41" East, a distance of 547.25 feet; thence South 89°57'43" East, a distance of 25.00.

Containing 13,681.02 square feet (0.314-Acres), more or less.

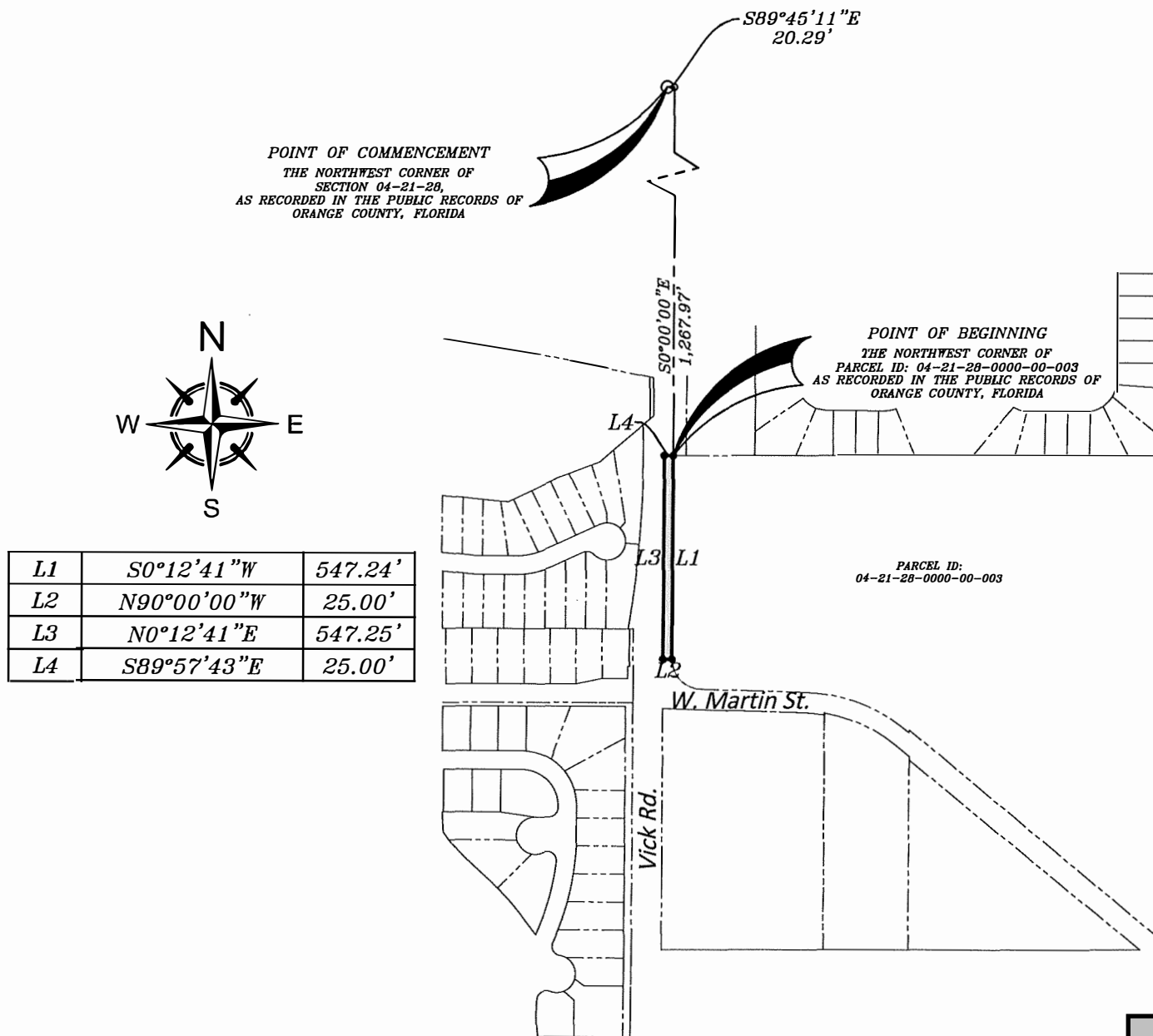


Exhibit 2-G

Description of public "Right-of-Way": W. Martin St.

Owner: Orange County

A public "Right-of-Way" as recorded in the Public Records of Orange County, Florida, being more particularly described as follows:

Commence at the Southwest corner of Section 04-21-28, as recorded in the Public Records of Orange County, Florida; thence North $0^{\circ}15'50''$ East, a distance of 3,293.73 feet along the Western line of said section, to the Northwest corner of Parcel ID: 04-21-28-0000-00-027; said point being the POINT OF BEGINNING; thence North $0^{\circ}12'42''$ East, a distance of 132.12 feet; thence North $90^{\circ}00'00''$ East, a distance of 25.00 feet; thence a distance of 123.39 feet along a radius of 79.85 feet; thence South $88^{\circ}19'28''$ East, a distance of 280.19 feet; thence a distance of 307.32 feet along a radius of 457.04 feet; thence North $0^{\circ}11'17''$ East, a distance of 7.23 feet; thence South $50^{\circ}13'09''$ East, a distance of 877.52 feet; thence South $75^{\circ}20'51''$ East, a distance of 61.01 feet; thence South $82^{\circ}32'53''$ West, a distance of 112.65 feet; thence North $50^{\circ}37'40''$ West, a distance of 804.56 feet; thence North $0^{\circ}10'57''$ East, a distance of 9.79 feet; thence North $50^{\circ}57'50''$ West, a distance of 43.86 feet; thence a distance of 215.51 feet along a radius of 407.04 feet; thence South $0^{\circ}10'55''$ West, a distance of 5.07 feet; thence a distance of 55.73 feet along a radius of 402.10 feet; thence North $88^{\circ}19'28''$ West, a distance of 381.63 feet.

Containing 91,600.97 square feet (2.103-Acres), more or less.

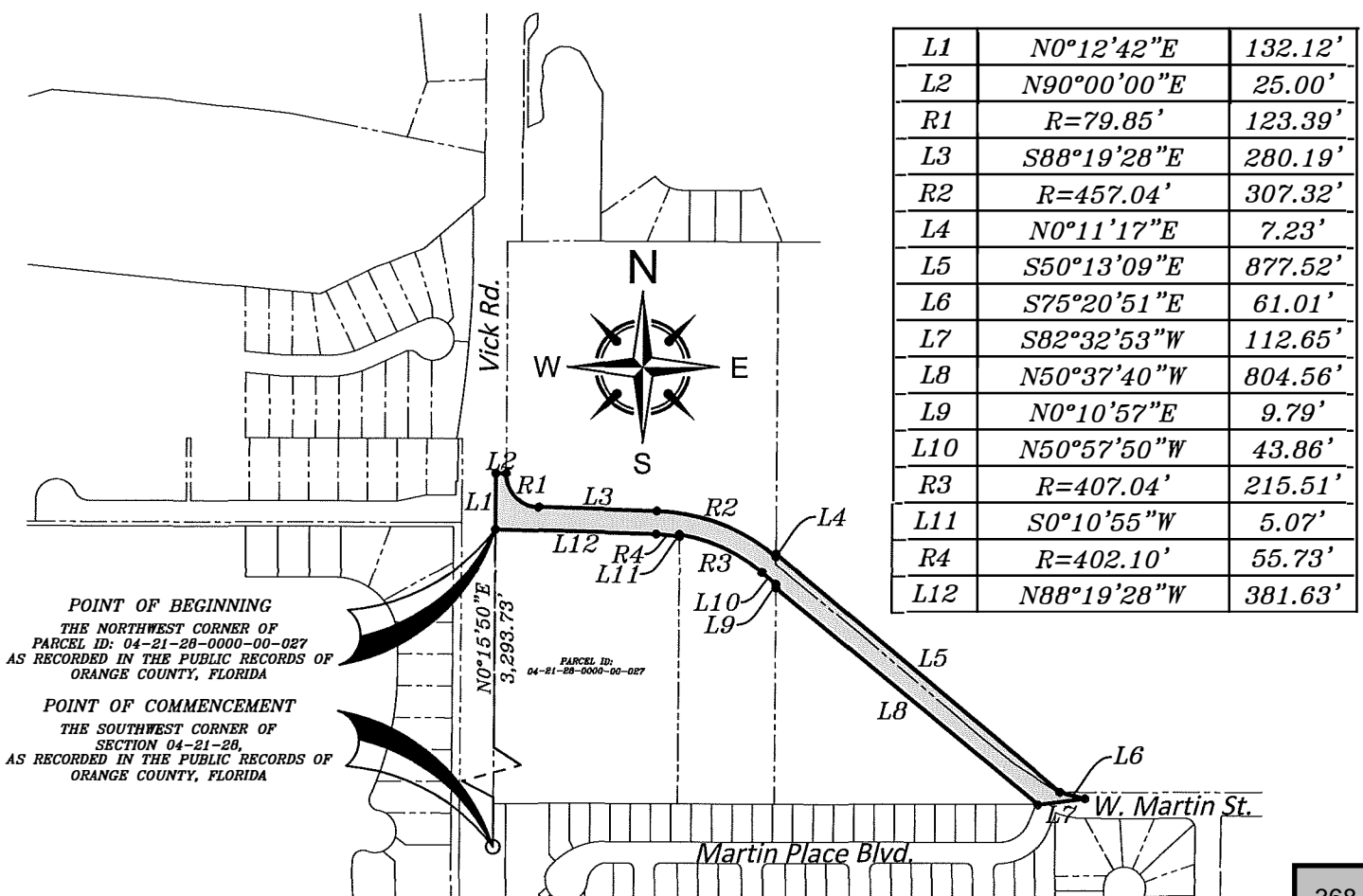


Exhibit 2-H

Description of public "Right-of-Way": E. Nancy Lee Ln.

Owner: Orange County

A public "Right-of-Way" as recorded in the Public Records of Orange County, Florida, being more particularly described as follows:

Commence at the Southeast corner of Section 33-20-28, as recorded in the Public Records of Orange County, Florida; thence North 0°11'41" East, a distance of 744.28 feet along the Eastern line of said section; thence North 89°58'02" West, a distance of 40.03 feet, to the Northeast corner of Parcel ID: 33-20-28-0000-00-060; said point being the POINT OF BEGINNING; thence North 09°16'18" West, a distance of 60.80 feet; thence North 89°58'02" West, a distance of 622.64 feet; thence South 0°27'03" West, a distance of 60.00 feet; thence South 89°58'02" East, a distance of 632.91 feet.

Containing 37,666.54 square feet (0.865-Acres), more or less.

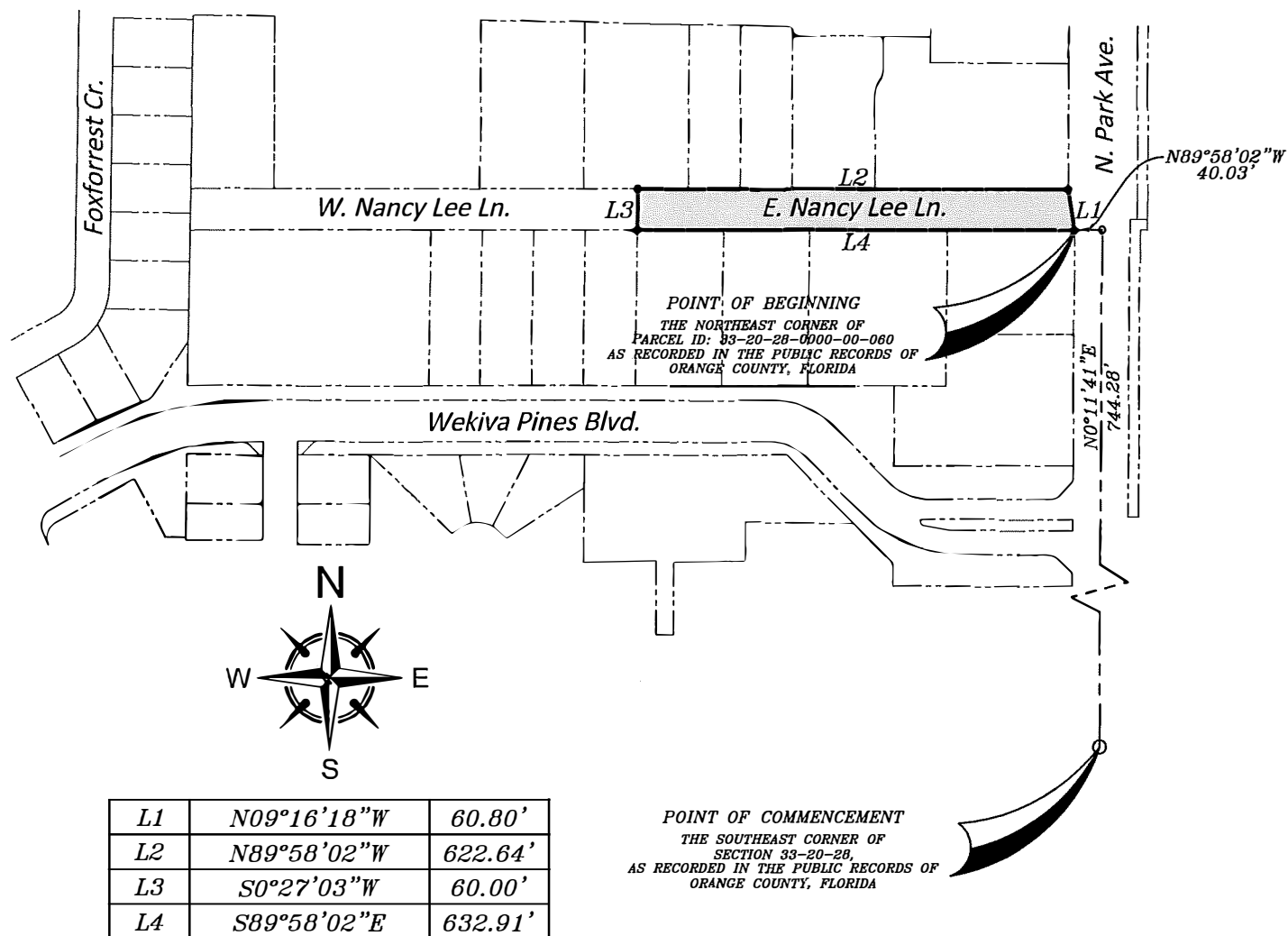


Exhibit 2-1

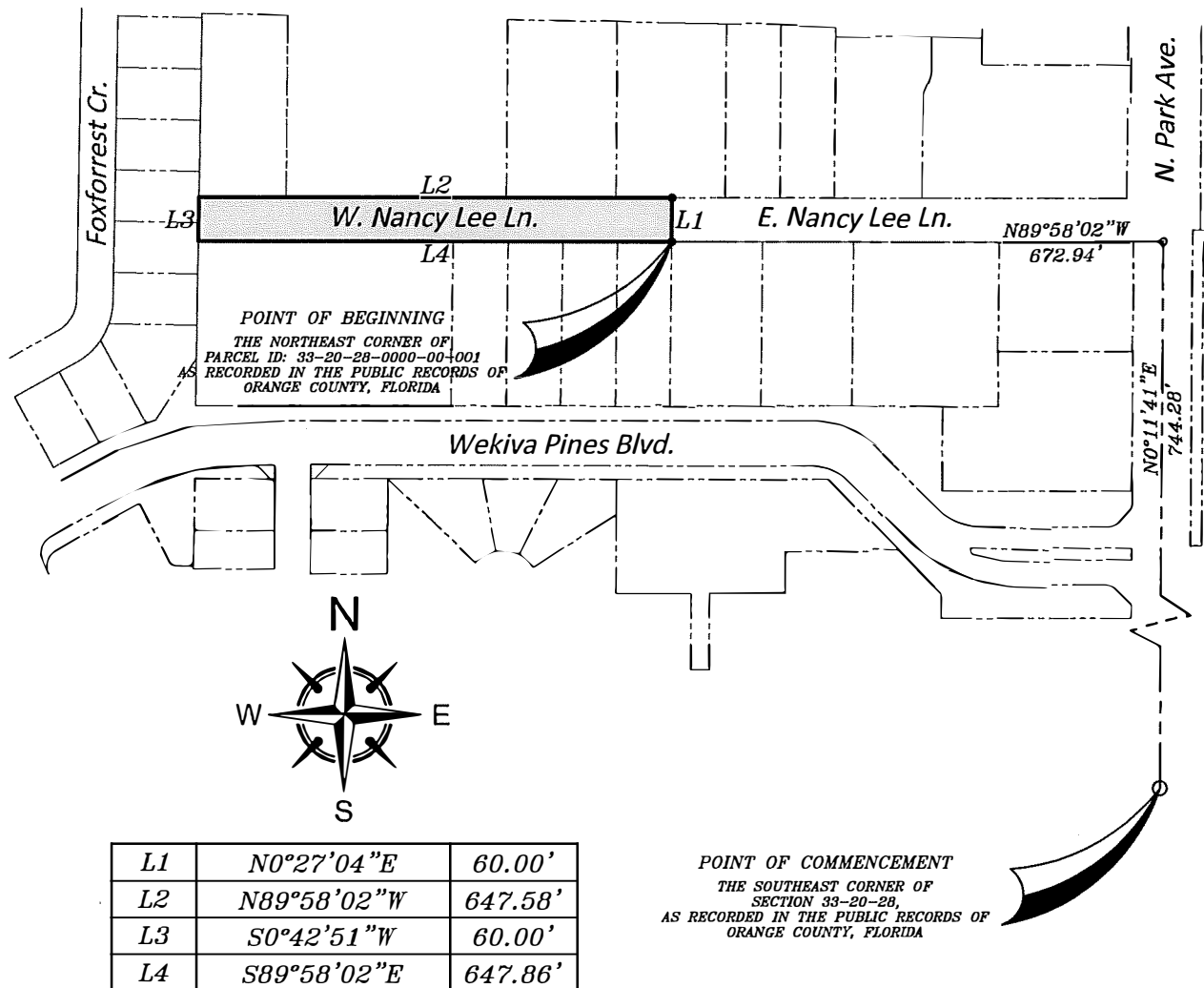
Description of public "Right-of-Way": W. Nancy Lee Ln.

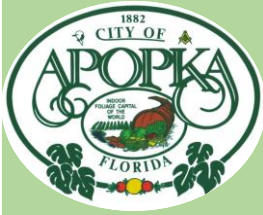
Owner: Orange County

A public "Right-of-Way" as recorded in the Public Records of Orange County, Florida, being more particularly described as follows:

Commence at the Southeast corner of Section 33-20-28, as recorded in the Public Records of Orange County, Florida; thence North $0^{\circ}11'41''$ East, a distance of 744.28 feet along the Eastern line of said section; thence North $89^{\circ}58'02''$ West, a distance of 672.94 feet, to the Northeast corner of Parcel ID: 33-20-28-0000-00-001; said point being the POINT OF BEGINNING; thence North $0^{\circ}27'04''$ East, a distance of 60.00 feet; thence North $89^{\circ}58'02''$ West, a distance of 647.58 feet; thence South $0^{\circ}42'51''$ West, a distance of 60.00 feet; thence South $89^{\circ}58'02''$ East, a distance of 647.86 feet.

Containing 38,863.33 square feet (0.892-Acres), more or less.





CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: RESOLUTION

MEETING OF: September 5, 2018
FROM: Public Services
EXHIBITS: Resolution No. 2018-14

SUBJECT: RESOLUTION NO. 2018-14 GRANTING A NON-EXCLUSIVE FRANCHISE FOR ROLL-OFF CONTAINER COLLECTION AND DISPOSAL OF WASTE IN THE CITY OF APOPKA TO J J'S WASTE & RECYCLING LLC

REQUEST: ADOPT RESOLUTION NO. 2018-14

SUMMARY:

Chapter 66, Article III, of the Code of Ordinances of the City of Apopka, provides for private refuse collection service through the granting of a non-exclusive franchise for roll-off container collection in the City. The minimum amount the City is to receive is \$960.00 per year for this agreement.

FUNDING SOURCE:

N/A

RECOMMENDATION ACTION:

Adopt Resolution No. 2018-14.

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

RESOLUTION NO. 2018-14

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF APOPKA, FLORIDA, GRANTING A NON-EXCLUSIVE FRANCHISE TO J J'S WASTE & RECYCLING LLC, TO PROVIDE "ROLL-OFF" CONTAINER COLLECTION AND DISPOSAL OF WASTE IN THE CITY OF APOPKA, FLORIDA, PURSUANT TO CITY OF APOPKA, CODE OF ORDINANCES, CHAPTER 66, ARTICLE III; PROVIDING FOR THE TERM OF YEARS FOR THE FRANCHISE; PROVIDING FOR FRANCHISE FEE; PROVIDING AN EFFECTIVE DATE.

WHEREAS, Chapter 66, Article III, of the Code of Ordinances of the City of Apopka, Florida, provides for private refuse collection service through the granting of non-exclusive franchise(s) for roll-off containers, and is hereinafter referred to as Chapter 66, Article III; and

WHEREAS, Chapter 66, Article III grants the City Council of the City of Apopka, Florida, the power, right and authority to contract by resolution with persons thereby granting non-exclusive franchise(s) to provide "roll-off" container collection and disposal of waste within the City of Apopka, Florida; and

WHEREAS, Chapter 66, Article III provides for City requirements, outlining Franchisee's duties, providing the terms and conditions under which such franchise shall operate.

WHEREAS, Chapter 66, Article III enables the City Council of the City of Apopka, Florida, to enter into a contract with persons desiring a franchise to provide roll-off container collection and disposal of waste within the City of Apopka; and

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Apopka, Florida, that:

SECTION I. GRANT AND TERM.

That the City Council of the City of Apopka, Florida, extends a non-exclusive franchise to:

J J'S WASTE & RECYCLING LLC

a Florida corporation whose business address is:

2715 Staten Road
Orlando, FL 32804

Hereinafter referred to as Grantee, to provide roll-off container collection and disposal of waste within the corporate limits of the City of Apopka, Florida, under the terms set out in Chapter 66, Article III.

The term of this franchise will begin on September 5, 2018 and end on September 4, 2021 (The term may be extended for an additional two (2) years, at the sole option of the City, by written notice to the franchisee not less than thirty (30) days prior to the expiration of the current term.)

SECTION II. COMPLIANCE WITH ORDINANCE AND RESOLUTION.

That the City of Apopka, Florida, and the Grantee of the franchise shall comply with all of the terms and conditions as set forth in Chapter 66, Article III, and this Resolution. A failure by the Grantee to comply with the terms and conditions of Chapter 66, Article III and/or all ordinances and resolutions of the City of Apopka, and/or the laws of the State of Florida or the United States, shall be grounds for the immediate revocation of the Franchise.

Payment of Franchise Fees shall be made payable to the City of Apopka, and mailed to

City of Apopka,
Attention: Accounts Payable,
120 E Main St
Apopka, Florida, 32703.

The fee for administrative and inspection costs and expenses shall be credited against the charges.

SECTION III. ENFORCEMENT.

The Mayor or his designee is hereby authorized to enforce the non-exclusive franchise granted by this Resolution for the City of Apopka.

SECTION IV. EFFECTIVE DATE

This Resolution shall take effect immediately upon adoption, and the non-exclusive franchise granted by this Resolution shall be binding immediately on the City and the Grantee upon the date those proper officers or authorities of each have duly executed this Resolution.

APPROVED by the City Council of the City of Apopka, Florida, and this 5th day of September 2018.

CITY OF APOPKA, FLORIDA

ATTEST:

Bryan Nelson, Mayor

Linda F. Goff, City Clerk

ACCEPTANCE BY FRANCHISEE

The foregoing RESOLUTION NO. 2018-14 and the NON-EXCLUSIVE FRANCHISE provided for therein, and all the terms and conditions thereof, are hereby accepted, approved, and agreed to this sixth day of September, 2018

J J'S WASTE & RECYCLING LLC

Signature

Printed Name

Title

STATE OF FLORIDA
COUNTY OF ORANGE

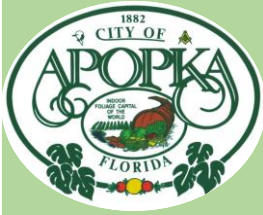
Sworn to and subscribed before me this _____ day of September 2018, by
_____.

Notary Public, State of Florida

Printed Name of Notary

Personally Known _____ **OR** Produced Identification _____

Type of Identification Produced _____



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: Resolution No. 2018-15

MEETING OF: September 5, 2018
FROM: Finance Department
EXHIBITS: Exhibit A

SUBJECT: RESOLUTION NO. 2018-15 – AMENDING THE BUDGET FOR THE FISCAL YEAR BEGINNING OCTOBER 1, 2017 AND ENDING SEPTEMBER 30, 2018

REQUEST: REQUEST COUNCIL ADOPT RESOLUTION NO. 2018-15 TOTALING \$50,000.00

SUMMARY:

On September 27, 2017, by Resolution No. 2017-17, the City Council adopted the final budgets for fiscal year 2017/2018. The City has committed to expenditures and has experienced unanticipated revenues/expenditures through the current fiscal year that need to be reflected in the current budget. Florida Statutes, Section 166.241(4) requires the governing body amend the budget in the same manner as the original budget is adopted.

Exhibit A – This amendment includes changes for the funding and appropriation of the Florida Department of Environmental Protection Recreational Apopka Athletic Complex project in the amount of \$50,000.00. The council approved this grant on July 18, 2018.

FUNDING SOURCE:

FY 2017 - 2018 Budget Amendment for the project will be funded solely from the grant award. The Grant Fund appropriations and revenue which will be increased to include the amounts included in Exhibit A.

RECOMMENDATION ACTION:

Adopt Resolution No. 2018-15

DISTRIBUTION

Mayor Nelson
Commissioners
City Administrator
Community Development Director

Finance Director
HR Director
IT Director
Police Chief

Public Services Director
Recreation Director
City Clerk
Fire Chief

RESOLUTION NO. 2018-15

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF APOPKA, FLORIDA, AMENDING THE BUDGET FOR THE FISCAL YEAR BEGINNING OCTOBER 1, 2017 AND ENDING SEPTEMBER 30, 2018, PROVIDING FOR A BUDGET AMENDMENT

WHEREAS, the City Council of the City of Apopka, Florida, has determined that the Budget for Fiscal Year 2017/2018 should be amended; and

WHEREAS, Florida Statutes, Section 166.241(4) requires the governing body amend the budgets in the same manner as the original budget is adopted; and

WHEREAS, the City Council adopted the final budgets for fiscal year 2017/2018 through resolution on September 27, 2017.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF APOPKA, FLORIDA, AS FOLLOWS:

SECTION 1: That the Budget for the City of Apopka, Florida, and Fiscal Year 2017/2018 is hereby amended as indicated in Exhibit A – with an amendment totaling \$50,000.00 which are hereby attached and made part of this Resolution by reference thereto.

SECTION 2: Effective Date. This Resolution shall take effect upon final passage and adoption.

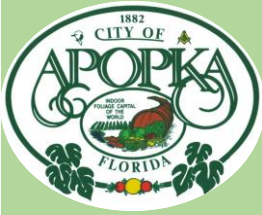
ADOPTED THIS 5TH DAY OF September, 2018

CITY OF APOPKA, FLORIDA

BRYAN NELSON, MAYOR

ATTEST:

LINDA F. GOFF, CITY CLERK



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: Resolution No. 2018-16

MEETING OF: September 5, 2018
 FROM: Finance Department
 EXHIBITS: Exhibit A

SUBJECT: RESOLUTION NO. 2018-16 – AMENDING #2 THE CITY COUNCIL OF THE CITY OF APOPKA, FLORIDA, RELATING TO THE STATE REVOLVING FUND LOAN PROGRAM; MAKING FINDINGS; AUTHORIZING THE SECOND AMENDMENT TO THE ORIGINAL LOAN AGREEMENT; ESTABLISHING PLEDGED REVENUES; DESIGNATING AUTHORIZED REPRESENTATIVES; PROVIDING ASSURANCES; PROVIDING FOR CONFLICTS, SEVERABILITY, AND EFFECTIVE DATE.

REQUEST: REQUEST COUNCIL APPROVE RESOLUTION NO. 2018-16 AUTHORIZING AMENDMENT #2 REGARDING PROJECT NO. WW48021 FINANCING WITH THE STATE REVOLVING FUND LOAN PROGRAM WITH THIS FINAL AMENDMENT FOR THE FINAL \$20,000,000 IN AVAILABLE FINANCING.

SUMMARY:

Staff previously explored finance alternatives for the finance of the Water Reclamation Facility expansion and improvement and it was determined that the State Revolving Fund Loan Program through the Florida Department of Environmental Protection (FDEP) was the best savings which was estimated at approximately \$20M. This is the final amendment for the remaining \$20,000,000 as described below:

PROJECT COSTS	
CATEGORY	PROJECT COSTS (\$)
Construction and Demolition	\$ 60,000,000.00
Contingencies	\$ 3,500,000.00
Technical Services	\$ 1,500,000.00
SUBTOTAL (Disbursable Amount)	\$ 65,000,000.00
Capitalized Interest	\$ 306,700.00
TOTAL (Loan Principal Amount)	\$ 65,306,700.00

FUNDING SOURCE:

This project is being financed from the State Revolving Loan Program.

RECOMMENDATION ACTION:

Adopt Resolution No. 2018-16 for Amendment #2 to the loan agreement for Project No. WW48021.

DISTRIBUTION

Mayor Nelson
Commissioners
City Administrator
Community Development Director

Finance Director
HR Director
IT Director
Police Chief

Public Services Director
Recreation Director
City Clerk
Fire Chief



FLORIDA DEPARTMENT OF Environmental Protection

Marjory Stoneman Douglas Building
3900 Commonwealth Boulevard
Tallahassee, Florida 32399-3000

Rick Scott
Governor

Carlos Lopez-Cantera
Lt. Governor

Noah Valenstein
Secretary

August 8, 2018

Ms. Pamela Barclay, CPA
Finance Director
City of Apopka
Post Office Box 1229
Apopka, Florida 32704

Re: WW480211 – Apopka
Treatment Facilities

Dear Ms. Barclay:

Attached is a copy of proposed Amendment 2 to the City's State Revolving Fund loan agreement. The amendment provides an additional \$20,000,000 for this project.

Please have the appropriate officials sign and seal three copies, and return them to us within **three** weeks at 3900 Commonwealth Boulevard, MS 3505, Tallahassee, Florida, 32399-3000. We will arrange for the documents to be signed and mail a fully executed original to you.

If you have any questions about this amendment, please call Megan Strohl at (850)245-2899.

Sincerely,

A handwritten signature in blue ink that reads "Angela Knecht".

Angela Knecht, Program Administrator
State Revolving Fund Management

AK/ms

Attachment

cc: Glenn Irby – City of Apopka
R. Jay Davoll – City of Apopka

**AMENDMENT 2 TO LOAN AGREEMENT WW480211
CITY OF APOPKA**

This amendment is executed by the FLORIDA WATER POLLUTION CONTROL FINANCING CORPORATION (the “Corporation”) and the CITY OF APOPKA, FLORIDA, (the “Local Borrower”) existing as a local governmental agency under the laws of the State of Florida. Collectively, the Department, the Corporation, and the Local Borrower shall be referred to as “Parties” or individually as a “Party”.

WITNESSETH:

WHEREAS, the Corporation and the Local Borrower entered into a Clean Water State Revolving Fund Loan Agreement, Number WW480211, as amended, authorizing a Loan amount of \$45,000,000, excluding Capitalized Interest; and

WHEREAS, the Local Borrower is entitled to additional financing of \$20,000,000, excluding Capitalized Interest; and

WHEREAS, certain provisions of the Agreement need revision and several provisions need to be added to the Agreement.

NOW, THEREFORE, the parties hereto agree as follows:

1. Section 2.04 is deleted and replaced as follows:

The Local Borrower agrees to the following audit and monitoring requirements.

- (1) The financial assistance authorized pursuant to this Loan Agreement consists of the following:

State Resources Awarded to the Local Borrower Pursuant to this Agreement Consist of the Following Resources Subject to Section 215.97, F.S.:					
State Program Number	Funding Source	CSFA Number	CSFA Title or Fund Source Description	Funding Amount	State Appropriation Category
Original Agreement	Wastewater Treatment and Stormwater Management TF	37.077	Wastewater Treatment Facility Construction	\$65,000,000	140131

- (2) Audits.

- (a) In the event that the Local Borrower expends a total amount of state financial assistance equal to or in excess of \$750,000 in any fiscal year of such Local Borrower, the Local Borrower must have a State single audit for such fiscal year in accordance with Section 215.97, Florida Statutes; applicable rules of the Department of

Financial Services; and Chapters 10.550 (local governmental entities) or 10.650 (nonprofit and for-profit organizations), Rules of the Auditor General. In determining the state financial assistance expended in its fiscal year, the Local Borrower shall consider all sources of state financial assistance, including state financial assistance received from the Department, other state agencies, and other nonstate entities. State financial assistance does not include Federal direct or pass-through awards and resources received by a nonstate entity for Federal program matching requirements.

(b) In connection with the audit requirements addressed in the preceding paragraph (a); the Local Borrower shall ensure that the audit complies with the requirements of Section 215.97(7), Florida Statutes. This includes submission of a financial reporting package as defined by Section 215.97(2), Florida Statutes, and Chapters 10.550 (local governmental entities) or 10.650 (nonprofit and for-profit organizations), Rules of the Auditor General.

(c) If the Local Borrower expends less than \$750,000 in state financial assistance in its fiscal year, an audit conducted in accordance with the provisions of Section 215.97, Florida Statutes, is not required. The Local Borrower shall inform the Department of findings and recommendations pertaining to the State Revolving Fund in audits conducted by the Local Borrower in which the \$750,000 threshold has not been met. In the event that the Local Borrower expends less than \$750,000 in state financial assistance in its fiscal year, and elects to have an audit conducted in accordance with the provisions of Section 215.97, Florida Statutes, the cost of the audit must be paid from the non-state entity's resources (i.e., the cost of such an audit must be paid from the Local Borrower's resources obtained from other than State entities).

(d) The Local Borrower is hereby advised that the Florida Single Audit Act Requirements may further apply to lower tier transactions that may be a result of this Agreement. For information regarding the Florida Catalog of State Financial Assistance (CSFA), a Local Borrower should access the Florida Single Audit Act website located at <https://apps.fldfs.com/fsaa> for assistance.

(3) Report Submission.

(a) Copies of financial reporting packages shall be submitted by or on behalf of the Local Borrower directly to each of the following:

(i) The Department at one of the following addresses:

By Mail:

Audit Director

Florida Department of Environmental Protection

Office of the Inspector General, MS40

3900 Commonwealth Boulevard

Tallahassee, Florida 32399-30000

or

Electronically:
FDEPSingleAudit@dep.state.fl.us

- (ii) The Auditor General's Office at the following address:

State of Florida Auditor General
Room 401, Claude Pepper Building
111 West Madison Street
Tallahassee, Florida 32399-1450

- (iii) Copies of reports or management letters shall be submitted by or on behalf of the Local Borrower directly to the Department at the following address:

By Mail:

Audit Director

Florida Department of Environmental Protection
Office of the Inspector General
3900 Commonwealth Boulevard, MS 40
Tallahassee, Florida 32399-3123

or

Electronically:
FDEPSingleAudit@dep.state.fl.us

(b) Any reports, management letters, or other information required to be submitted to the Department pursuant to this Agreement shall be submitted timely in accordance with Florida Statutes, or Chapters 10.550 (local governmental entities) or 10.650 (nonprofit and for-profit organizations), Rules of the Auditor General, as applicable.

(c) Local Borrowers, when submitting financial reporting packages to the Department for audits done in accordance with Chapters 10.550 (local governmental entities) or 10.650 (nonprofit and for-profit organizations), Rules of the Auditor General, should indicate the date that the reporting package was delivered to the Local Borrower in correspondence accompanying the reporting package.

- (4) Record Retention.

The Local Borrower shall retain sufficient records demonstrating its compliance with the terms of this Agreement for a period of five years from the date of the final amendment, and shall allow the Department, or its designee, Chief Financial Officer, or Auditor General access to such records upon request. The Local Borrower shall ensure that audit papers are made available to the Department, or its designee, Chief Financial Officer, or Auditor General upon request for a period of five years from the date of the final amendment, unless extended in writing by the Department.

(5) Monitoring.

In addition to reviews of audits conducted in accordance with Section 215.97, F.S., as revised monitoring procedures may include, but not be limited to, on-site visits by Department staff and/or other procedures. By entering into this Agreement, the Local Borrower agrees to comply and cooperate with any monitoring procedures/processes deemed appropriate by the Department. In the event the Department determines that a limited scope audit of the Local Borrower is appropriate, the Local Borrower agrees to comply with any additional instructions provided by the Department to the Local Borrower regarding such audit. The Local Borrower understands its duty, pursuant to Section 20.055(5), F.S., to cooperate with the Inspector General in any investigation, audit, inspection, review, or hearing.

2. Article VI is deleted and replaced as follows:

ARTICLE VI - DEFAULTS AND REMEDIES

6.01. EVENTS OF DEFAULT.

Upon the occurrence of any of the following events (the Events of Default) all obligations on the part of Department to make any further disbursements hereunder shall, if Department elects, terminate. The Department may, at its option, exercise any of its remedies set forth in this Agreement, but Department may make any disbursements or parts of disbursements after the happening of any Event of Default without thereby waiving the right to exercise such remedies and without becoming liable to make any further disbursement:

(1) Failure to make any Monthly Loan Deposit or to make any installment of the Semiannual Loan Payment when it is due and such failure shall continue for a period of 15 days.

(2) Except as provided in Subsection 6.01(1), failure to comply with the provisions of this Agreement, failure in the performance or observance of any of the covenants or actions required by this Agreement or the Suspension of this Agreement by the Department pursuant to Section 8.14 below, and such failure shall continue for a period of 30 days after written notice thereof to the Local Borrower by the Department.

(3) Any warranty, representation or other statement by, or on behalf of, the Local Borrower contained in this Agreement or in any information furnished in compliance with, or in reference to, this Agreement, which is false or misleading, or if Local Borrower shall fail to keep, observe or perform any of the terms, covenants, representations or warranties contained in this Agreement, the Note, or any other document given in connection with the Loan (provided, that with respect to non-monetary defaults, Department shall give written notice to Local Borrower, which shall have 30 days to cure any such default), or is unable or unwilling to meet its obligations thereunder.

(4) An order or decree entered, with the acquiescence of the Local Borrower, appointing a receiver of any part of the Water or Sewer System or Gross Revenues thereof; or if such order or decree, having been entered without the consent or acquiescence of the Local

Borrower, shall not be vacated or discharged or stayed on appeal within 60 days after the entry thereof.

(5) Any proceeding instituted, with the acquiescence of the Local Borrower, for the purpose of effecting a composition between the Local Borrower and its creditors or for the purpose of adjusting the claims of such creditors, pursuant to any federal or state statute now or hereafter enacted, if the claims of such creditors are payable from Gross Revenues of the Water or Sewer System.

(6) Any bankruptcy, insolvency, or other similar proceeding instituted by, or against, the Local Borrower under federal or state bankruptcy or insolvency law now or hereafter in effect and, if instituted against the Local Borrower, is not dismissed within 60 days after filing.

(7) Any charge is brought alleging violations of any criminal law in the implementation of the Project or the administration of the proceeds from this Loan against one or more officials of the Local Borrower by a State or Federal law enforcement authority, which charges are not withdrawn or dismissed within 60 days following the filing thereof.

(8) Failure of the Local Borrower to give immediate written notice of its knowledge of a potential default or an event of default to the Department and such failure shall continue for a period of 30 days.

6.02. REMEDIES.

All rights, remedies, and powers conferred in this Agreement and the transaction documents are cumulative and are not exclusive of any other rights or remedies, and they shall be in addition to every other right, power, and remedy that Department may have, whether specifically granted in this Agreement or any other transaction document, or existing at law, in equity, or by statute. Any and all such rights and remedies may be exercised from time to time and as often and in such order as Department may deem expedient. Upon any of the Events of Default and subject to the rights of others having prior liens on the Pledged Revenues, the Department may enforce its rights by, *inter alia*, any of the following remedies:

(1) By mandamus or other proceeding at law or in equity, cause to establish rates and collect fees and charges for use of the Water and Sewer Systems, and to require the Local Borrower to fulfill this Agreement.

(2) By action or suit in equity, require the Local Borrower to account for all moneys received pursuant to this Agreement or from the ownership of the Water and Sewer Systems and to account for the receipt, use, application, or disposition of the Pledged Revenues.

(3) By action or suit in equity, enjoin any acts or things which may be unlawful or in violation of the rights of the Corporation or the Department.

(4) By applying to a court of competent jurisdiction, cause the appointment of a receiver to manage the Water and Sewer Systems, establish and collect fees and charges, and apply the revenues to the reduction of the obligations under this Agreement.

(5) By certifying to the Auditor General and the Chief Financial Officer delinquency on Loan repayments, the Department may provide for the payment to the Trustee of the delinquent amount plus a penalty from any unobligated funds due to the Local Borrower under any revenue or tax sharing fund established by the State, except as otherwise provided by the State Constitution. A penalty may be imposed in an amount not to exceed an interest rate of 18 percent per annum on the amount due in addition to charging the cost to handle and process the debt.

(6) By notifying financial market credit rating agencies and potential creditors.

(7) By suing for payment of amounts due, or becoming due, with interest on overdue payments together with all costs of collection, including attorneys' fees.

(8) By accelerating the repayment schedule or increasing the Financing Rate on the unpaid principal of the Loan to as much as 1.667 times the Financing Rate.

6.03. DELAY AND WAIVER.

No course of dealing between Department and Local Borrower, or any failure or delay on the part of Department in exercising any rights or remedies hereunder, shall operate as a waiver of any rights or remedies of Department, and no single or partial exercise of any rights or remedies hereunder shall operate as a waiver or preclude the exercise of any other rights or remedies hereunder. No delay or omission by the Department to exercise any right or power accruing upon Events of Default shall impair any such right or power or shall be construed to be a waiver of any such default or acquiescence therein, and every such right and power may be exercised as often as may be deemed expedient. No waiver or any default under this Agreement shall extend to or affect any subsequent Events of Default, whether of the same or different provision of this Agreement, or shall impair consequent rights or remedies.

3. Section 8.12 is deleted and replaced as follows:

8.12. SCRUTINIZED COMPANIES.

(1) The Local Borrower certifies that it and its subcontractors are not on the Scrutinized Companies that Boycott Israel List. Pursuant to Section 287.135, F.S., the Department may immediately terminate this Agreement at its sole option if the Local Borrower or its subcontractors are found to have submitted a false certification; or if the Local Borrower, or its subcontractors are placed on the Scrutinized Companies that Boycott Israel List or is engaged in the boycott of Israel during the term of the Agreement.

(2) If this Agreement is for more than one million dollars, the Local Borrower certifies that it and its subcontractors are also not on the Scrutinized Companies with Activities in Sudan, Scrutinized Companies with Activities in the Iran Petroleum Energy Sector List, or engaged with business operations in Cuba or Syria as identified in Section 287.135, F.S. Pursuant to Section 287.135, F.S., the Department may immediately terminate this Agreement at its sole option if the Local Borrower, its affiliates, or its subcontractors are found to have submitted a false certification; or if the Local Borrower, its affiliates, or its subcontractors are placed on the Scrutinized Companies that Boycott the Scrutinized Companies with Activities in Sudan List, or Scrutinized

Companies with Activities in the Iran Petroleum Energy Sector List, or engaged with business operations in Cuba or Syria during the term of the Agreement.

(3) The Local Borrower agrees to observe the above requirements for applicable subcontracts entered into for the performance of work under this Agreement.

(4) As provided in Subsection 287.135(8), F.S., if federal law ceases to authorize these contracting prohibitions then they shall become inoperative.

4. Section 8.13 is added to the Agreement as follows:

8.13. SUSPENSION.

The Department may suspend any or all of its obligations to Loan or provide financial accommodation to the Local Borrower under this Agreement in the following events, as determined by the Department:

(1) Local Borrower abandons or discontinues the Project before its completion,

(2) The commencement, prosecution, or timely completion of the Project by the Local Borrower is rendered improbable or the Department has reasonable grounds to be insecure in the Local Borrower's ability to perform, or

(3) The implementation of the Project is determined to be illegal, or one or more officials of the Local Borrower in responsible charge of, or influence over, the Project is charged with violating any criminal law in the implementation of the Project or the administration of the proceeds from this Loan.

The Department shall notify the Local Borrower of any suspension by the Department of its obligations under this Agreement, which suspension shall continue until such time as the event or condition causing such suspension has ceased or been corrected, or the Department has reinstated the Agreement.

The Local Borrower shall have no more than 30 days following notice of suspension hereunder to remove or correct the condition causing suspension. Failure to do so shall constitute a default under this Agreement.

Following suspension of disbursements under this Agreement, the Department may require reasonable assurance of future performance from the Local Borrower prior to re-instating the Loan. Such reasonable assurance may include, but not be limited to, a payment mechanism using two party checks, escrow or obtaining a Performance Bond for the work remaining.

Following suspension, upon failure to cure, correct or provide reasonable assurance of future performance by the Local Borrower, the Department may exercise any remedy available to it by this Agreement or otherwise and shall have no obligation to fund any remaining Loan balance under this Agreement.

5. Additional financing in the amount of \$20,000,000, excluding Capitalized Interest, is hereby awarded to the Local Borrower.

6. A Financing Rate of 0.92 percent per annum is established for the additional financing amount awarded in this amendment. Individually, the interest rate is 0.46 percent per annum and the Grant Allocation Assessment rate is 0.46 percent per annum. However, if this amendment is not executed by the Local Borrower and returned to the Department before October 1, 2018, the Financing Rate may be adjusted.

7. The estimated principal amount of the Loan is hereby revised to \$65,306,700, which consists of \$65,000,000 authorized for disbursement to the Local Borrower and \$306,700 of Capitalized Interest. This total consists of the following:

(1) Original Agreement of \$25,162,300, including \$25,000,000 authorized for disbursement to the Local Borrower and \$162,300 of Capitalized Interest, at a Financing Rate of 0.66 percent per annum (the interest rate is 0.33 percent per annum and the Grant Allocation Assessment rate is 0.33 percent per annum); and

(2) Amendment 1 of \$20,098,800, including \$20,000,000 authorized for disbursement to the Local Borrower and \$98,800 of Capitalized Interest, at a Financing Rate of 0.71 percent per annum (the interest rate is 0.355 percent per annum and the Grant Allocation Assessment rate is 0.355 percent per annum); and

(3) Amendment 2 of \$20,045,600, including \$20,000,000 authorized for disbursement to the Local Borrower and \$45,600 of Capitalized Interest, at a Financing Rate of 0.92 percent per annum (the interest rate is 0.46 percent per annum and the Grant Allocation Assessment rate is 0.46 percent per annum).

8. An additional Loan Service Fee in the amount of \$400,000, for a total of \$1,300,000, is hereby estimated. The fee represents two percent of the Loan amount excluding Capitalized Interest, that is, two percent of \$65,000,000.

9. The Semiannual Loan Payment amount is hereby revised and shall be in the amount of \$1,797,290. Such payments shall be paid to, and must be received by the Trustee beginning on September 15, 2019 and semiannually thereafter on March 15 and September 15 of each year until all amounts due hereunder have been fully paid. Until this Agreement is further amended, each Semiannual Loan Payment will be proportionally applied toward repayment of the amounts owed on each incremental Loan amount at the date such payment is due.

The Semiannual Loan Payment amount is based on the total amount owed of \$66,606,700, which consists of the Loan principal plus the estimated Loan Service Fee.

10. Section 10.06 PROJECT RELATED COSTS are revised as follows:

The Local Borrower, the Corporation and the Department acknowledge that the actual Project costs have not been determined as of the effective date of this Agreement. Project cost adjustments may be made as a result of Project changes agreed upon by the Department.

Capitalized Interest will be recalculated based on actual dates and amounts of Loan disbursements. If the Local Borrower receives other governmental financial assistance for this Project, the costs funded by such other governmental assistance will not be financed by this Loan. The Department shall establish the final Project costs after its final inspection of the Project records. Changes in Project costs may also occur as a result of the Local Borrower's Project audit or a Department audit.

Funds disbursed in accordance with Section 4.08 of this Agreement shall be disbursed in the order in which they have been obligated without respect to budgetary line item estimates. All disbursements shall be made from the original Loan amount until that amount has been disbursed; the Financing Rate established for the original Loan amount shall apply to such disbursements for the purpose of determining the associated Capitalized Interest and repayment amount. The Financing Rate established for any additional increment of Loan financing shall be used to determine the Capitalized Interest and repayment amount associated with the funds disbursed from that increment.

The Local Borrower agrees to the following estimates of Project costs:

PROJECT COSTS

CATEGORY	PROJECT COSTS (\$)
Construction and Demolition	60,000,000
Contingencies	3,500,000
Technical Services	1,500,000
SUBTOTAL (Disbursable Amount)	65,000,000
Capitalized Interest	306,700
TOTAL (Loan Principal Amount)	65,306,700

11. All other terms and provisions of the Loan Agreement shall remain in effect.

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RESOLUTION NO. 2018-16

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF APOPKA, FLORIDA, RELATING TO THE STATE REVOLVING FUND LOAN PROGRAM; MAKING FINDINGS; AUTHORIZING THE SECOND AMENDMENT TO THE ORIGINAL LOAN AGREEMENT; ESTABLISHING PLEDGED REVENUES; DESIGNATING AUTHORIZED REPRESENTATIVES; PROVIDING ASSURANCES; PROVIDING FOR CONFLICTS, SEVERABILITY, AND EFFECTIVE DATE.

WHEREAS, Florida Statutes provide for loans to local government agencies to finance the construction of wastewater treatment facilities; and

WHEREAS, Florida Administrative Code rules require authorization to apply for loans, establish pledged revenues, to designate an authorized representative; to provide assurances of compliance with loan program requirements; and to enter into a loan agreement; and

WHEREAS, The City is authorized by provision of Chapter 166, Florida Statutes, and other applicable provisions of law to, amount other things, acquire, construct, equip, own, sell, lease, operate and maintain various capital improvements and public facilities to promote the health, welfare and economic prosperity of the residents of the City and to borrow money to finance and refinance the acquisition, construction, equipping and maintenance of such capital improvements and public facilities.

WHEREAS, the State Revolving Fund loan priority list designates Project No. WW48021 as eligible for available financing previously authorized a loan amount of \$45,000,000, excluding Capitalized Interest; and

WHEREAS, the City of Apopka, Florida, intends to enter into an amended loan agreement entitling additional financing of \$20,000,000, excluding Capitalized Interest.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF APOPKA, FLORIDA, AS FOLLOWS:

SECTION 1: The City agrees to the following estimates of Project costs:

PROJECT COSTS	
CATEGORY	PROJECT COSTS (\$)
Construction and Demolition	\$ 60,000,000.00
Contingencies	\$ 3,500,000.00
Technical Services	\$ 1,500,000.00
SUBTOTAL (Disbursable Amount)	\$ 65,000,000.00
Capitalized Interest	\$ 306,700.00
TOTAL (Loan Principal Amount)	\$ 65,306,700.00

SECTION 2: All other terms and provisions of the Loan Agreement shall remain in effect.

SECTION 3: Effective Date. This Resolution shall take effect upon final passage and adoption.

ADOPTED THIS 5TH DAY OF September, 2018

CITY OF APOPKA, FLORIDA

BRYAN NELSON, MAYOR

ATTEST:

LINDA F. GOFF, CITY CLERK